



Register Construction Cert

Pittwater Council

Construction Certificate No: CC0676/02

Site Details: **13 ALLEYNE AVENUE NORTH NARRABEEN NSW 2101**

Legal Description: **Lot 46 DP 7593**

Type of Development: Building Work ☒ Subdivision ☐

Description: **a new single dwelling**

Associated Development Consent No: **N0860/02** Dated: **07/03/2003**

Building Code of Australia Certification: **Class 1a and 10a**

Details of plans, documents or Certificates to which this Certificate relates:

- Architectural plan prepared by B Allen of Riverford Design Services Pty Limited, undated, Dwg No 0242/1A; 0242/2A; 0242/3; 0242/4B; 0242/5B
- Engineering Details prepared by Jack Hodgson Consultants Pty Limited, Dwg No 20074-1 (18/07/03); 20074-2 (18/07/03); 20074/3 (17/07/2003); 20074-7 (17/7/03)

I hereby certify that the above plans, documents or Certificates satisfy:

- ☒ The relevant provisions of the Building Code of Australia.
- ☒ The relevant conditions of Development Consent No: **N0860/02**

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.


.....
Development Officer

5.8.03
.....
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

Pittwater Council

OFFICIAL RECEIPT

24/07/2003 Receipt No 119135

To Craig Stovold

13 Alleyne Ave
North Narrabeen NSW 2101

Applic	Reference	Amount
GL Re	HKER-RR A N0860/02	\$198.00
GL Re	QLSL-Buil N0860/02	\$440.00

Total: \$638.00

Amounts Tendered	
Cash	\$0.00
Cheque	\$638.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$638.00
Rounding	\$0.00
Change	\$0.00
Nett	\$638.00

Printed 24/07/2003 3:02:24
Cashier JMount

CONSTRUCTION CERTIFICATE PROCEDURE

ADDRESS:

13 Alleghre Ave North Dandenong.

CC NO: CC0676/02.

DA NUMBER: N0860/02

1. THE WORKING PLANS/STRUCTUREL/GEOTECHNICAL
ENGINEERING PLANS/EROSION CONTROL PLANS ETC
COMPLY WITH THE CONDIIONS OF DEVELOPMENT
CONSENT

DEVELOPMENT OFFICER: Sean O'Brien 29/7/03
Consulting Building Surveyor/
Town Planner

REASONS WHY NOT?

2. THE LANDSCAPE PLAN COMPLY WITH THE
CONDITIONS OF DEVELOPMENT CONSENT

LANDSCAPE OFFICER: N/A

REASONS WHY NOT?

3. THE WORKING DRAWINGS COMPLY WITH THE BCA

BUILDING SURVEYOR: Sean O'Brien 29/7/03
Consulting Building Surveyor/
Town Planner

REASONS WHY NOT?

BS - 198.00
LSC - 440.00

\$ 638.00



Pittwater Council

Construction Certificate No: _____

WHO WILL BE SIGNING THIS CC OFF _____
(ie who will we return it to)

Site Details:

13 Allenyre Ave, Nth Narrabeen

Legal Description:

Lot 46 DP 7593

Type of Development: Building Work ☒

Subdivision ☐

Description:

Alterations & Additions to an Existing Dwelling

Associated Development Consent No:

N0860/02

Dated:

7/3/03

Building Code of Australia Certification: Class

1a + 10a

Details of plans, documents or Certificates to which this Certificate relates:

1. Architectural Plan prepared by B. Allen of Liverpool Design Services P/L, undated, Draw. N° 0242/1A; 0242/2A; 0242/3; 0242/4B; 0242/5B.
2. Eng. Details prepared by Jack Hodgson Consultants P/L, undated, Draw. N° 20074-1 (18/7/03); 20074-2 (13/7/03); 20074-3 (17/7/03); 20074-7 (17/7/03).

I hereby certify that the above plans, documents or Certificates satisfy:



The relevant provisions of the Building Code of Australia.



The relevant conditions of Development Consent No: N0860/02

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.

.....
Development Officer

.....
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

**PITTSWATER COUNCIL
DEVELOPMENT DIVISION
FILE NOTE**

RECORD OF MEETING/ENQUIRY/TELEPHONE CALL/ COMPLAINT

DATE:.....

FILE No:.....

PARTICIPANTS.....

ADDRESS.....

OFFICERS SIGNATURE..... -

A 98603

PITTWATER COUNCIL DEVELOPMENT APPLICATION FORM

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
PO Box 882, MONA VALE NSW 1660
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 1111
ABN No. 61340837871
Email: pittwater_council@pittwater.nsw.gov.au
Website: www.pittwaterlga.com.au



Office Use Only:
FILE AND PART NO: _____
PROPERTY NO: _____

OFFICER: _____

DA NO: 860/02

CC NO: _____

14/10/02

PRE-LODGE

- Pre-lodgement discussion with staff is recommended.
- Also consider discussing your proposal with your neighbours prior to design or lodgement.
- Carefully read the checklist and guide in this form and ensure that all required information and documentation is provided with your application.

LODGE

- All information required by the check-list must be submitted with this application.
- Incomplete applications or illegible information will not be accepted by Council.
- All fees are to be paid at the time of lodgement.

THIS APPLICATION IS FOR: (please tick)

- ☒ DEVELOPMENT CONSENT (Complying ☐ Integrated ☐ Designated ☐ See Page 3)
☐ MODIFICATION OF CONSENT Approval No _____ Approval Date _____
☒ CONCURRENT DEVELOPMENT APPLICATION AND CONSTRUCTION CERTIFICATE

Note: Prior to release of the Construction Certificate, the licensed builder's details or owner builder's permit no. must be provided

LOCATION OF THE PROPOSAL: (please print)

House No 13 Street/Road ALLEYNE Suburb NH NARRABEEN
Postcode _____ Lot 46 Section _____ Deposited Plan 7593
Present use of land or building DWELLING

DESCRIPTION OF PROPOSAL / DETAILS OF THE MODIFICATION SOUGHT: (please print)

NEW HOUSE SEE PREVIOUS DA 599/02

OWNER: (please print)

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s MR & MRS STOROUK

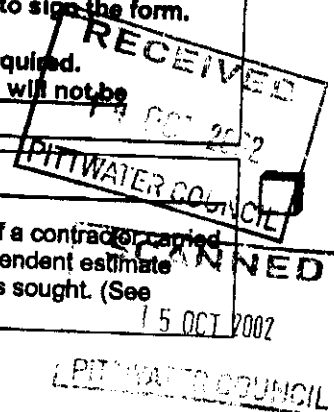
Address 13 ALLEYNE NH NARRABEEN

Signature(s) [Signature] [Signature] Postcode _____

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.

WHAT IS THE ESTIMATED COST OF THE PROPOSAL: \$ 220,000

Note: The estimated cost is the value of the works. It is the cost which would be incurred if a contractor carried out the works. This estimate must be supported by an actual quote contract price or independent estimate prepared by a suitably qualified person where a variation from Council's estimate of costs is sought. (See Attached Sheet)



APPLICANT DETAILS

For contact during application processing: (please print)

Name/Company RIVERFORD DESIGNS P/L.Address 22 MONA ST MONAVALLE 2103.

E-Mail Contact Details _____

Phone () 9979 3583. Daytime Contact No () 0408230029**BUILDER / PROJECT MANAGER: (please print)**Name/Company RIVERFORD DESIGNS P/L.Address AS ABOVE

E-Mail Address _____

Phone () _____ Daytime Contact No () _____

APPLICANT SIGNOFF

I declare that all of the particulars and information supplied in connection with this application are correct.

I declare that the estimate of cost of the project is the commercial value of the proposed works and is based on a properly prepared cost estimate or actual quote or contract competition price for the work.

I also confirm that this application has been prepared addressing the relevant Local Environmental Plan and Development Control Plan and Locality Plan requirements

I hereby certify that this proposal complies with the following numeric requirements of the relevant Development Control Plan (please tick the relevant issues)

- ☒ Site Coverage
- ☒ Boundary Setbacks
- ☒ Solar Access

- ☒ Building Height
- ☒ Building Lines
- ☒ Carparking

Alternatively, where this application does not comply with these numeric requirements, I have provided a written justification in support of this proposal, addressing the aims and objectives of the relevant Development Control Plan

Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

THE APPLICATION PLANS, SHADOW DIAGRAMS, SURVEYS AND ENGINEERING DETAILS ETC. HAVE BEEN SORTED INTO SETS, FIVE SETS FOLDED TO A4 SIZE AND ONE SET LEFT UNFOLDED TO BE SCANNED INTO COUNCIL'S ELECTRONIC DATA MANAGEMENT SYSTEM

I understand that a false declaration may result in the refusal of this application

Signature [Signature] Date 1/10/02.**NOTE: ELECTRONIC LODGEMENT**

Following amendments to the Environmental Planning and Assessment Regulations, as from 1 January 2001, it is possible to lodge a Development Application with Council electronically. If you choose this option, Council will examine your application within seven working days to ensure that the application is complete and if satisfactory, will issue you with an invoice, including Council's B Pay Number and Biller Code reference. You are further advised that the application will be deemed to be incomplete pending receipt of the fees.

Should the fees not be received within 15 working days of the date of issue of Council's invoice, the application will be returned to you.

TYPE OF DEVELOPMENT

Need HELP? Council Staff can assist you with this section at time of lodgment

COMPLYING DEVELOPMENT

The proposal may fall under this category if it is a low impact proposal with minimal environmental impact. (Refer to DCP No.22 – Exempt and Complying Development)

IS THE PROPOSAL COMPLYING DEVELOPMENT? ☐ YES ☒ NO

Note: Where the proposal is for Complying Development it does not need to be notified or advertised and can be processed in a short time frame.

INTEGRATED DEVELOPMENT

The development may fall under this category if it proposes any of the following.

- The proposal is within 40m of a creek, river or foreshore
- The proposal involves dredging or reclamation in a waterway
- This proposal affects the quality of water flowing into a creek, river or waterway
- The proposal is adjacent to a mainroad
- The proposal includes the building of a dam, weir or levee
- The proposal draws water from a creek or river
- The proposal relates to a Heritage item or Heritage Conservation area
- The proposal relates to an Aboriginal Place or Relic
- The proposal relates to scheduled premises or scheduled equipment under the provisions of the Clean Air Act, 1961 or the Noise Control Act, 1975
- The land has previously been used for agricultural or industrial purposes and may be contaminated

IS THE PROPOSAL INTEGRATED DEVELOPMENT? ☐ YES ☒ NO

Note : Where the application is found to constitute " Integrated development" The application will need to be referred to the relevant State Government body, Council will require payment of the statutory \$250 fee per referral at the time of lodgement of the application. All cheques are to be made out to the referral body/bodies, Council will arrange for the application and fee to be forwarded as required by the Legislation.

DESIGNATED DEVELOPMENT

The development may fall under this category if it proposes any of the following land uses

Agricultural produce industries	Electricity generating stations
Aircraft facilities	Extractive industries
Aquaculture	Limestone mines and works
Artificial waterbodies	Livestock intensive industries
Bitumen pre-mix and hot-mix industries	Livestock processing industries
Breweries and distilleries	Marinas or other related land and water shoreline facilities
Cement works	Mineral processing or metallurgical works
Ceramic and glass industries	Mines
Chemical industries and works	Paper pulp or pulp products industries
Chemical storage facilities	Petroleum works
Coal mines	Railway freight terminals
Coal works	Sewerage systems or works
Composting facilities or works	Shipping facilities
Concrete works	Turf farms
Contaminated soil treatment works	Waste management facilities or works
Crushing, grinding or separating works	Wood or timber milling or processing works
Drum or container reconditioning works	Wood preservation works
Schedule 3 of the Environmental Planning & Assessment Act contains additional advice on designated development	

IS THE PROPOSAL DESIGNATED DEVELOPMENT? ☐ YES ☒ NO

Note: Where the proposal comprises designated development additional detailed information is required and assessment times will be extended.

CONSTRUCTION MATERIALS/DETAILS:

(please print) To be completed where only the application relates to a **CONCURRENT** Development Construction Certificate Application

Please complete this schedule for the purpose of providing information to the Australian Bureau of Statistics

All NEW Buildings (please print)

Please complete the following details:

Current use of the land/building(s) HOUSE

- Number of storeys (including underground floors) 2
- Gross floor area of new building (m²) 175.0
- Gross site area (m²) 557.48

Residential Buildings Only (please print)

Please complete the following details on residential structures

- Number of dwellings to be constructed ONE
- Number of pre-existing dwellings on site ONE
- Number of dwellings to be demolished ONE
- Will the new dwellings be attached to other new buildings? Yes ☐ No ☒
- Will the new buildings be attached to existing buildings? Yes ☐ No ☒
- Does the site contain a Dual Occupancy? Yes ☐ No ☒
(NB Dual Occupancy = two dwellings on the same site)

Construction materials

WALLS

- Brick (double) ☐
- Brick(veneer) ☒
- Concrete or stone ☐
- Fibre cement ☐
- Timber ☐
- Curtain glass ☐
- Aluminium ☐
- Other ☐
- Not specified ☐

ROOF

- Tiles ☒
- Concrete or Slate ☐
- Fibre cement ☒
- Steel ☐
- Aluminium ☐
- Other ☐

FLOOR

- Concrete or slate ☐
- Timber ☒
- Other ☐
- Not specified ☐

FRAME

- Timber ☒
- Steel ☐
- Aluminium ☐
- Other ☐
- Not specified ☐

DEVELOPMENT APPLICATION LODGEMENT CHECKLIST

- The following table and check-list will help you prepare and lodge a complete application.
- Your application must score a tick in every applicable box on the right hand side of the checklist before it can be accepted by Council.
- If your Development Type is not listed in the table below or if it is "Designated Development", discuss the level of information required with our staff.
- Why is Council seeking this information? One of Council's fundamental objectives is to maintain the character of Pittwater by encouraging environmentally sensitive development, which has due regard to its setting, requires minimal site disturbance, achieves design excellence and is compatible with adjoining development and the area generally.
- Also read Council's "Environmental Values Statement" and any relevant Development Control Plans.

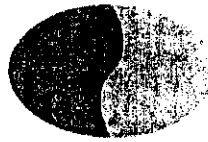
Note:

- This is a multi purpose guide. While all likely issues should be identified the guide may not cover all of the issues relating to a particular application. Council staff will contact you as part of the assessment process if additional information or details are required.
- Council's staff will assess your proposal and contact you should any additional information be required.

HOW TO USE THIS TABLE

- Locate your **DEVELOPMENT TYPE** in the left hand column.
- The letters in the column are the "checklist" items which must be submitted with your application.
- You may submit a concurrent Development Application and Construction Certificate Application.

Development Type ↓	<u>Development Application (DA)</u>	<u>Combined Development and Construction Certificate Application</u>
Single Dwellings, Additions	① A B C D E F G H I J K L M N O T W X	As required in Box ① plus P
Swimming Pools, Boatsheds, Jetties etc	② A B C D E F G H I J O Q U V	As required in Box ② plus P
Multi-Unit Development - Flats, Townhouses, Dual Occupancies, SEPP No.5 Aged and Disabled Housing	③ A B C D E F G H I J K L M N O P Q S T U V W X	As required in Box ③ plus P
New Shops, Offices, Restaurants, Service Stations Schools and Public Buildings	④ A B C D E F G H I J K L M N O Q R S T U V W X	As required in box ④ plus P
Change of Use of Industrial or Commercial Premises	⑤ A B C K H S	As required in box ⑤ plus P
Factory/ Warehouse	⑥ A B C D E F G H I J K L M N O R S T U V W X	As required in box ⑥ plus P
Sub-division	⑦ A B C G H I M Q T U V X	As required in box ⑦ plus P
Landfill/Earthworks	⑧ A B C F H I M Q U V	As required in box ⑧ plus P
Signs	⑨ A B C E H	As required in box ⑨ plus P



OFFICE OF **FAIR TRADING**

NSW Consumer Protection Agency

Department of Commerce

MARIA LUDOVICA STOVOLD
13 ALLEYNE AVENUE
NORTH NARRABEEN 2101

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit :261765P
Receipt:AA1766518

Issued:14/07/2003
Amount:\$126.00

Building Site:

13 ALLEYNE AVENUE, NORTH NARRABEEN 2101

Authorised Building Work:

DA: N0860/02 CONSTRUCT NEW 2-STOREY DWELLING
BUILDING WORK AS PER BA NO.
ISSUED BY PITTWATER COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract for sale.

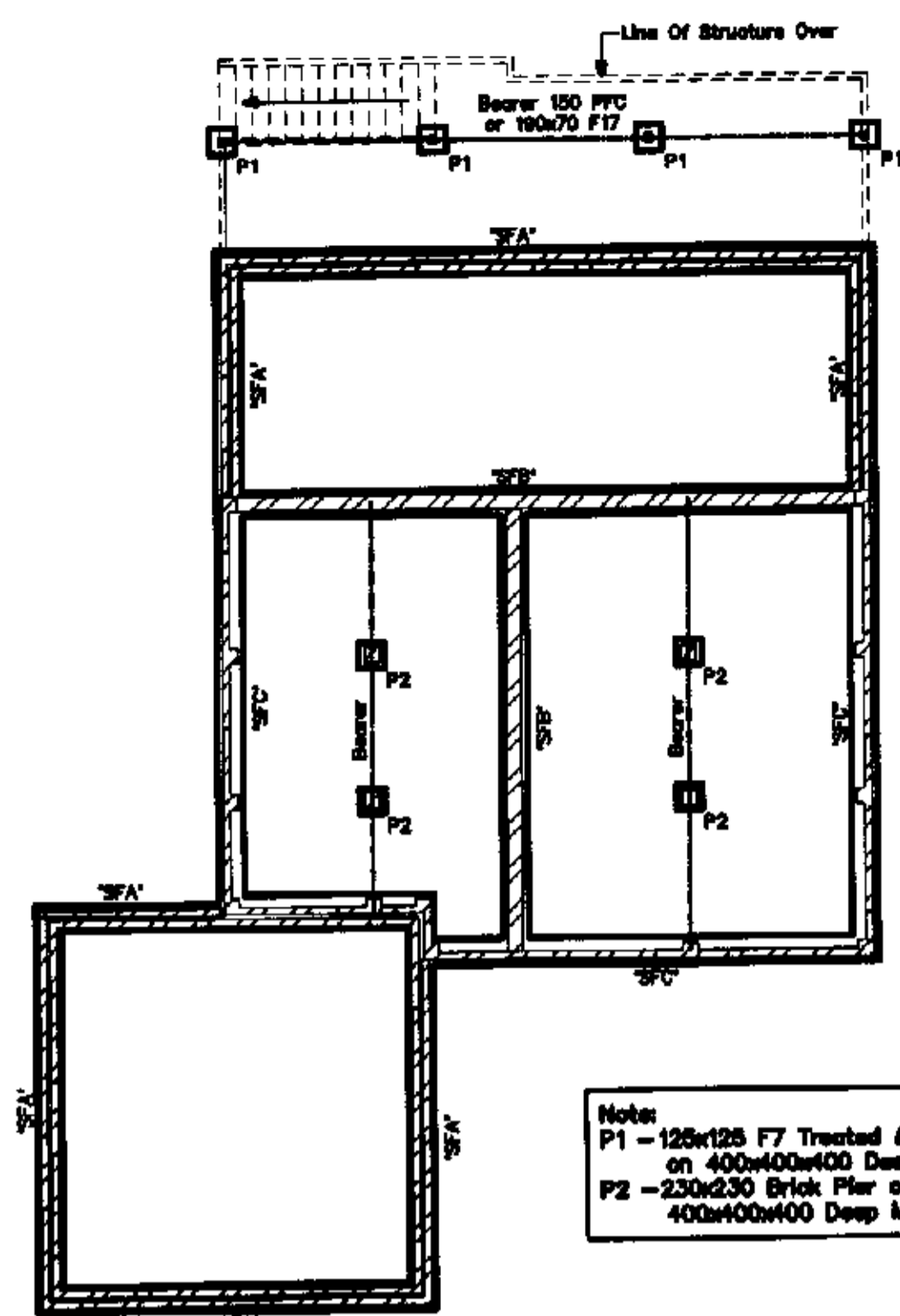
You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met at presentation.

S.R.

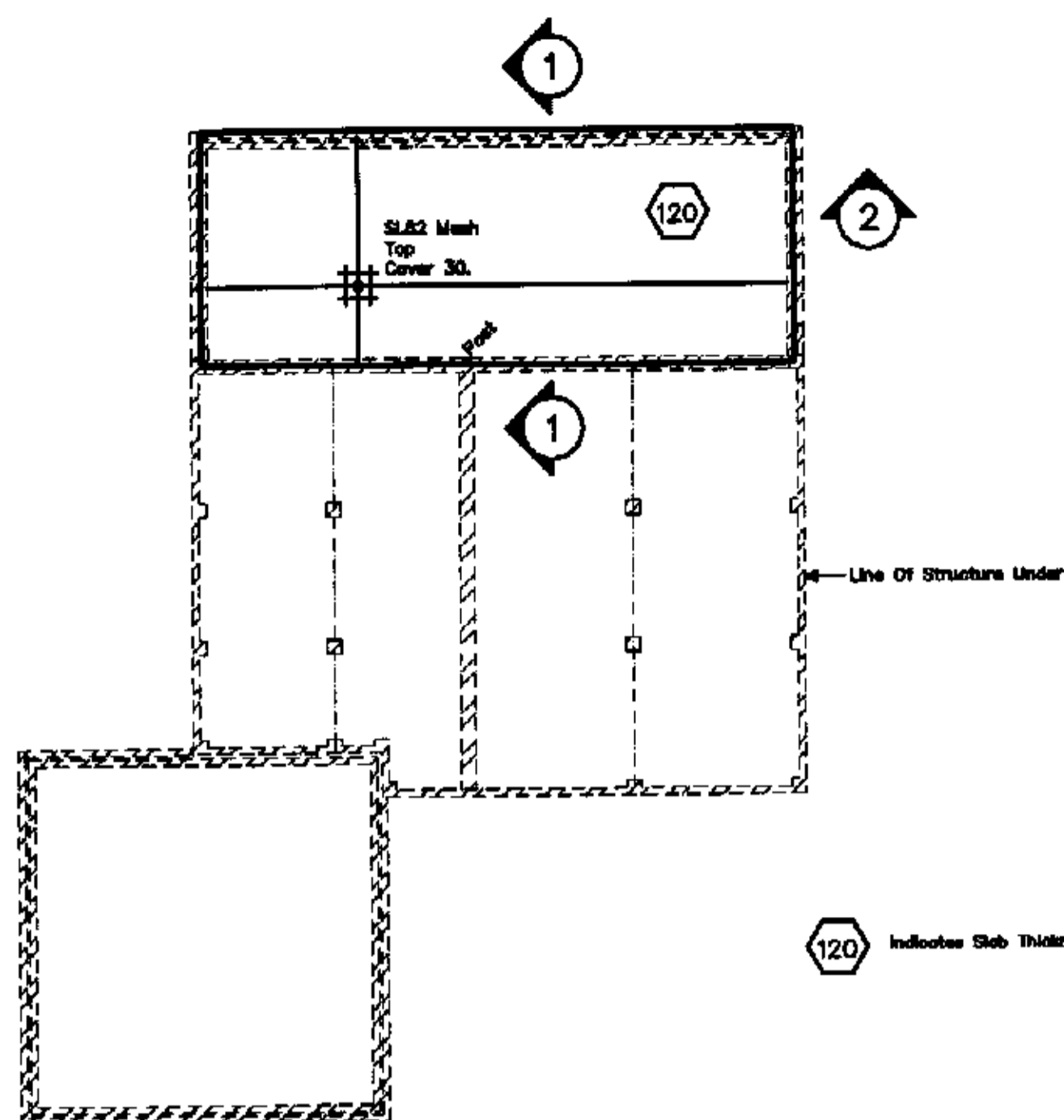
Issuing Officer

***** END OF PERMIT *****

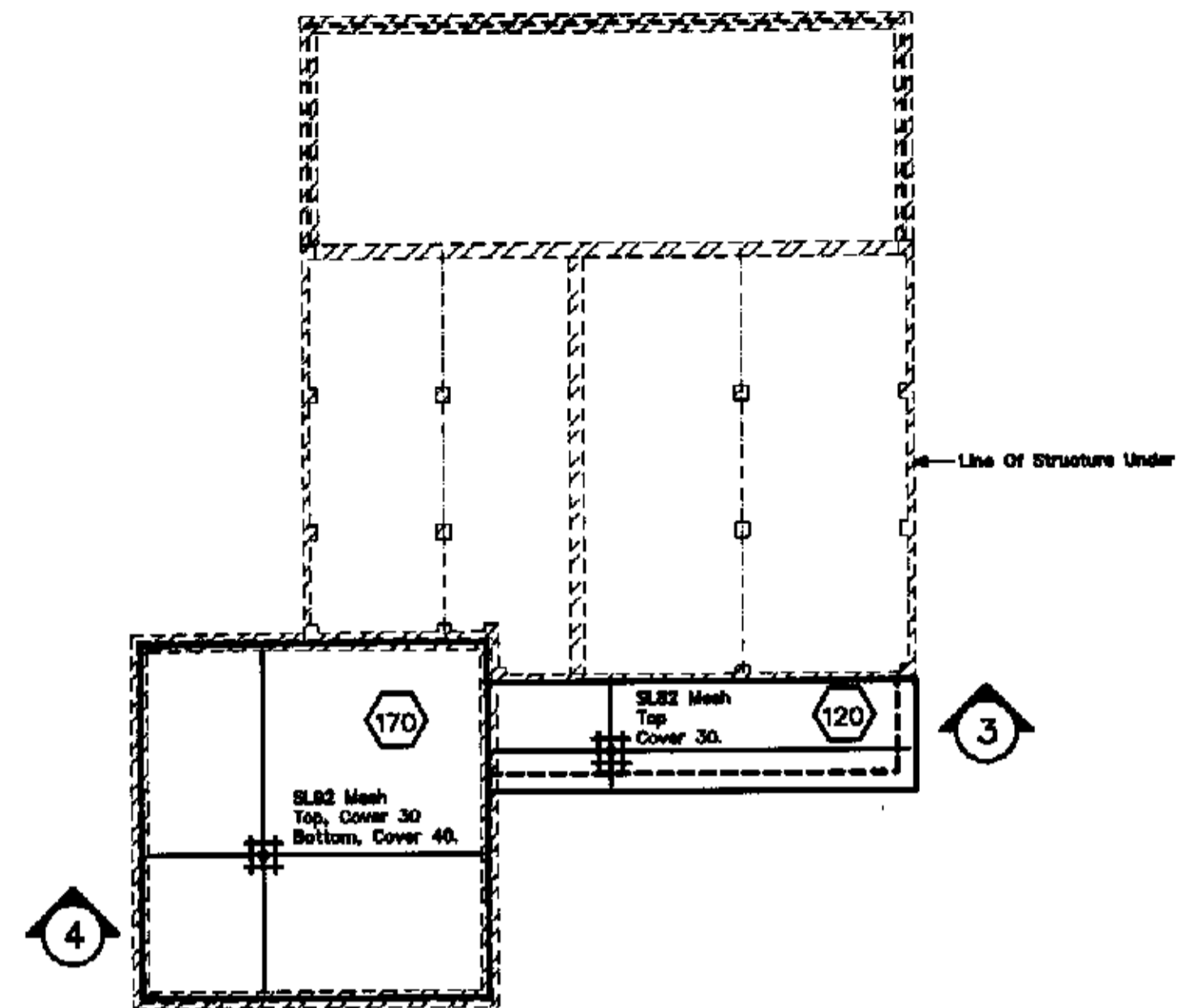


Note:
Step Footing as necessary.

Note:
P1 - 125x125 F7 Treated & Primed Timber Post
on 400x400x400 Deep Mass Concrete Pads
P2 - 230x230 Brick Pier on
400x400x400 Deep Mass Concrete Pads



(120) Indicate Slab Thickness



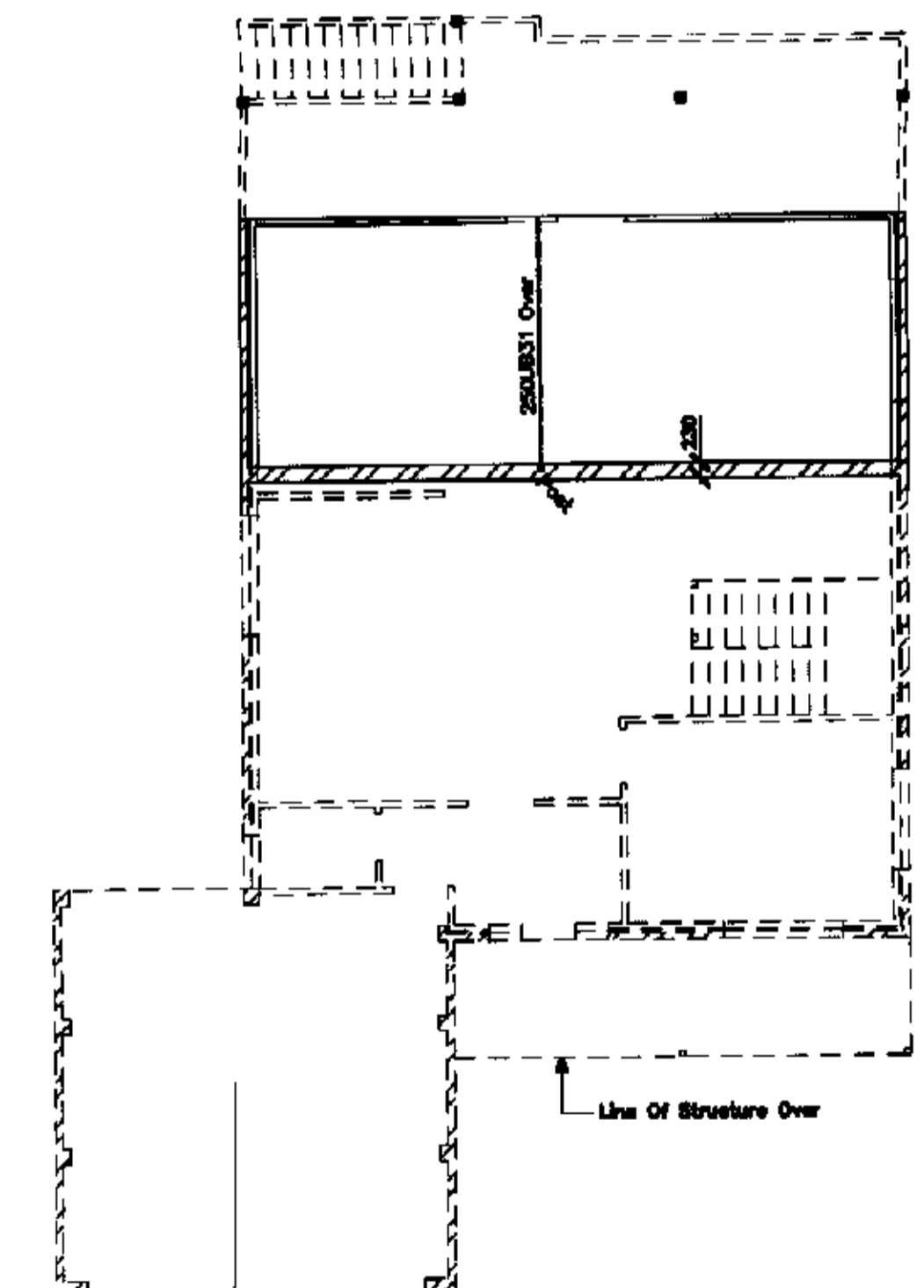
(120) Indicate Slab Thickness

- CONCRETE NOTES**
1. All concrete work to be in accordance with AS 3600.
 2. $f_c = 40$ MPa for all structural elements.
 3. Minimum aggregate size = 20 for footings, slabs & beams. = 10 for block filling.
 4. Slump = 80.
 5. All concrete, including block filling, to be vibrated.
 6. Slabs to be kept damp for at least 14 days after pouring or to be protected by an approved curing membrane.
 7. Bar Chairs to be no more than 50mm air to air spacing.
 8. Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise (where 500 = strength grade in megapascals & N = Normal ductility class).
 9. Reinforcement to be tied at every other intersection minimum.

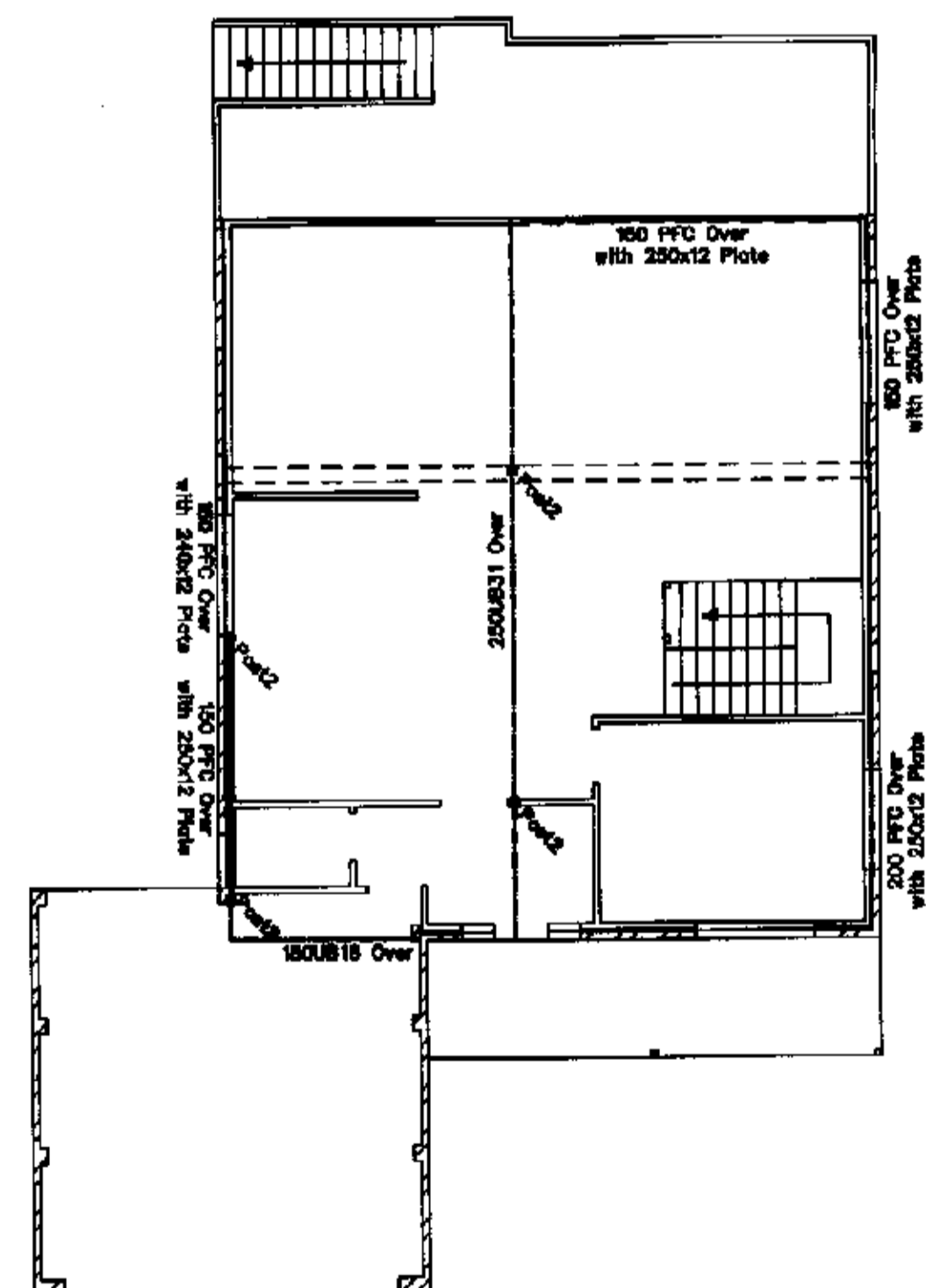
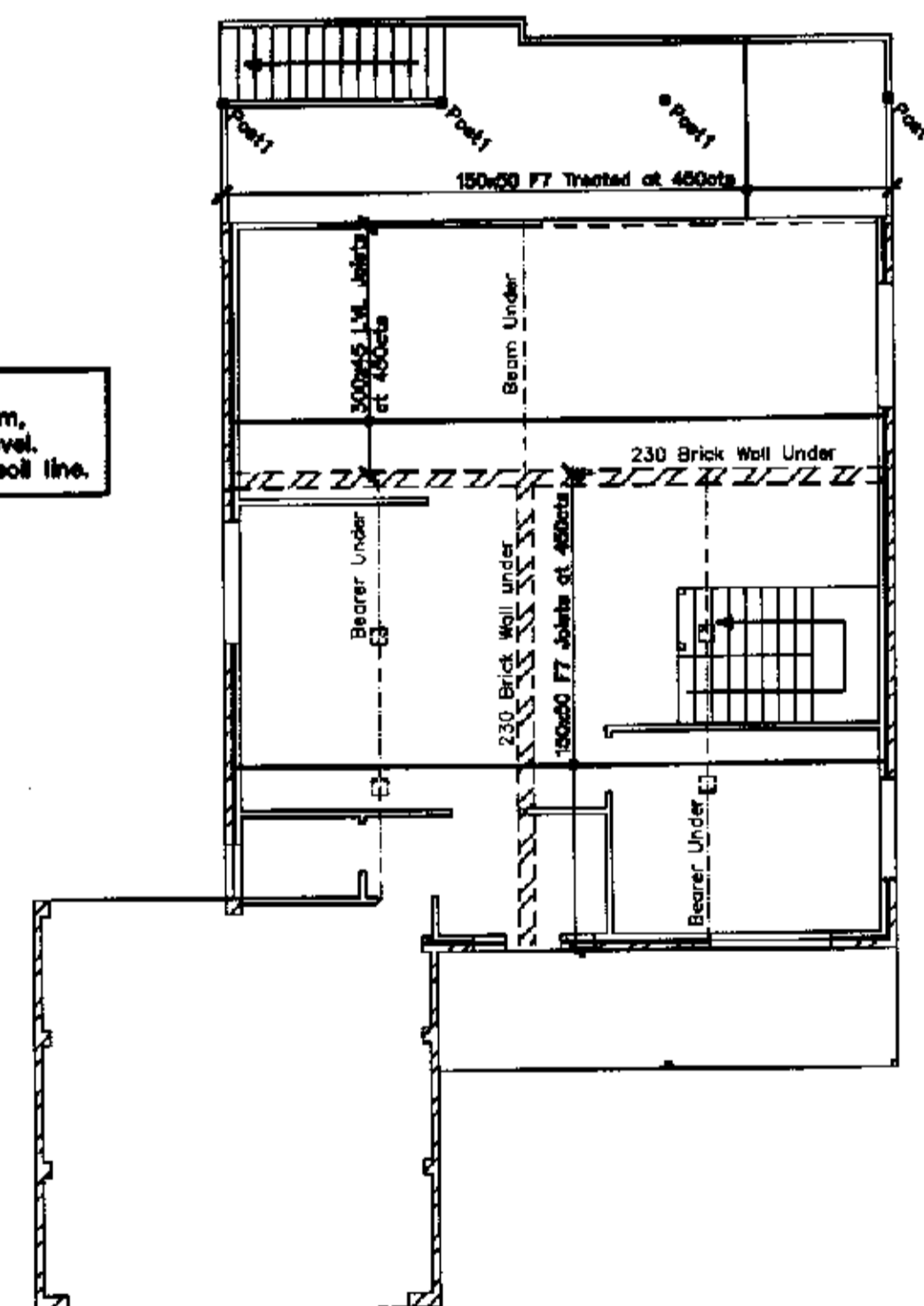
- STEELWORK NOTES**
1. Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
 2. Do not obtain dimensions by cutting the structural elements.
 3. Chip all weld free of slag.
 4. All steelwork to be Hot Dipped Galvanized, Unless Otherwise Noted.
 5. Unless otherwise noted use:
a) 6mm continuous fillet weld
b) 10mm thick gusset, fin and end plates, weld all round.
c) 18mm dia. 4.6/s bolts
 6. Minimum end bearing 150mm.

- TIMBER NOTES**
1. All work (including bracing, wind bracing & tie down) shall be carried out in accordance with AS 1684.2:AS 1720.1 & the specification.
 2. Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 3. All timber shall be free of gum veins, pockets, knots holes or splits within 250mm of any connection.
 4. Refer to specification for preservatives and finishes to timbers.
 5. All bolts, nuts, washers and timber connectors shall be hot dip galvanized unless noted otherwise.

Provide additional Piers at 3m maximum centres if Footings NOT founded on natural material approved by the engineer.



Note:
If depth of soil on wall is greater than 0.6m,
wall is to be 350mm thick where below soil level.
Wall to be waterproofed to 300mm above soil line.



THE COUNCIL OF HAWTHORN
CONSTRUCTION CERTIFICATE
This is a copy of submitted plans,
documents or Certificates associated
with the issue of the Construction Certificate.

PLAN OR DOCUMENT CERTIFICATION
I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of
development consent, the provisions of the Building Code of Australia.
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1184, A.S.2670, A.S.3600, A.S.3700
A.S.4100

Jack D. Hodgson 18/7/03 J.D.Hodgson
Name Date Signature

No. Amendment Draw Date

STRUCTURAL PLANS AND DETAILS
PROPOSED ADDITIONS
13 ALLEYNE AVENUE
NORTH NARRABEEN
MR. G. STOVOLD

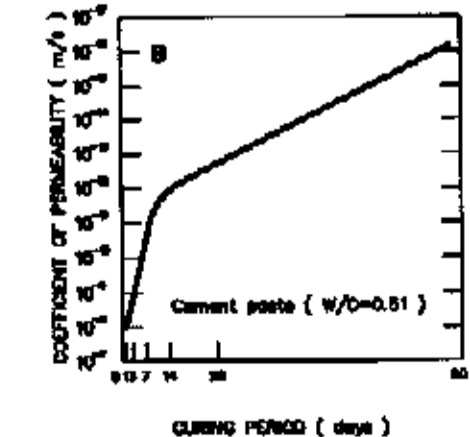
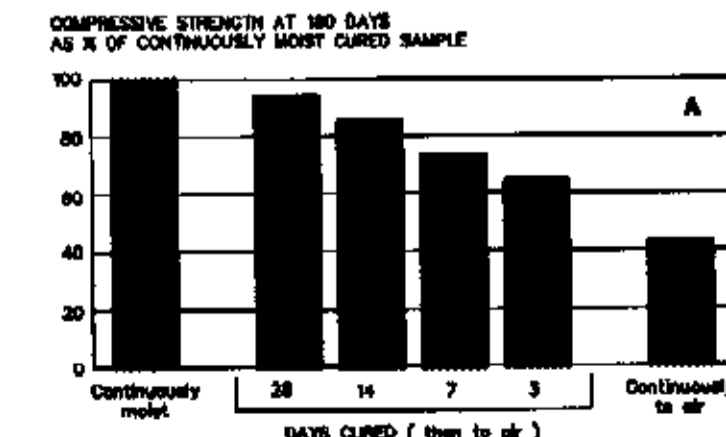
The Structural Details shown on this Drawing are Not to change
under any circumstances. No Certificate will be issued for work
Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungam Street, MONA VALE, NSW, 2103-P.O. Box 386, NSW, 1580.
Telephone (02) 9679 8733, Facsimile (02) 9679 8835. A.C.N. 963 406 011

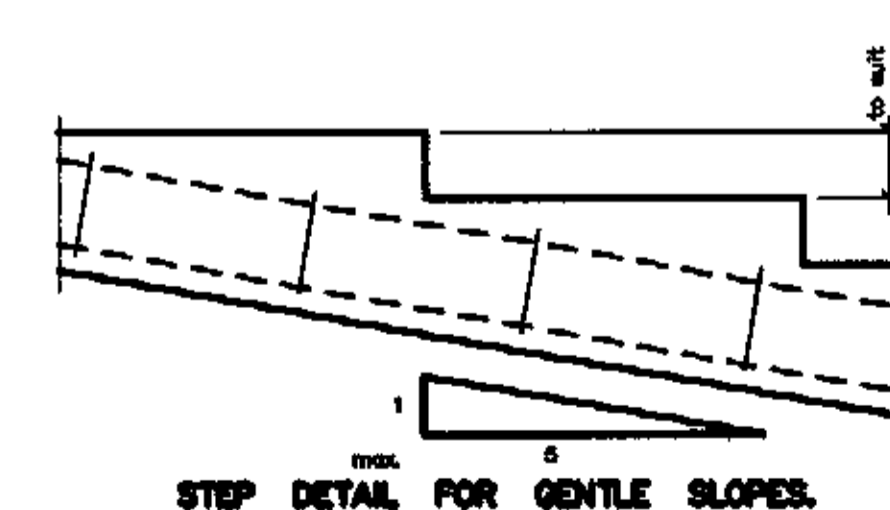
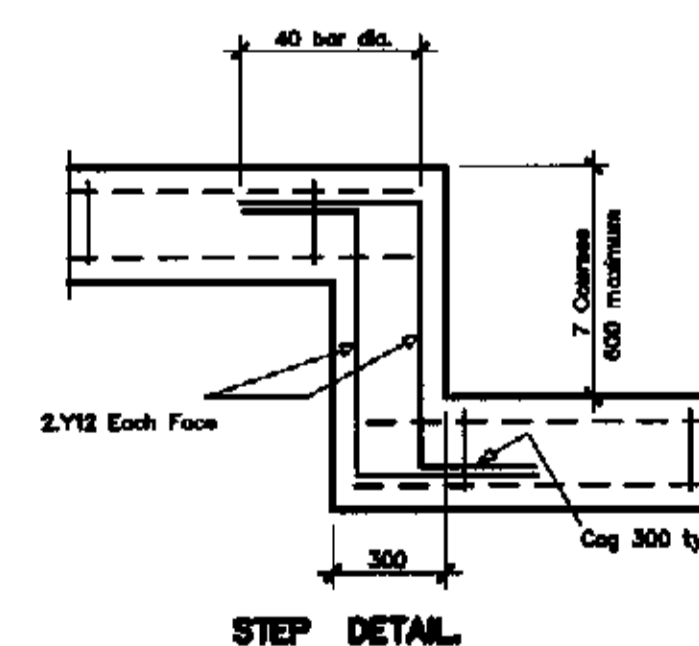
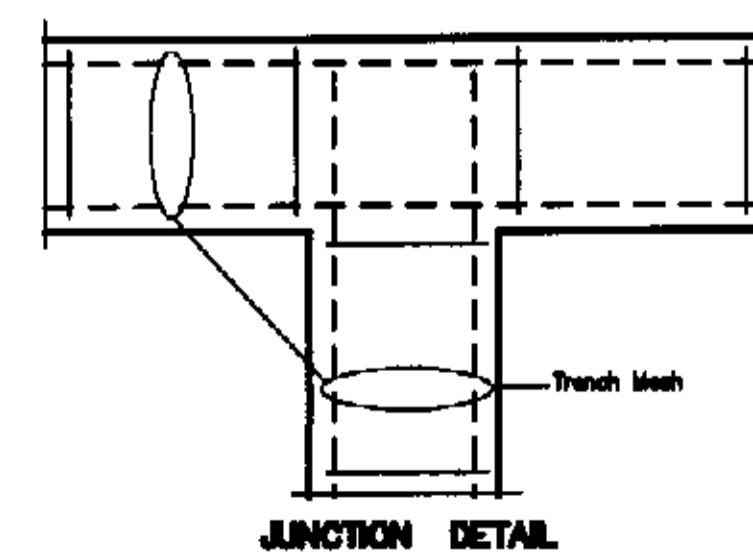
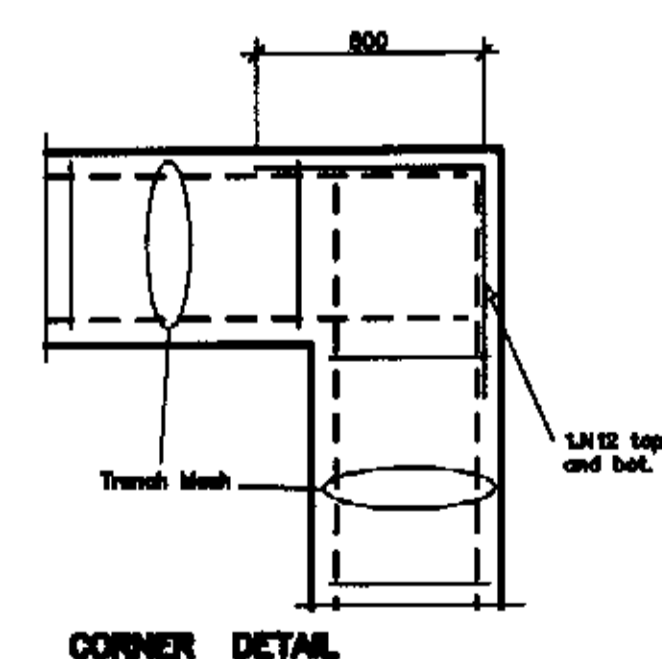
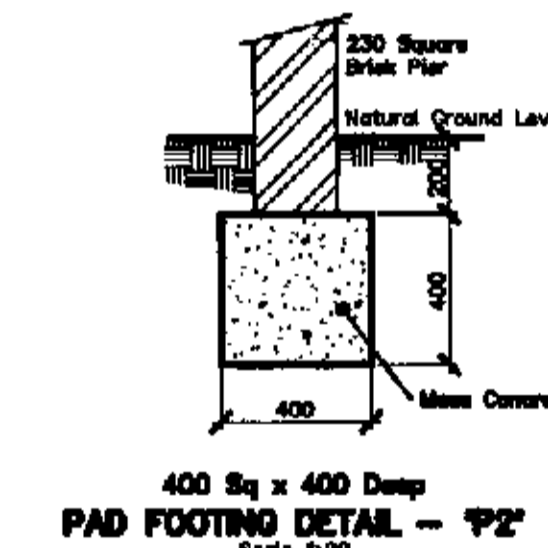
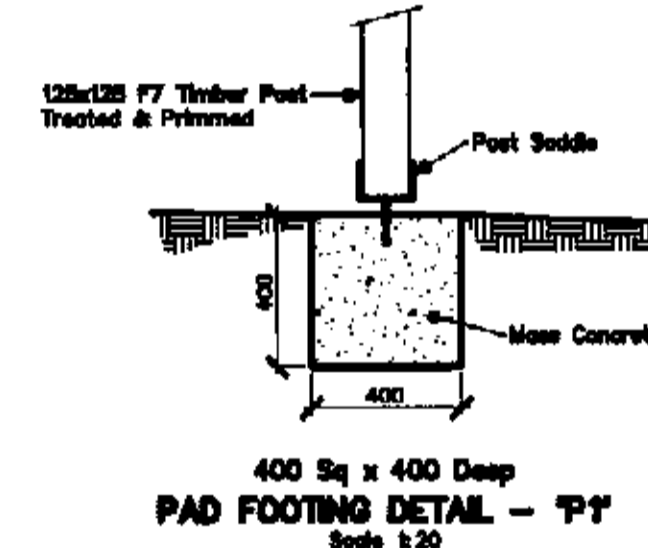
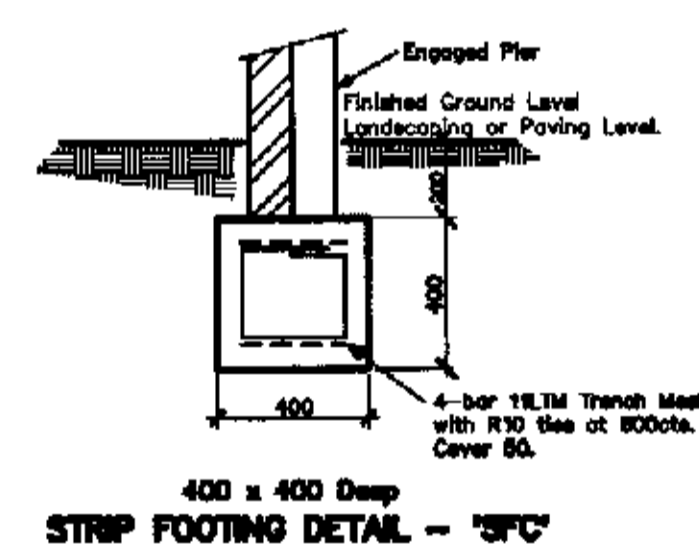
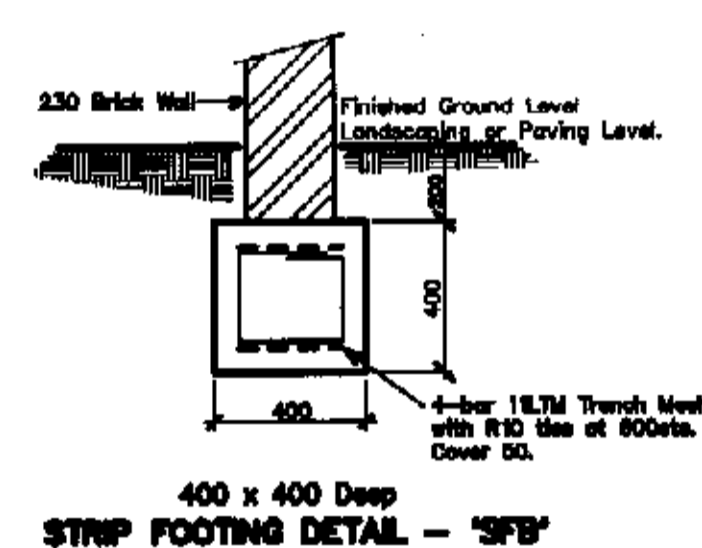
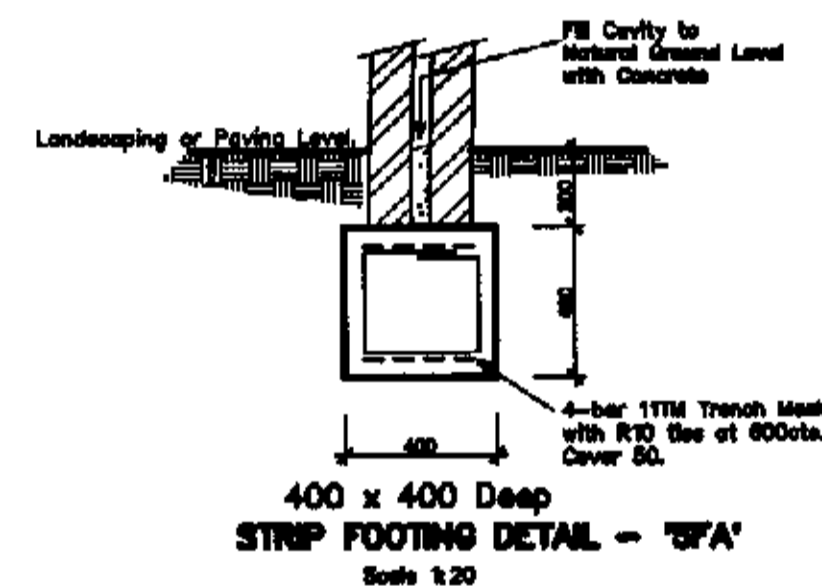
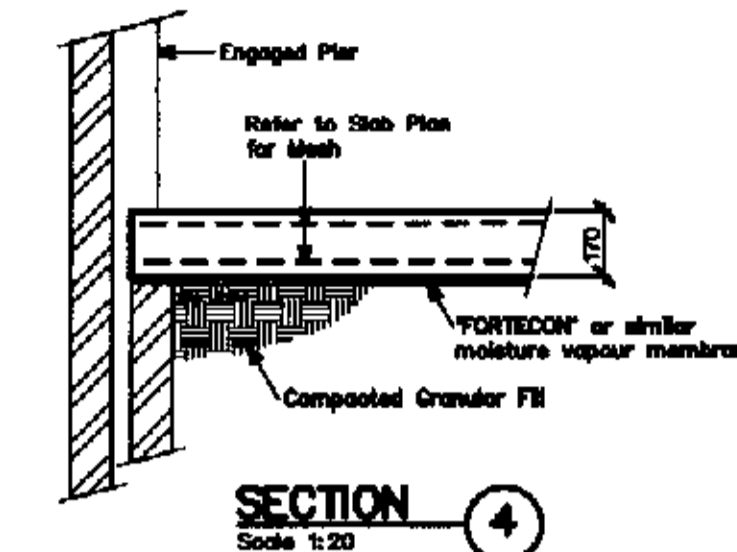
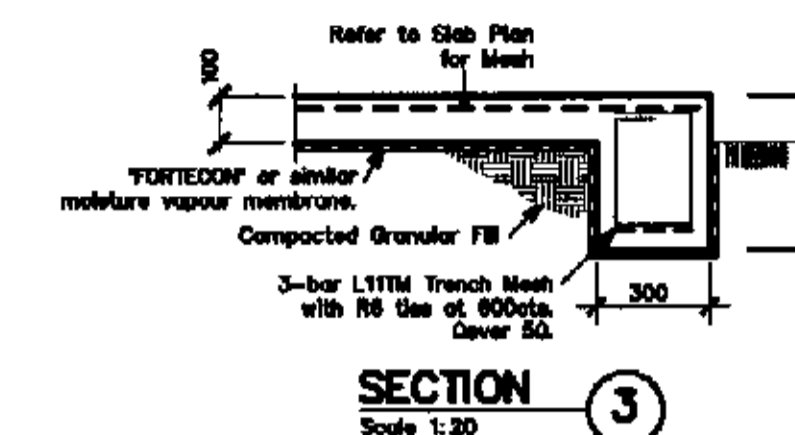
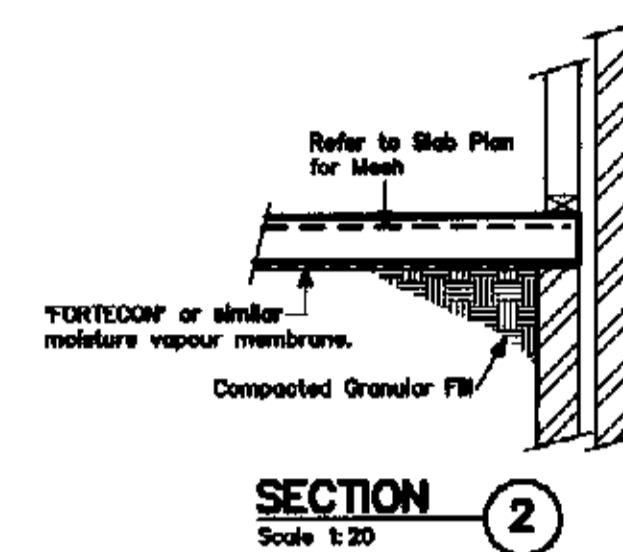
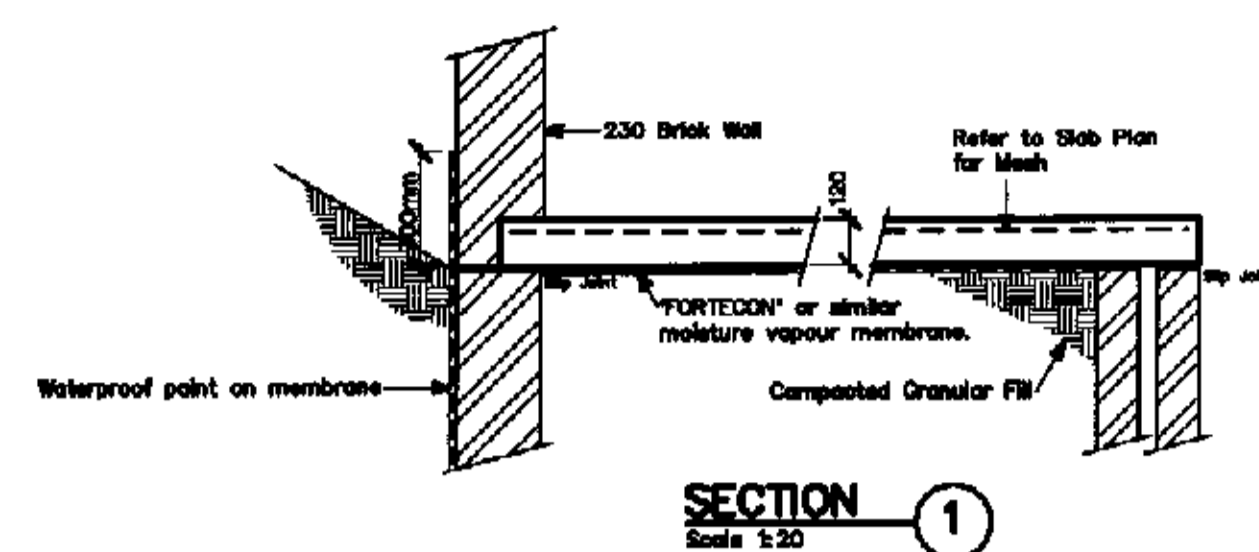
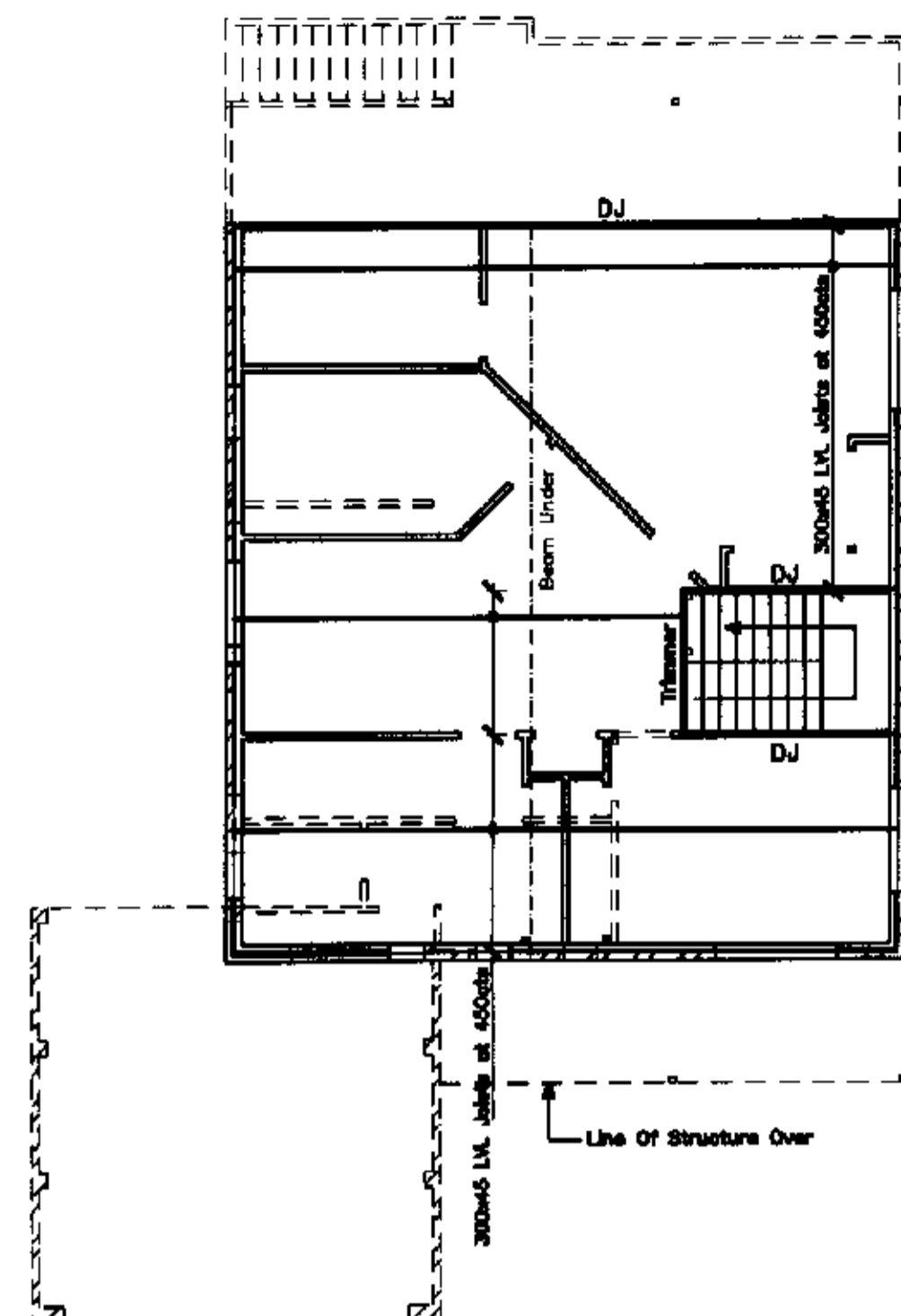
Designed J.D.H. Drawn E.D. Job No. Drawing No.
Checked J.D.H. Scale 1:100,20 uno
Date 18 JULY 2003

20074-1

IMPORTANCE OF CURING CONCRETE



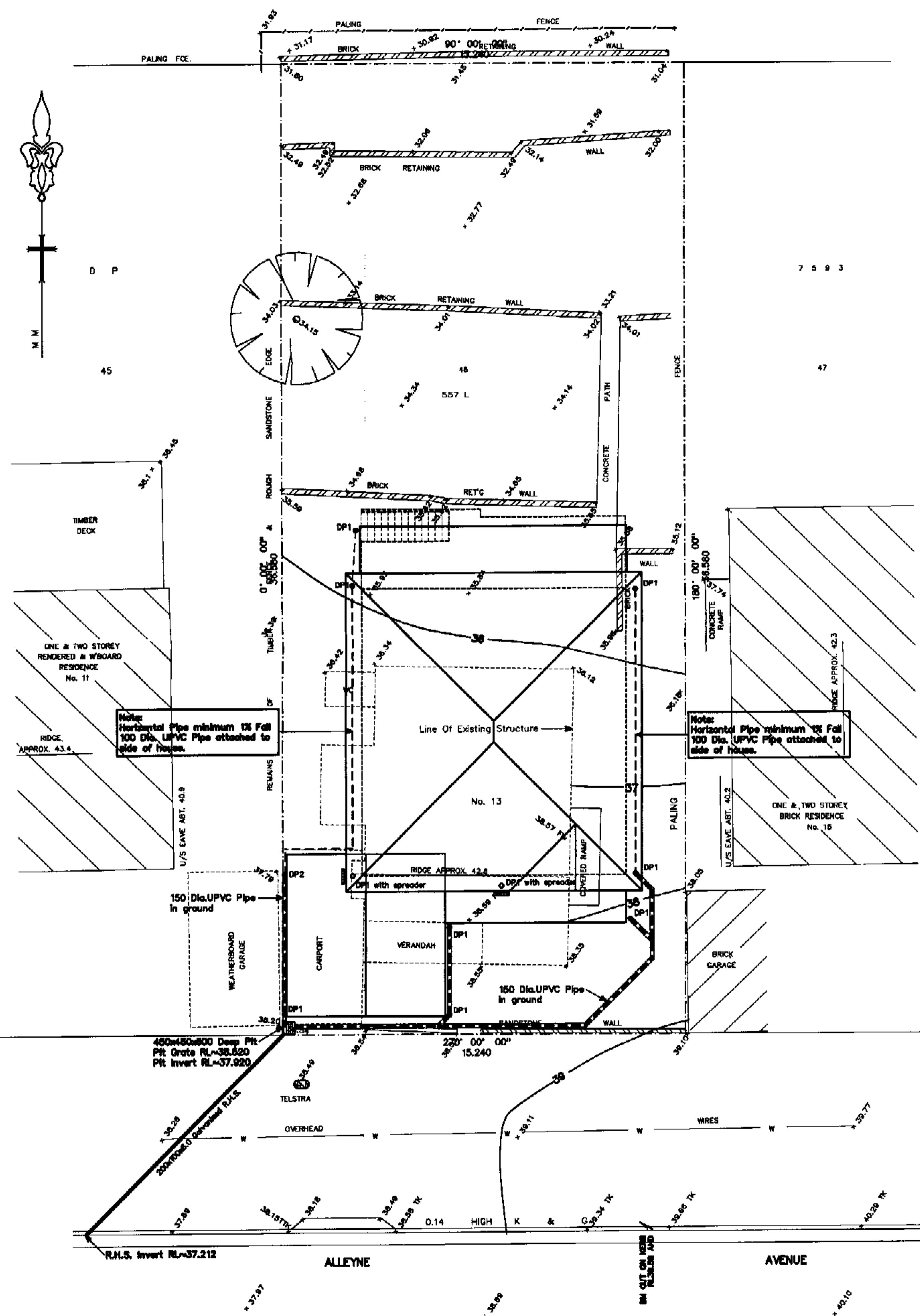
Effect of curing duration on : (A) compressive strength; and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:1998)



THE COUNCIL OF PITTSBURGH
CONSTRUCTION CERTIFICATE
This is a copy of submitted plans,
documents or Certificates associated
with the issue of the Construction Certificate.

REFER TO DRAWING 1 FOR NOTES AND THE
'IMPORTANCE OF CURING CONCRETE' GRAPH.

PLAN OR DOCUMENT CERTIFICATION			
I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...			
I hold the following qualifications or licence No.M.Eng.Sc.			
.....F.I.E.Aust.Nper3.Struct.Civil.No.146788.....			
Further I am appropriately qualified to certify this component of the project.			
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.			
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1864, A.S.2870.1, A.S.3600, A.S.3700			
A.S.4100			
Jack D. Hodgson 12/7/03 J. Hodgson			
Name	Date	Signature	
No.	Amendment	Drawn	Date
STRUCTURAL PLANS AND DETAILS			
PROPOSED ADDITIONS			
13 ALLEYNE AVENUE			
NORTH HARRAGEEN			
MR. G. STOVOLD			
The Structural Details shown on this Drawing are Not to change under any circumstance. No Certificate will be issued for work Not in accordance with this Drawing.			
JACK HODGSON CONSULTANTS PTY. LIMITED.			
Consulting CIVIL, Geotechnical, and Structural Engineers.			
11 Bangum Street, MONA VALE, NSW, 2103, P.O. Box 388, NSW, 1580.			
Telephone (02) 9578 6733, Facsimile (02) 9578 8823. A.C.N. 053 485 071			
Designed	JDH	Drawn	ED
Checked	JDH	Scale	1:100, 20 and
Date	18 JULY 2003		
Job No.		Drawing No.	
		20074-2	



- DRAINAGE PIPE NOTES:-**
1. All pipes unless otherwise specified to be 100 dia. UPVC pipe.
 2. Slopes of pipes to be a minimum of 1:100 ie. 1%.
 3. All levels and dimensions to be checked and confirmed on site.
 4. Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.
 5. All design work and works to be in accordance with AS/NZS 3500.3.2 (1988) and AS/NZS 3500.5 (2000).

**THE COUNCIL OF PITTWATER
CONSTRUCTION CERTIFICATE**

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A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1604, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100
Jack D. Hodgson 18/7/03 J.D. Hodgson
Name Date Signature

STORMWATER MANAGEMENT PLAN

**PROPOSED ADDITIONS
13 ALLEYNE AVENUE
NORTH NARRABEEN**

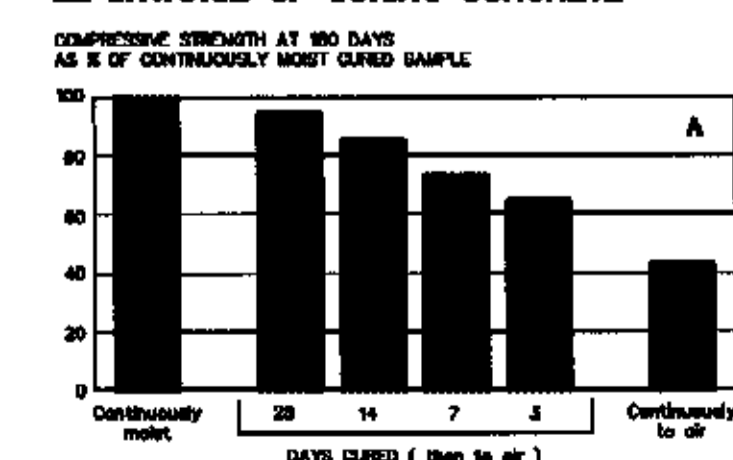
MR. G. STOVOLD

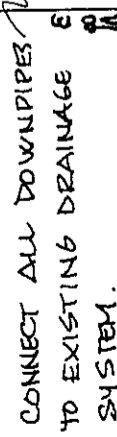
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Telephone (02) 9678 8733, Facsimile (02) 9678 9825. A.C.N. 093 408 011

Designed JDH Drawn ED Job No. Drawing No.
Checked JDH Scale 1:100.20 Date
Date 17 JULY 2003

IMPORTANCE OF CURING CONCRETE



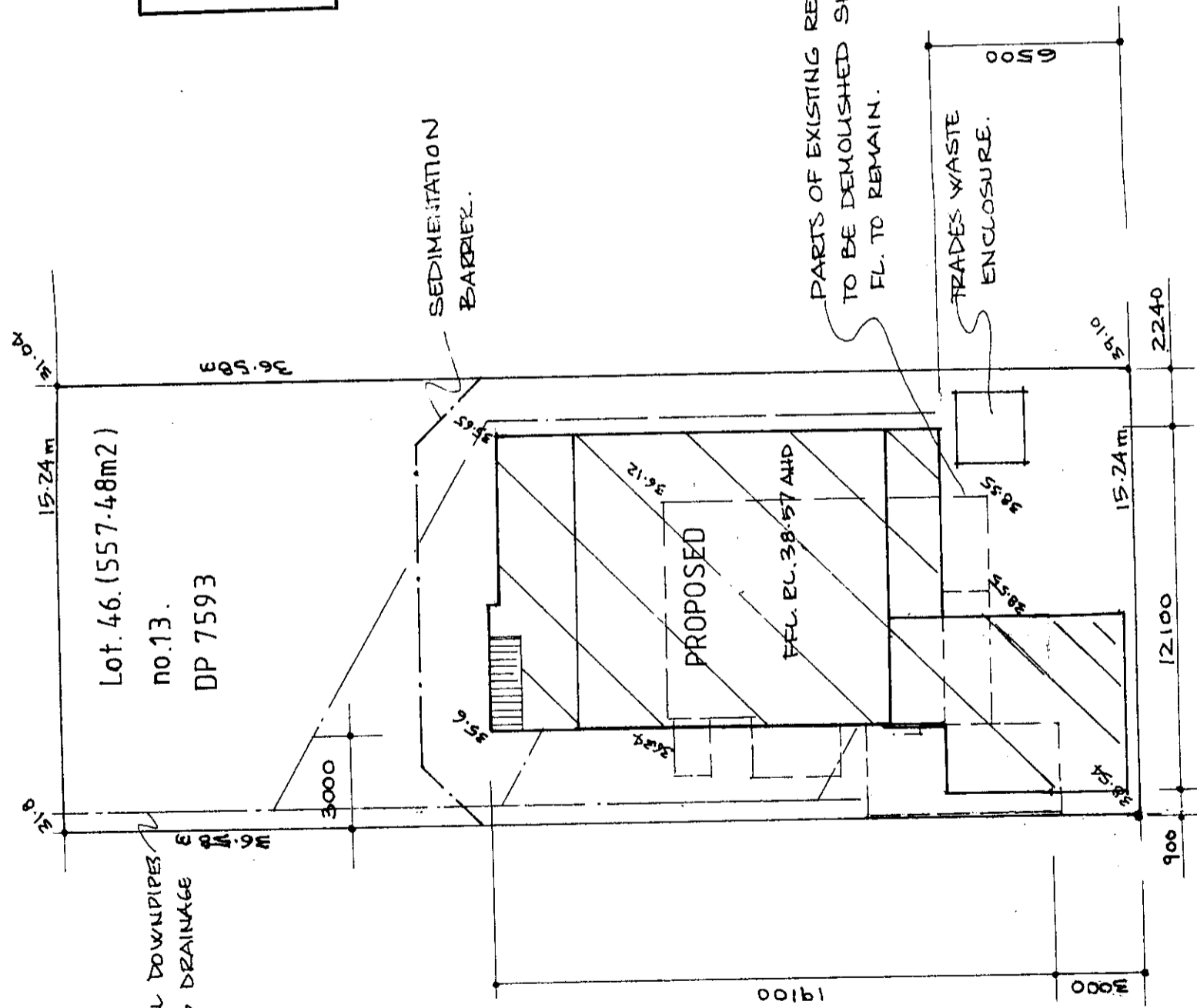


Lot. 46. (557-48m2)
no.13.
DP 7593

**THE COUNCIL OF PITTSBURGH
CONSTRUCTION CERTIFICATE**

THE COUNCIL OF PITTSBURGH
APPROVED
DEVELOPMENT CONSENT PLAN

NOTE - BUILDER TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORK.



ALLEYNE AVE

△ BM. RL. 39.58 AHD

site plan

Proposed

For Mr. G. STOVOLD

AT 13 ALLEYNE AVE
NORTH NARRABEEN

RIVERFORD DESIGN
SERVICES PTY LTD

27 MONA STREET

MONA VALE 2103

ph. 0408230029

fax. 029979 3583

b/lic. 42033

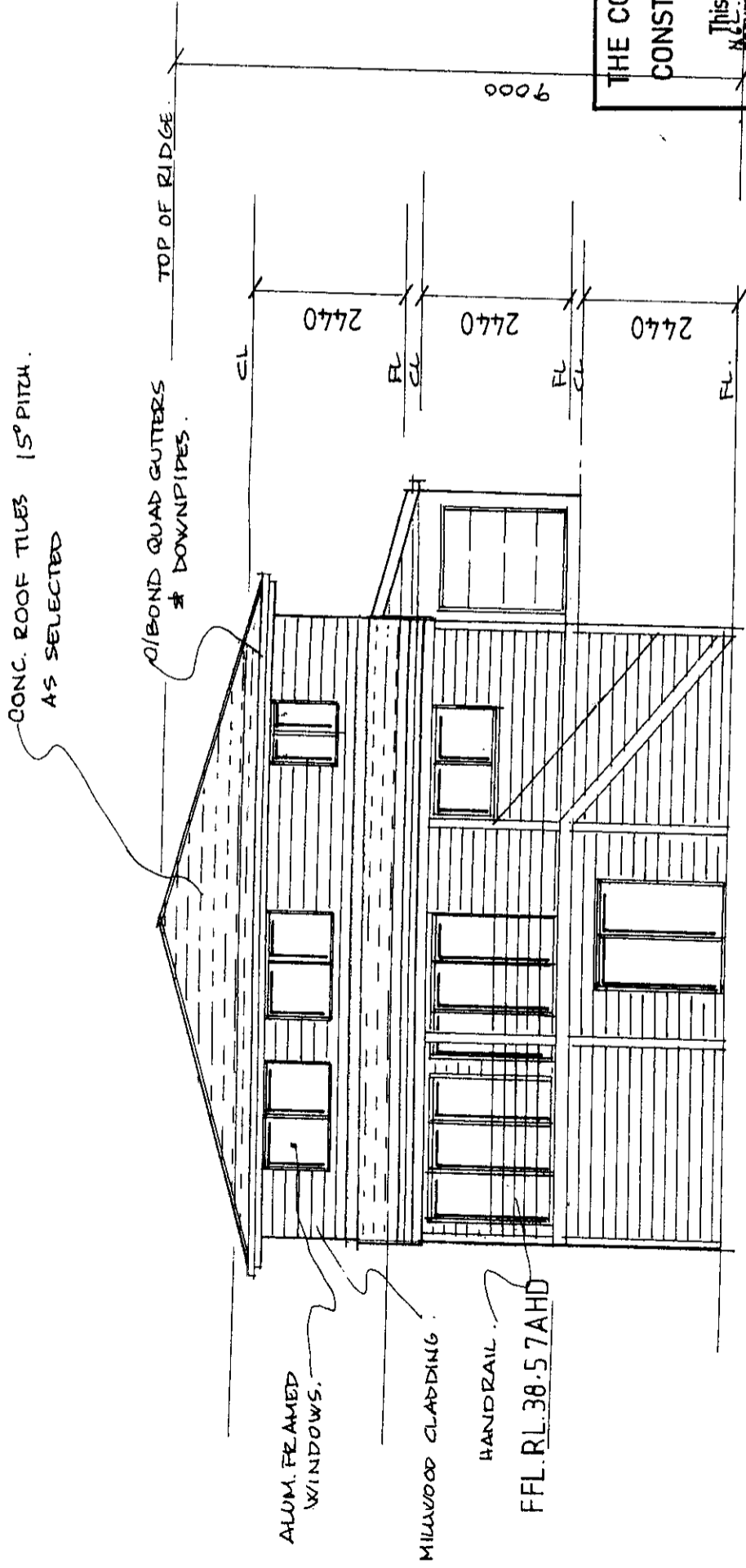
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checked K.W.

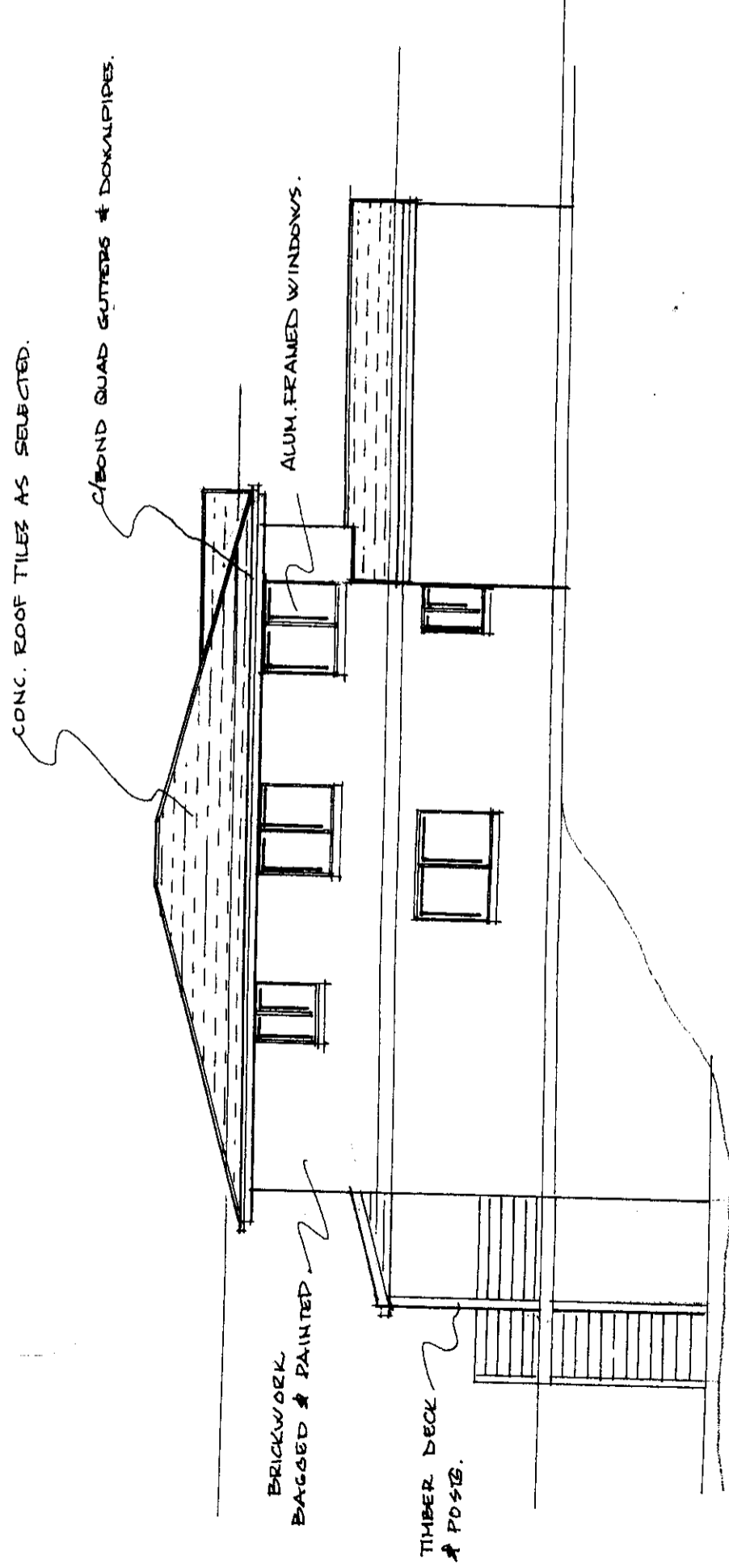
scales 1:200

drug no.

024211A



north elevation



west elevation

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

THE COUNCIL OF PITTWATER
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Proposed

For Mr. G. STOVOLD

At 13 ALLEYNE AVE
NORTH NARRABEEN

RIVERFORD DESIGN
SERVICES PTY LTD

22 MONA STREET
MONA VALE 2103

ph. 0408230029
fax. 0299793583

b/lic. 42033

drawn B. ALLEN.

checked K.W.

scales 1:100

drg no.

0242 / 5B

600 EAVES O/HANG
TYP.

CONC. ROOF TILES
AS SELECTED

TOP OF RIDGE RL 44.87 AHD.

HARDITEX
BAGGED & PAINTED.

C/BOND QUAD GUTTERS
& DOWNPIPES.

BRICKWORK
BAGGED & PAINTED.

C/BOND
BULLNOSE
VERANDAH.

C/BOND PANELIFT DOOR.

south elevation

RL RL. 38.57

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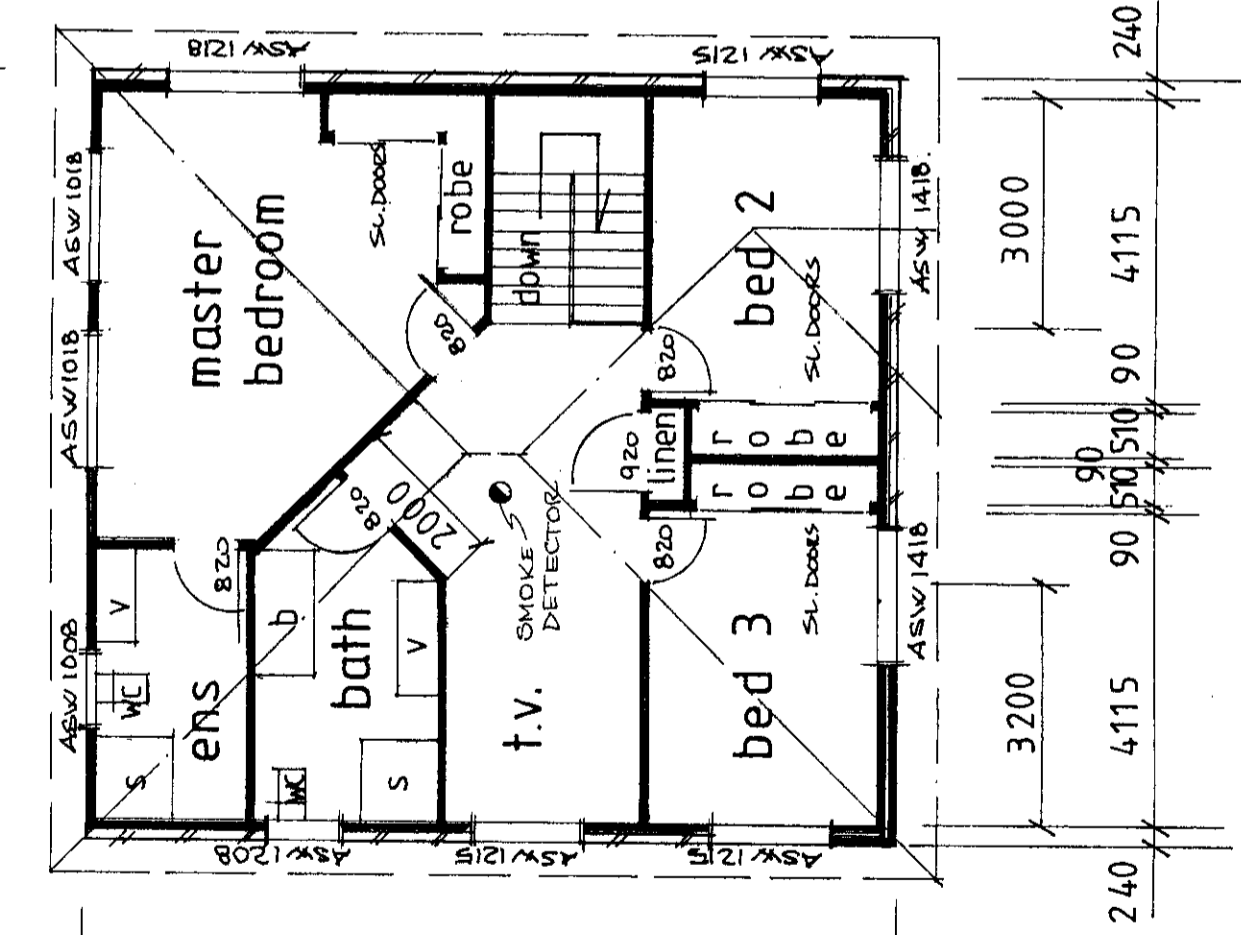
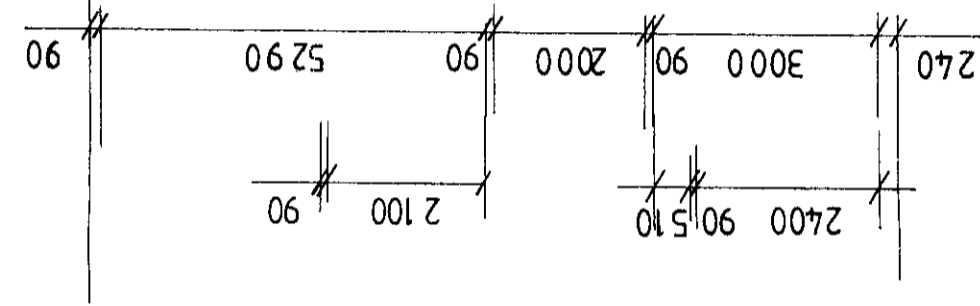
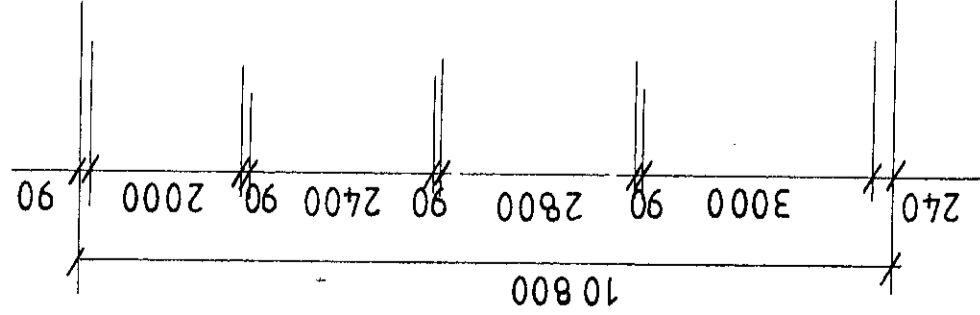
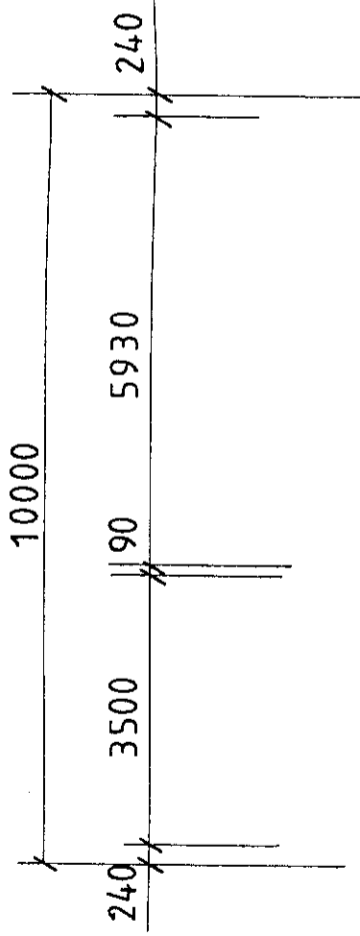
C/BOND PANELIFT DOOR.

south elevation

RL RL. 38.57

24.40

24.40



first floor plan

THE COUNCIL OF PITTWATER
APPROVED
 DEVELOPMENT CONSENT PLAN

NOTE - BUILDER TO VERIFY ALL DIMENSIONS ON SITE
 BEFORE COMMENCEMENT OF ANY WORK.

Proposed For Mr. G STOVOLD		
At 13 ALLEYNE AVE NORTH NARRABEEN		
RIVERFORD DESIGN SERVICES PTY LTD 22 MONA STREET MONA VALE 2103 ph. 0408230029 fax. 0299793583 b/lic. 42033	drawn B.ALLEN	checked KW.
	scales 1:100	
drg no.		0242/3