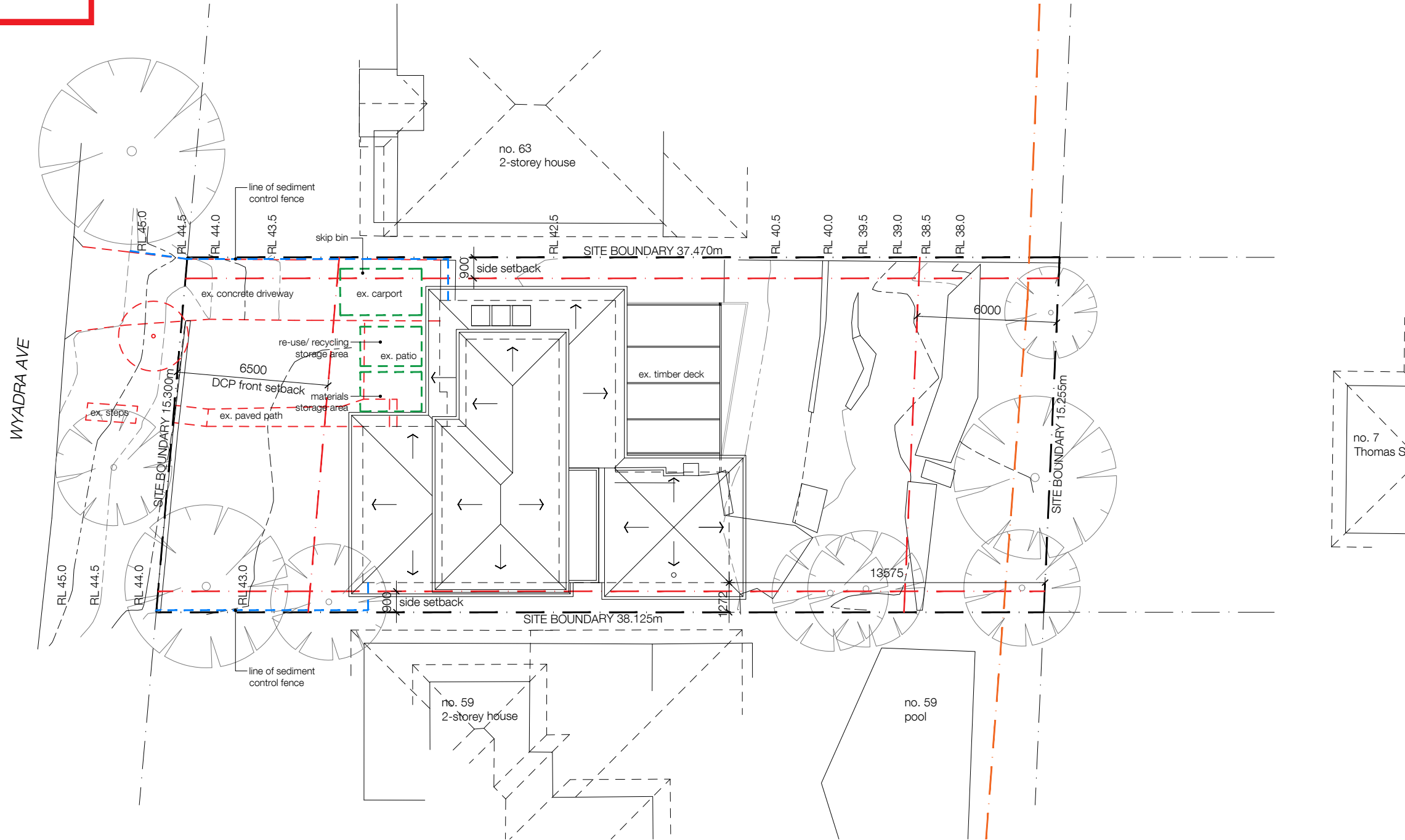




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DA2022/1224



01 Site/ Roof Plan - Existing/ Demolition
1:200@A3

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.
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- existing wall
- proposed timber-framed wall
- proposed concrete block wall
- item to be demolished
- DCP boundary setbacks

LEGEND
dp downpipe
ex existing

MATERIAL & FINISHES SCHEDULE

- CONC-01 structural concrete slab - smooth, trowelled
- FC-01 fibre-cement cladding, paint finish
- PV-01 pavers - stone
- RM-01 acrylic render to new masonry walls
- RS-01 roof sheeting - Kliplok @ 1 degree fall
- TB-01 timber battens - type 1 (primed pine) nominal 40mm (face) x 67mm (depth) @120mm centres (approx) primed pine DAR, paint finish in white

- line of erosion & sediment control fence
- materials storage & waste/ recycling storage

B	01/07/22	DA Submission
A	24/06/22	Draft DA for Consultant Review
Rev.	Date	Description

Barry & Kate Molony

61 Wyadra Ave, North Manly
LOT 60, DP 21576

Site/ Roof Plan
Existing/ Demolition

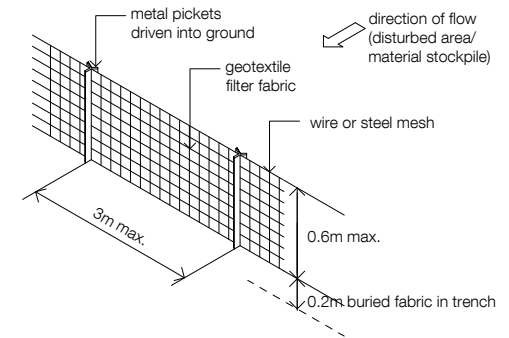
Status	Development Application
Scale	1:200 @ A3
Project no.	2002
Date	24.05.22

Drawing no. AR DA 1 00 B				
Discipline	Stage/ Package	Type	No.	Revision

Drawn by:



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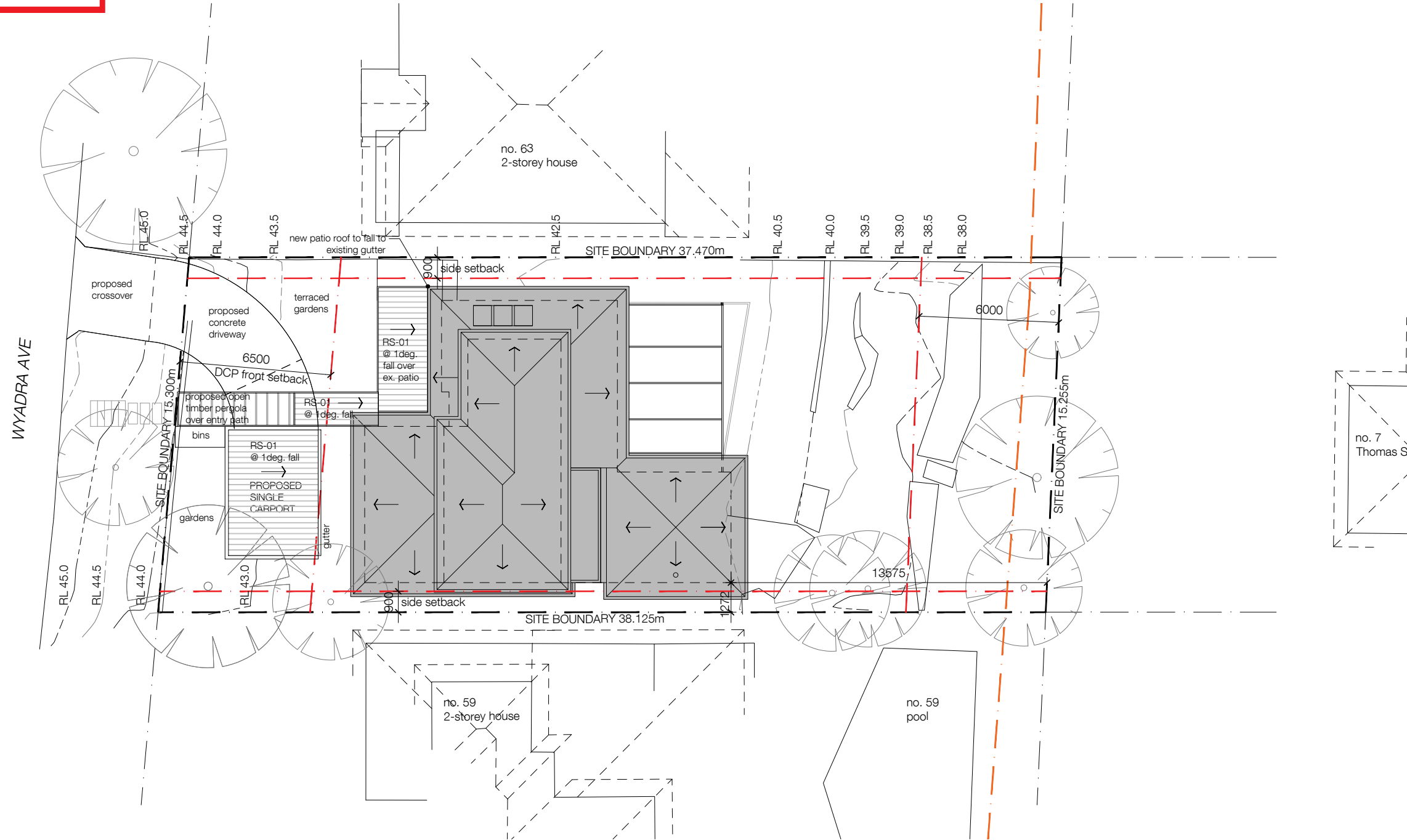


- Sediment Fence Construction Notes:**
1. Construct sediment fence as close as possible to parallel to the contours of the site.
 2. Drive 1.5m long star pickets into ground, 3m apart.
 3. Dig a 200mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 4. Backfill trench over base of fabric.
 5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
 6. Join sections of fabric at a support post with a 150mm overlap.



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DA2022/1224



01 Site/ Roof Plan - Proposed
1:200@A3

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- existing wall
- proposed timber-framed wall
- proposed concrete block wall
- item to be demolished
- DCP boundary setbacks

- LEGEND**
- dp downpipe
 - ex existing

MATERIAL & FINISHES SCHEDULE

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Rev.	Date	Description

Barry & Kate Molony

61 Wyadra Ave, North Manly
LOT 60, DP 21576

Site/ Roof Plan
Proposed

Status	Development Application
Scale	1:200 @ A3
Project no.	2002
Date	24.05.22

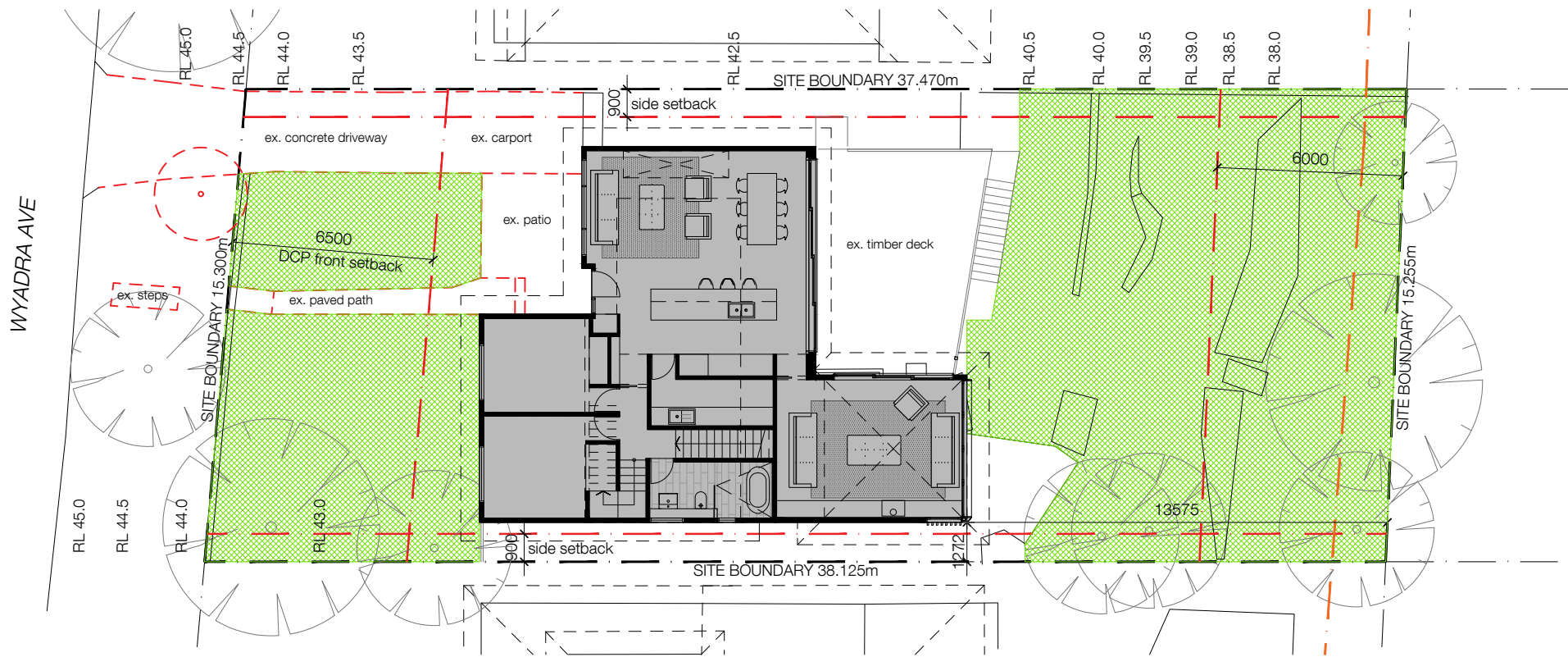
AR DA 1 01 B

Discipline	Stage/Package	Type	No.	Revision
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Drawn by:



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01 Landscaped Area Calculation - Existing
1:200@A3

northern beaches council

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LEGEND

dp downpipe
ex existing

existing wall
proposed timber-framed wall
proposed concrete block wall
item to be demolished
DCP boundary setbacks

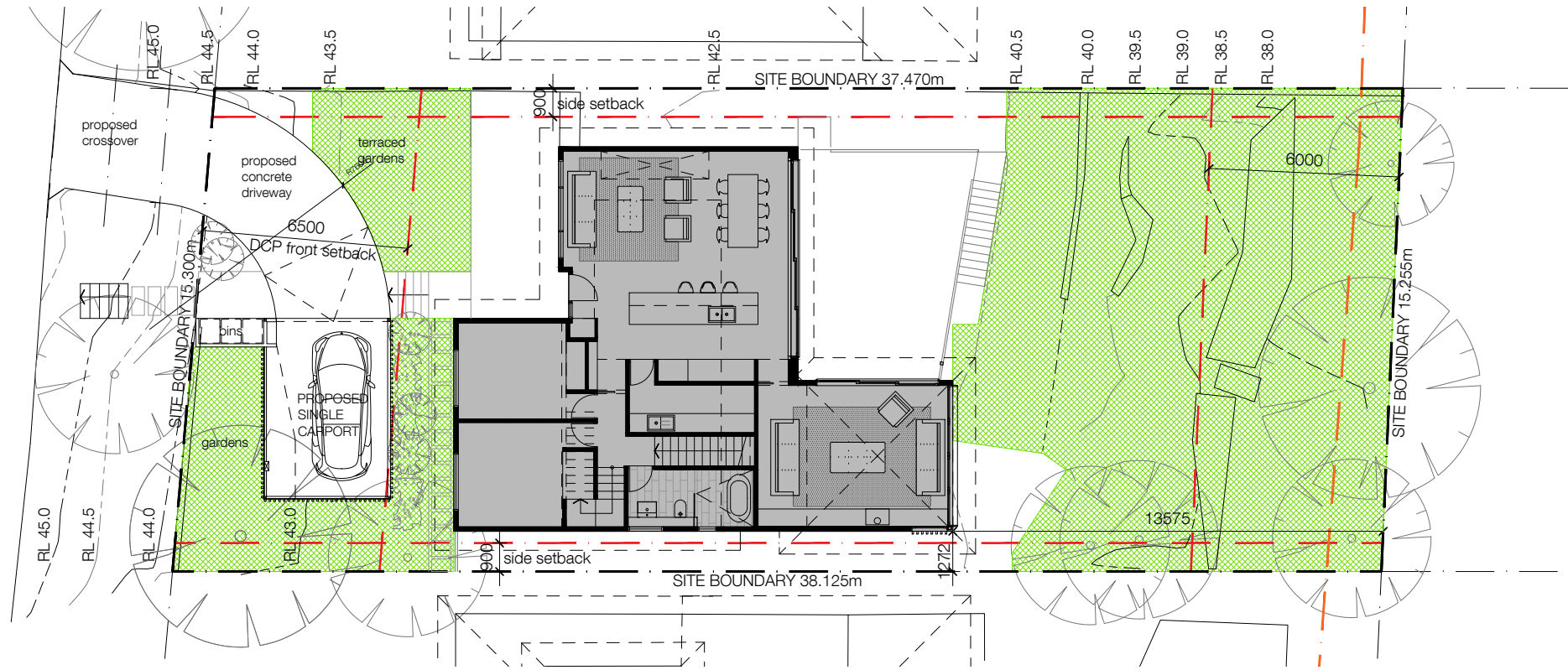
MATERIAL & FINISHES SCHEDULE

CONC-01 structural concrete slab - smooth, trowelled
FC-01 fibre-cement cladding, paint finish
PV-01 pavers - stone
RM-01 acrylic render to new masonry walls
RS-01 roof sheeting - Kliplok @ 1 degree fall
TB-01 timber battens - type 1 (primed pine) nominal 40mm (face) x 67mm (depth) @120mm centres (approx) primed pine DAR, paint finish in white

LANDSCAPED OPEN SPACE - EXISTING:

Existing Landscaped Area (min. 2m dimension)

Total Site Area	= 576.1sqm
Min. Complying Landscaped Area = 40% of site area	= 230.5sqm
Existing Landscaped Area	= 288.5sqm = 50.1% of site area



02 Landscaped Area Calculation - Proposed
1:200@A3

LANDSCAPED OPEN SPACE - PROPOSED:

Proposed Landscaped Area (min. 2m dimension)

Total Site Area	= 576.1sqm
Min. Complying Landscaped Area = 40% of site area	= 230.5sqm
Proposed Landscaped Area	= 257.4sqm = 44.7% of site area

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Rev.	Date	Description

Barry & Kate Molony

61 Wyadra Ave, North Manly
LOT 60, DP 21576

Landscaped Open Space Calculations Existing & Proposed

Status	Development Application			
Scale	1:200 @ A3			
Project no.	2002			
Date	24.05.22			
Drawing no.	AR DA 1 02 B			
Discipline	Stage/Package	Type	No.	Revision

Drawn by:

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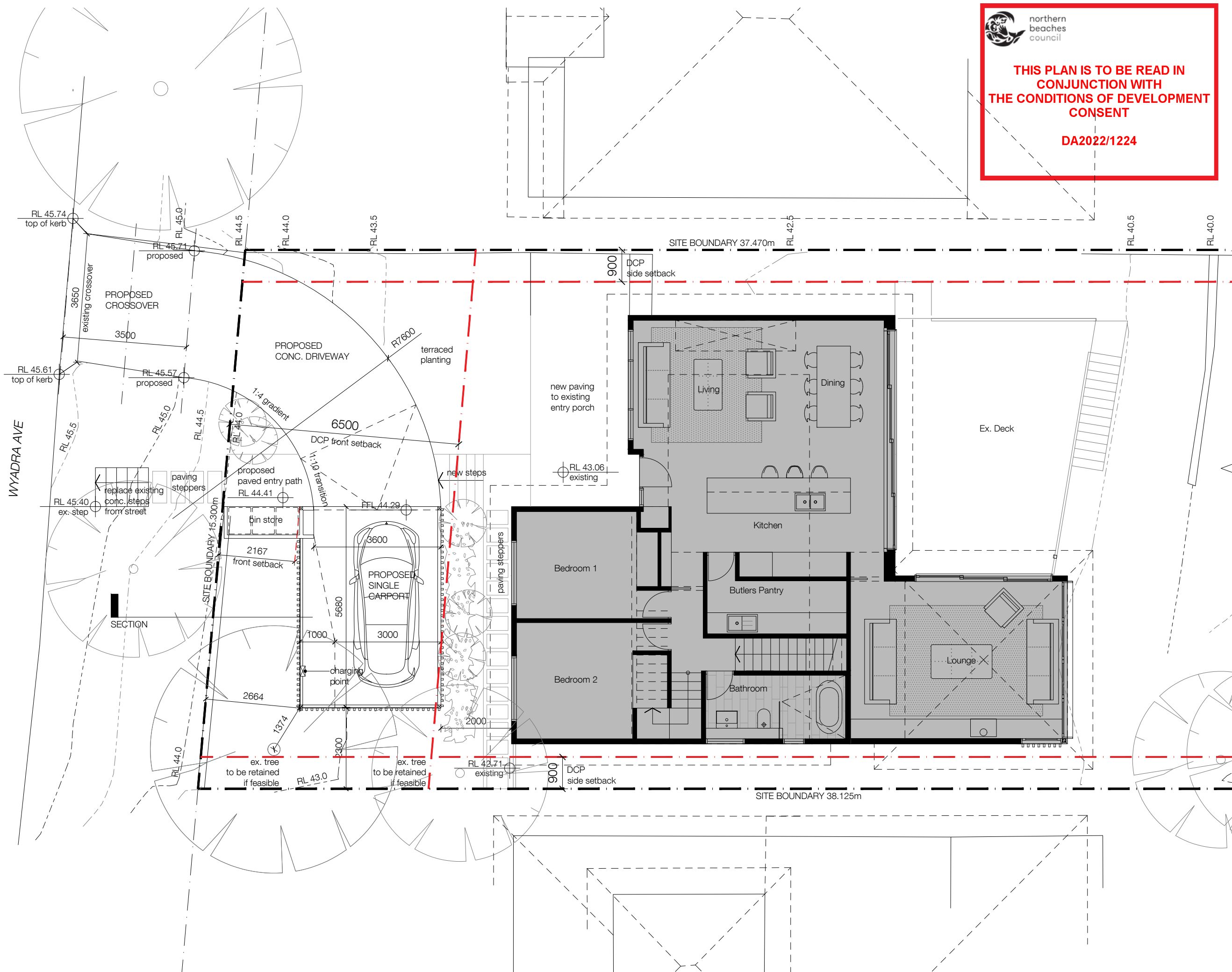
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LEGEND

dp downpipe
ex existing

MATERIAL & FINISHES SCHEDULE

CONC-01 structural concrete slab - smooth, trowelled
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61 Wyadra Ave, North Manly
LOT 60, DP 21576

Driveway/ Carport Plan Proposed

Status: Development Application
Scale: 1:100 @ A3
Project no.: 2002
Date: 24.05.22

Drawing no. **AR DA 3 00 B**

Discipline	Stage/Package	Type	No.	Revision
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


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-  existing wall
-  proposed timber-framed wall
-  proposed concrete block wall
-  item to be demolished
-  DCP boundary setbacks

LEGEND
 dp downpipe
 ex existing

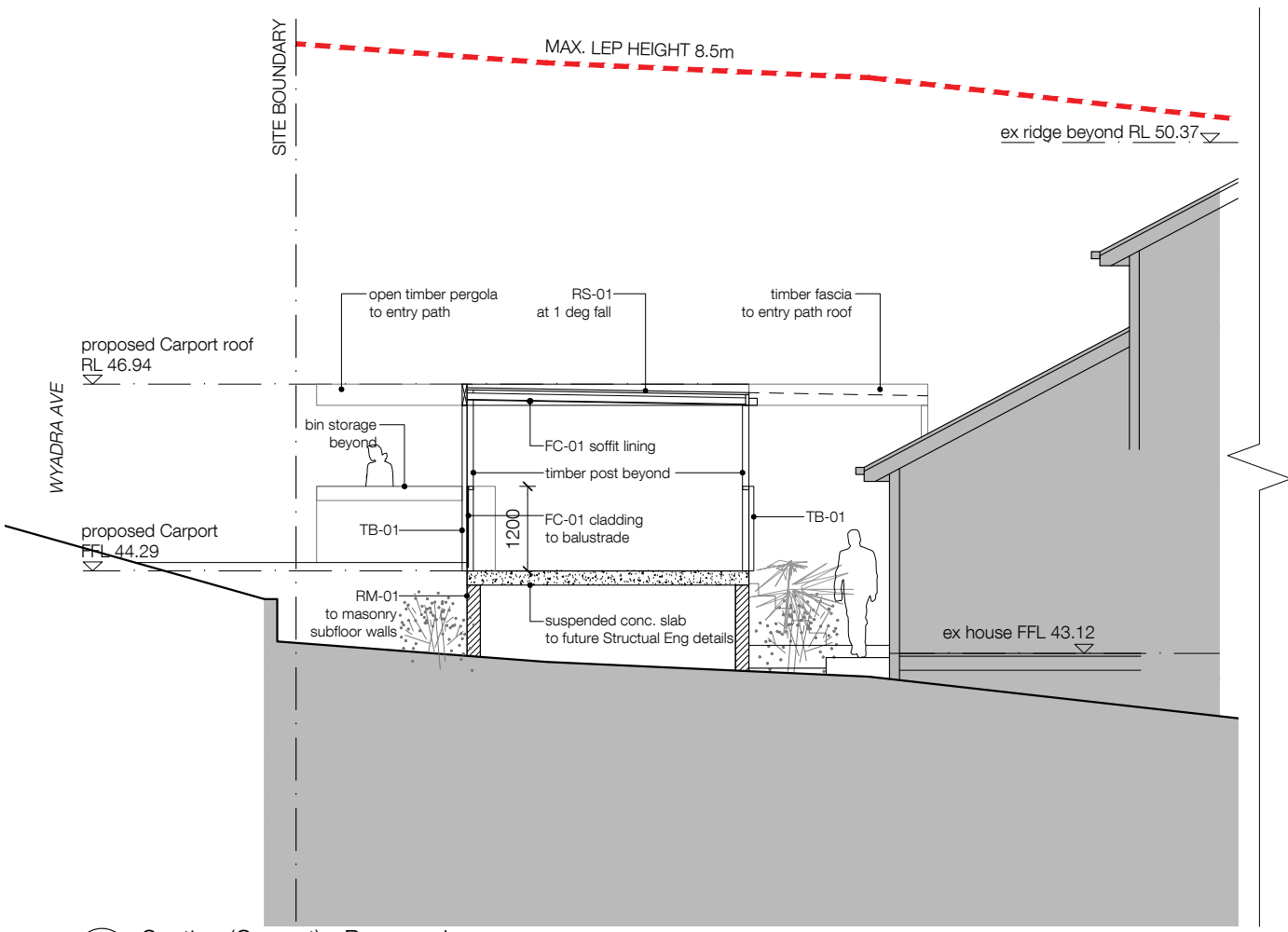
MATERIAL & FINISHES SCHEDULE

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Rev. Date	Description	

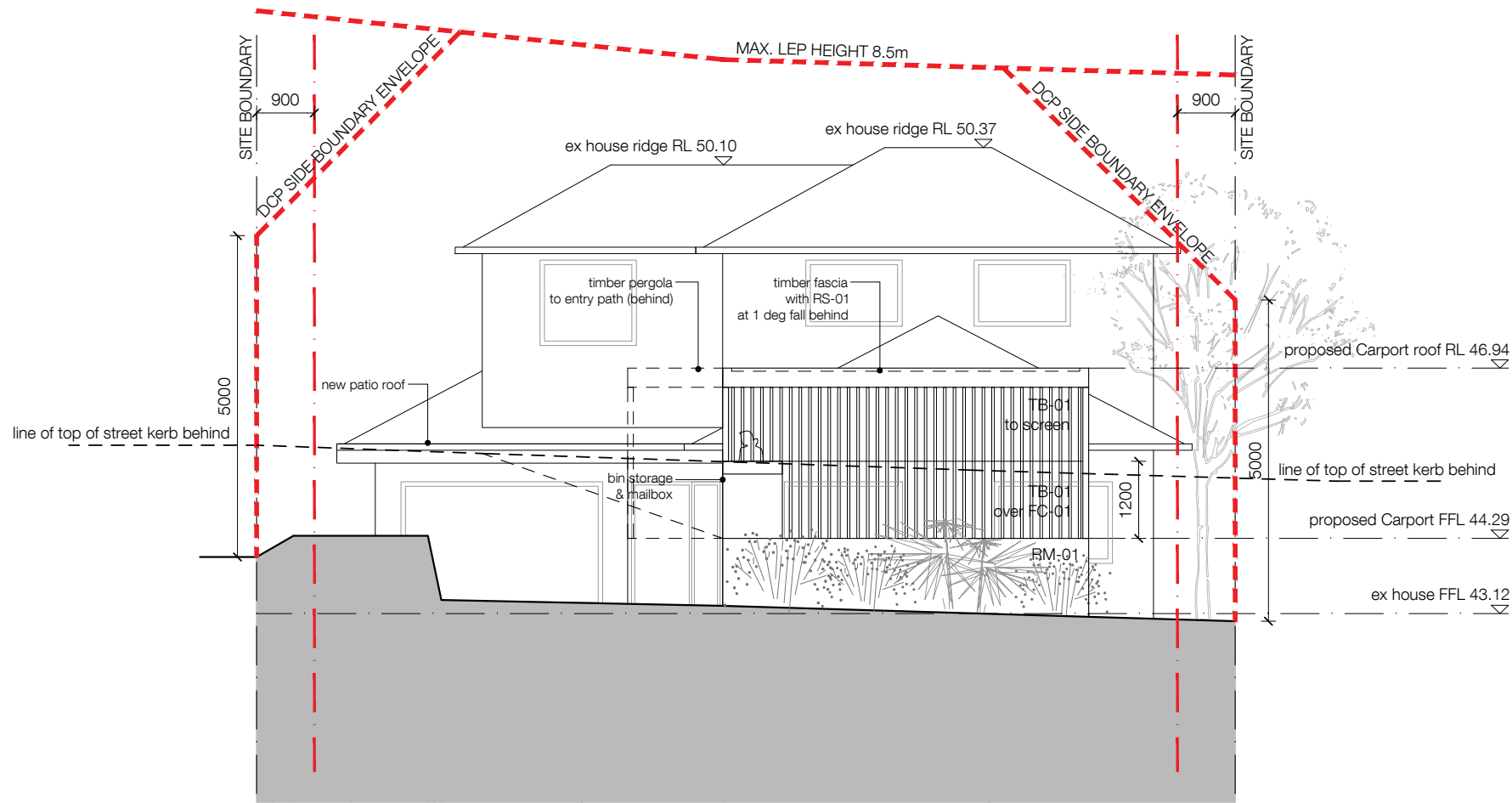
Barry & Kate Molony

61 Wyadra Ave, North Manly
 LOT 60, DP 21576
 Section
 (Carport) - Proposed

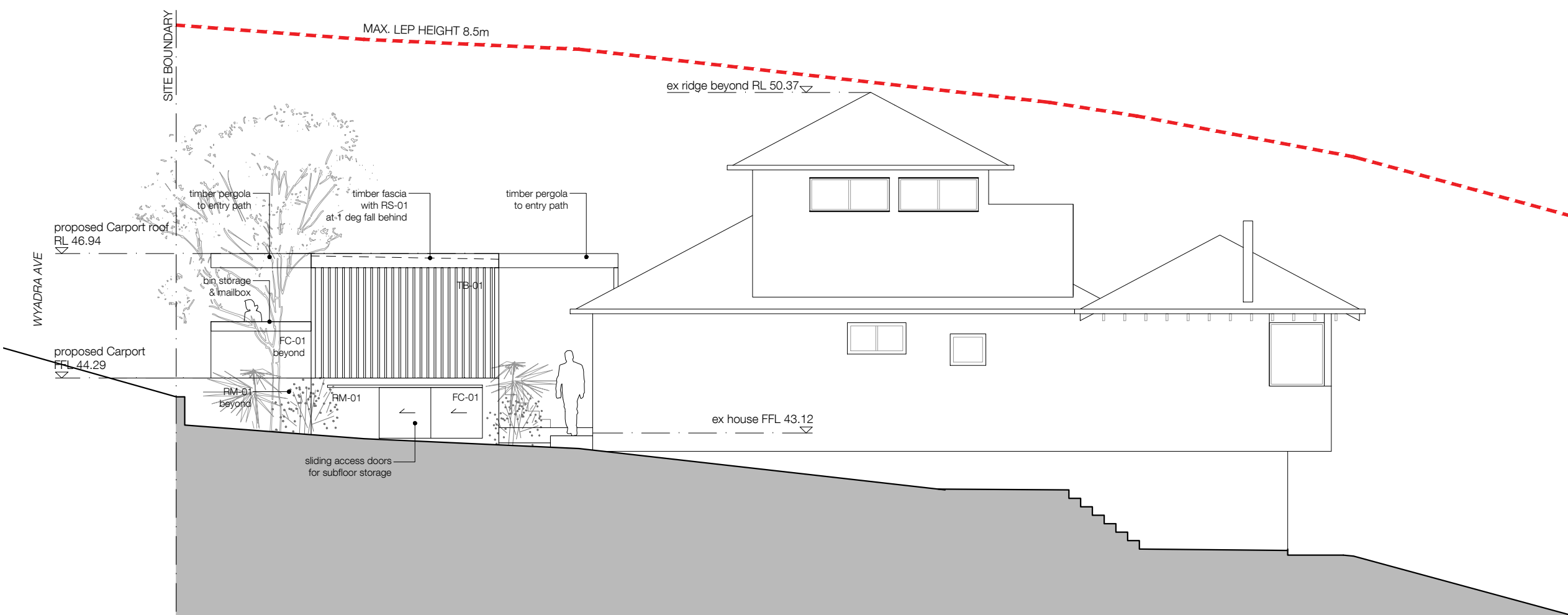
Status	Development Application
Scale	1:100 @ A3
Project no.	2002
Date	24.05.22

Drawing no. AR DA 4 00 B				
Discipline	Stage/Package	Type	No.	Revision

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 nikki@nikkimotearchitect.com



01 Elevation South (Street) - Proposed
1:100@A3



02 Elevation East - Proposed
1:100@A3

northern beaches council

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DA2022/1224

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LEGEND
dp downpipe
ex existing

MATERIAL & FINISHES SCHEDULE

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Rev.	Date	Description

Barry & Kate Molony

61 Wyadra Ave, North Manly
LOT 60, DP 21576
Carport
Elevation South (Street) & East
Proposed

Status: Development Application
Scale: 1:100 @ A3
Project no.: 2002
Date: 24.05.22

AR DA 5 00 B				
Discipline	Stage/Package	Type	No.	Revision

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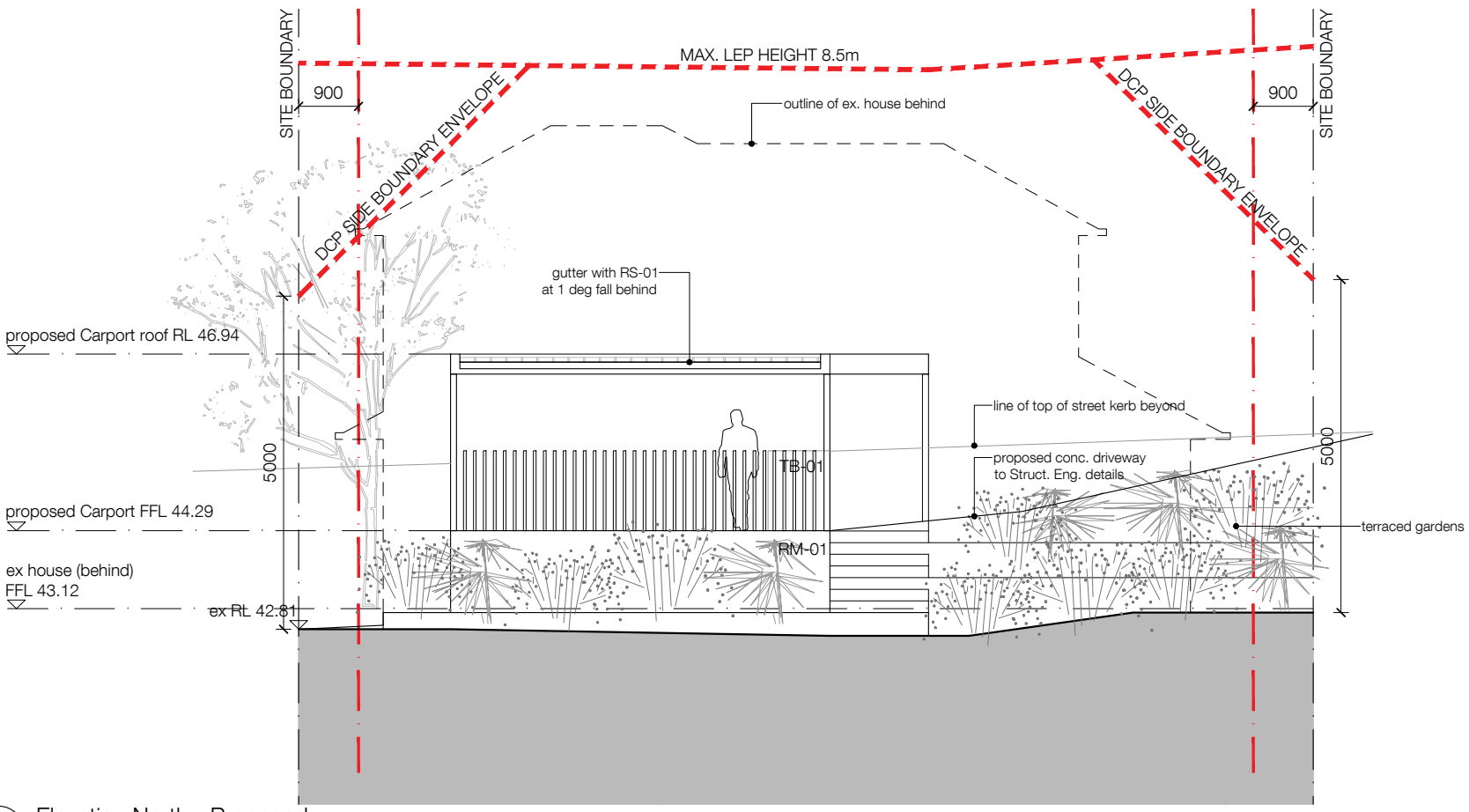
DA2022/1224

- existing wall
- proposed timber-framed wall
- proposed concrete block wall
- item to be demolished
- DCP boundary setbacks

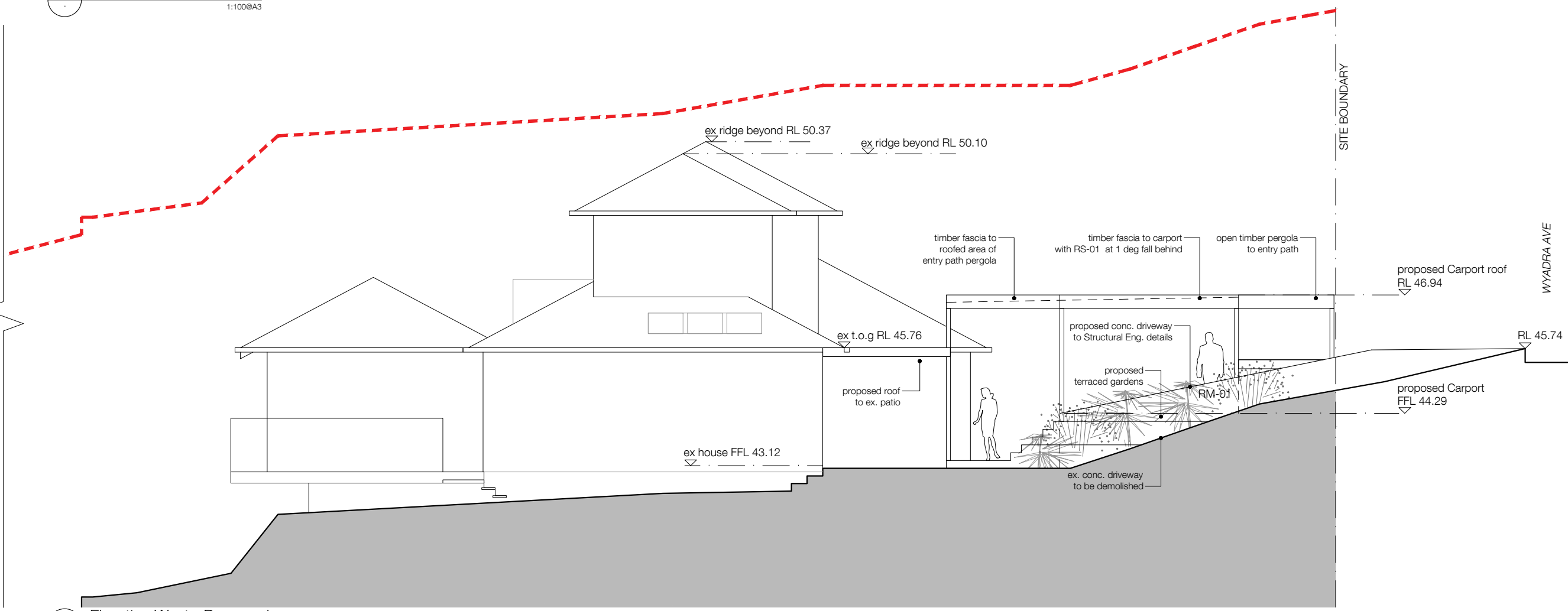
LEGEND
 dp downpipe
 ex existing

MATERIAL & FINISHES SCHEDULE

- CONC-01 structural concrete slab - smooth, trowelled
- FC-01 fibre-cement cladding, paint finish
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- TB-01 nominal 40mm (face) x 67mm (depth) @120mm centres (approx) primed pine DAR, paint finish in white



01 Elevation North - Proposed
 1:100@A3



02 Elevation West - Proposed
 1:100@A3

B	01/07/22	DA Submission
A	24/06/22	Draft DA for Consultant Review
Rev. Date	Description	

Barry & Kate Molony

61 Wyadra Ave, North Manly
 LOT 60, DP 21576
 Carport
 Elevation North & West
 Proposed

Status	Development Application
Scale	1:100 @ A3
Project no.	2002
Date	24.05.22

Drawing no. **AR DA 5 01 B**

Discipline	Stage/Package	Type	No.	Revision
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