

LOCATION PLAN - 25 ACACIA ROAD, SEAFORTH
LOT 10 / DP1112545

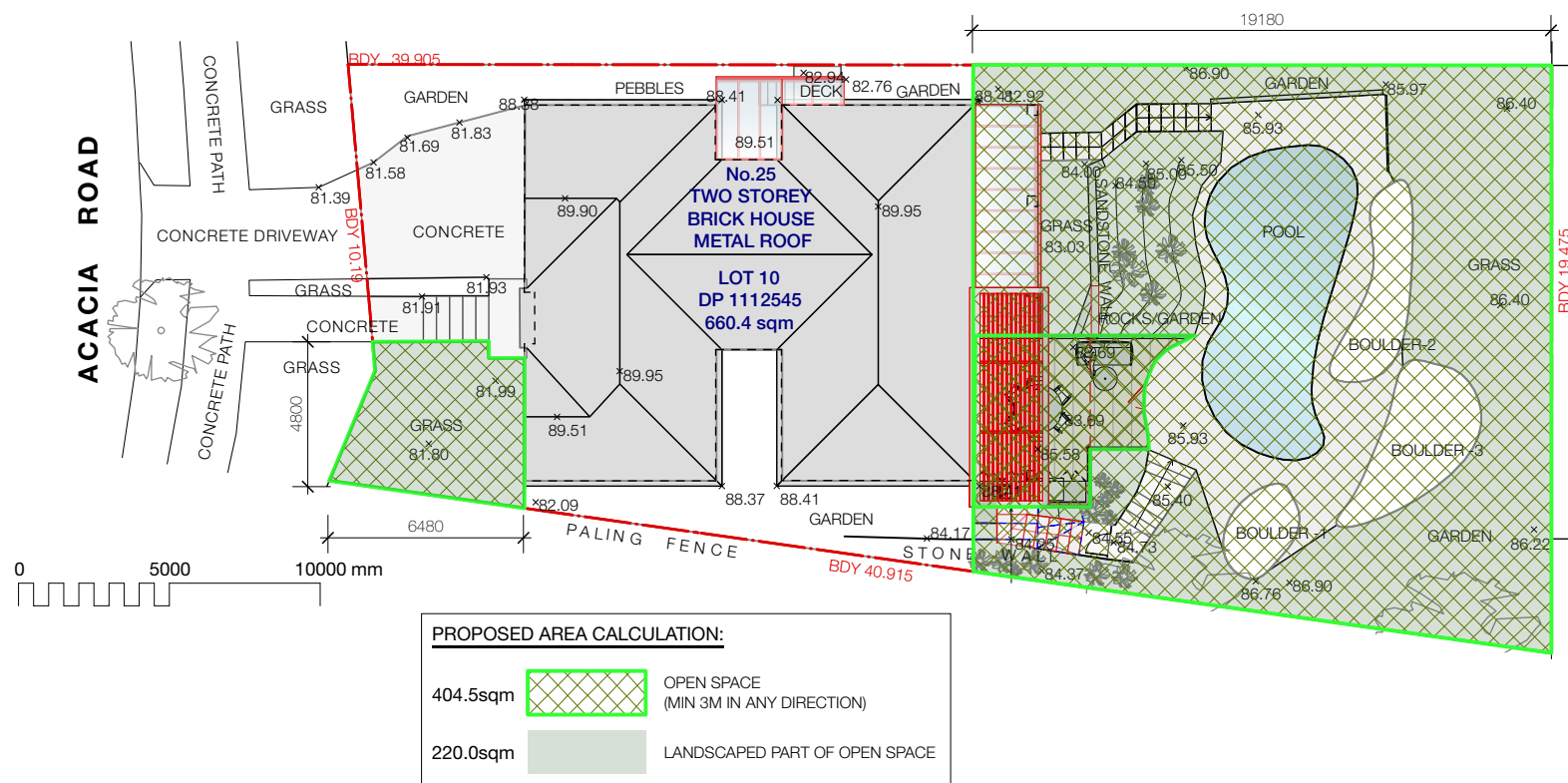
AERIAL PHOTO NTS

NORTHEN BEACHES COUNCIL
ZONE: R2 - LOW DENSITY RESIDENTIAL
DEEP SOIL: MIN. 35% OF OPEN SPACE (144sqm)
OPEN SPACE AREA: MIN.55% (363.2sqm)
FSR: TO REMAIN UNCHANGED
BUILDING HEIGHT: TO REMAIN UNCHANGED
RESIDENTIAL OPEN SPACE AREA: OS3

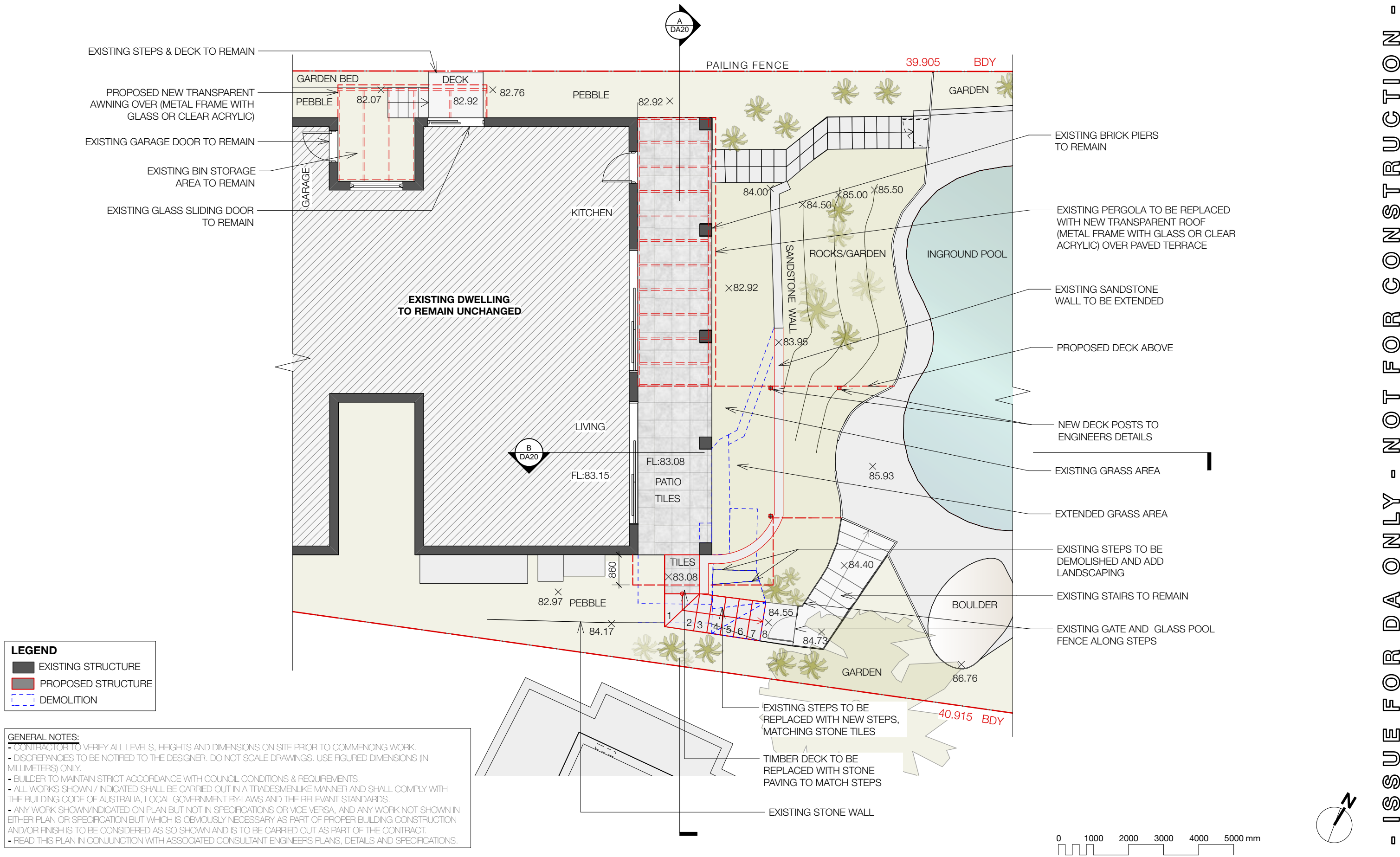
SITE AREA	660.4sqm	
EXISTING OPEN SPACE AREA	375.5sqm	56.9% —> Complies
EXISTING LANDSCAPE AREA	216sqm	57.5% —> Complies
PROPOSED OPEN SPACE AREA	404.5sqm	61.3% —> Complies
PROPOSED LANDSCAPE AREA	220sqm	54.4% —> Complies

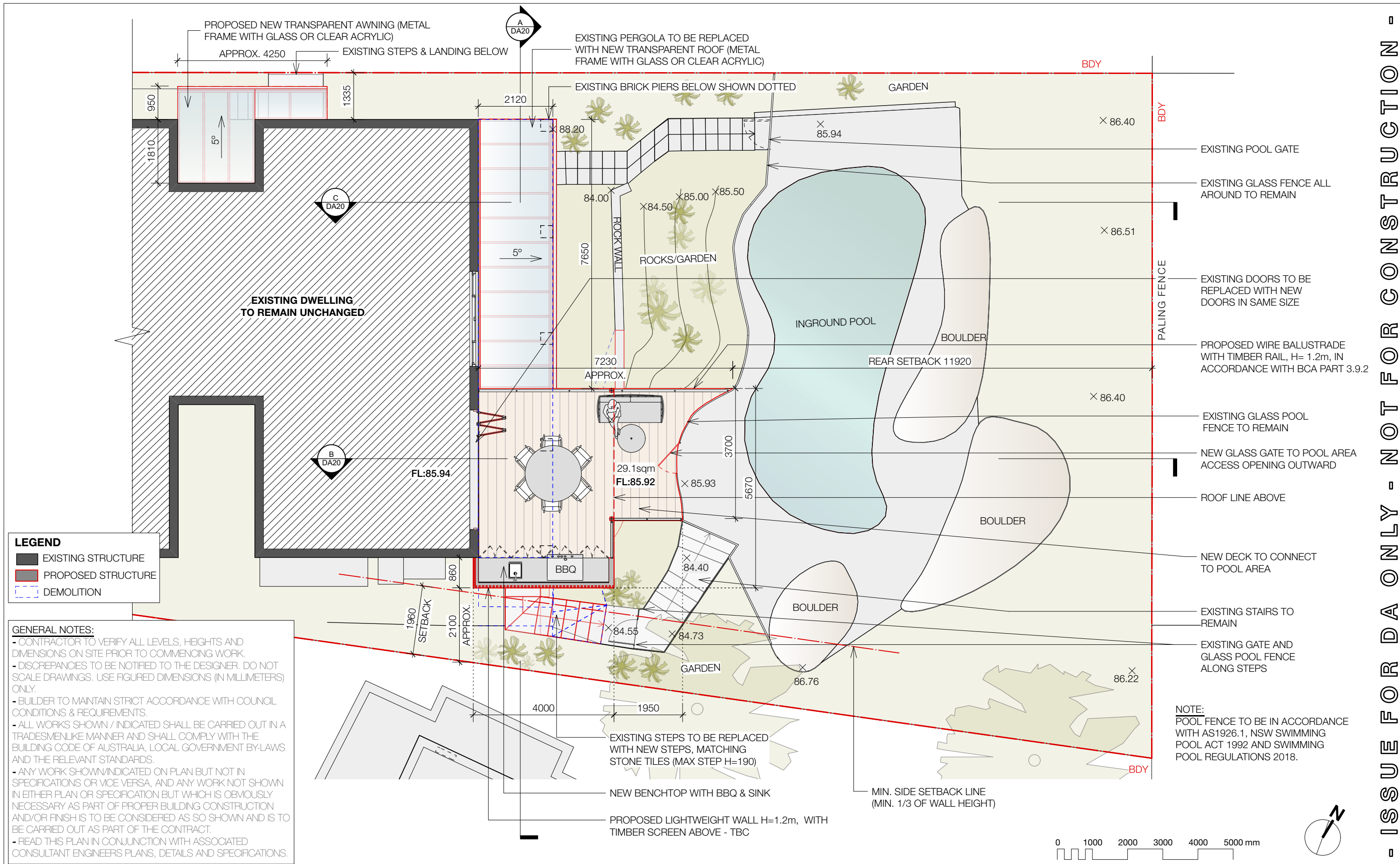
DRAWING LIST

DA00	COVER SHEET	NTS
DA01	SITE ANALYSIS/ SITE PLAN	1:200
DA10	PROPOSED GROUND FLOOR PLAN	1:100
DA11	PROPOSED FIRST FLOOR PLAN	1:100
DA12	PROPOSED SITE PLAN	1:200
DA20	PROPOSED SECTIONS	1:100
DA30	PROPOSED ELEVATION & 3D VIEW	1:100
DA40	PROPOSED MATERIALS & FINISHES	1:100
DA50	SHADOW DIAGRAMS - JUNE	1:200
16966-21	SURVEY PLAN	1:100

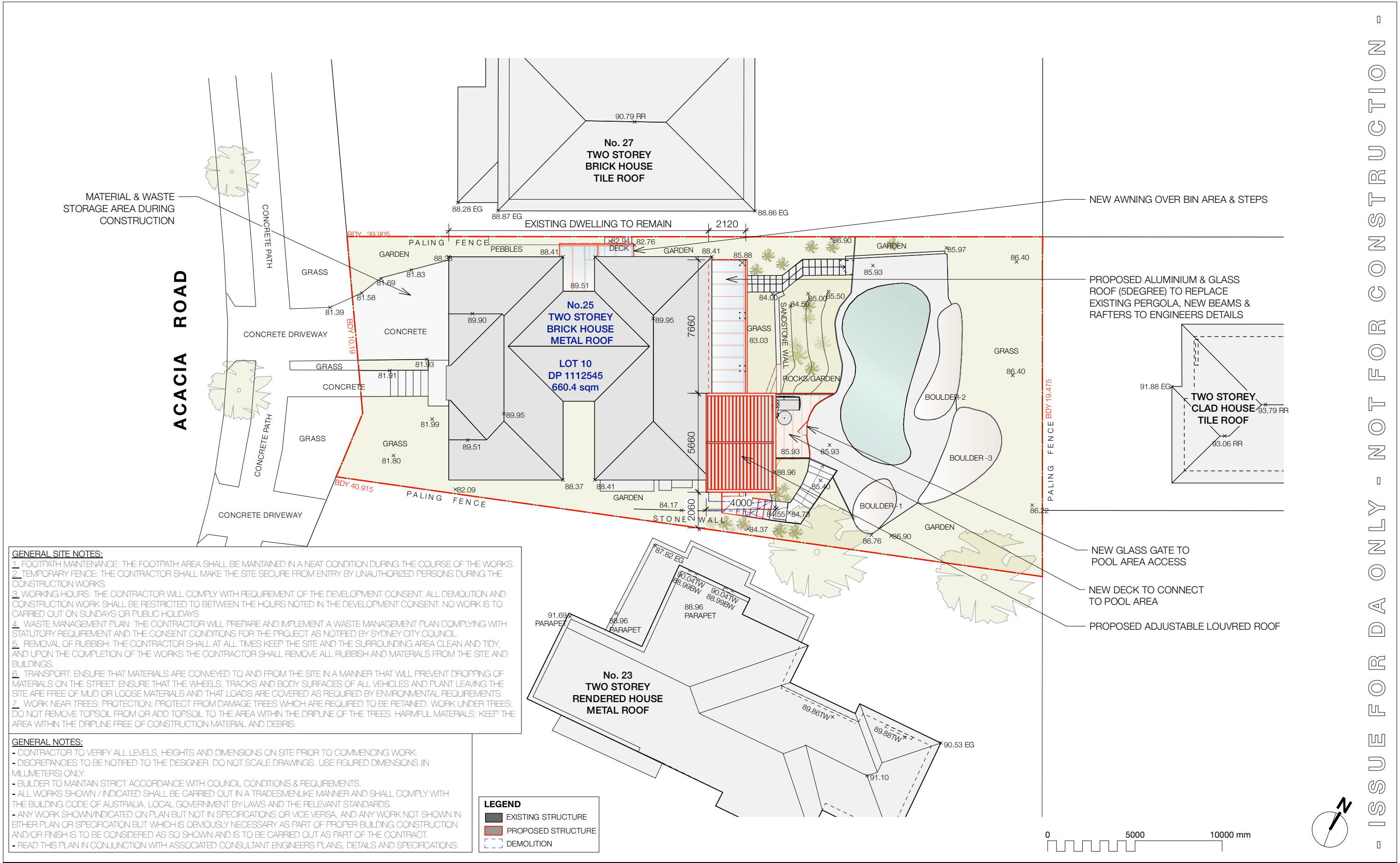


- i) horizontal dimension of **at least 3m** in any direction; and
 ii) a **minimum unbroken area of 12sqm**.
- A variation to the minimum specifications in i) and ii) above may only be considered for Above Ground Open Space where it can be demonstrated that lesser dimensions or areas will better serve to minimise amenity impacts on neighbours. A lesser area of above ground open space may be included or calculated under the minimum requirements in the circumstances of the case. In all other cases open space that does not comply with the minimum specification is not included or calculated under the minimum requirements for total open space.*

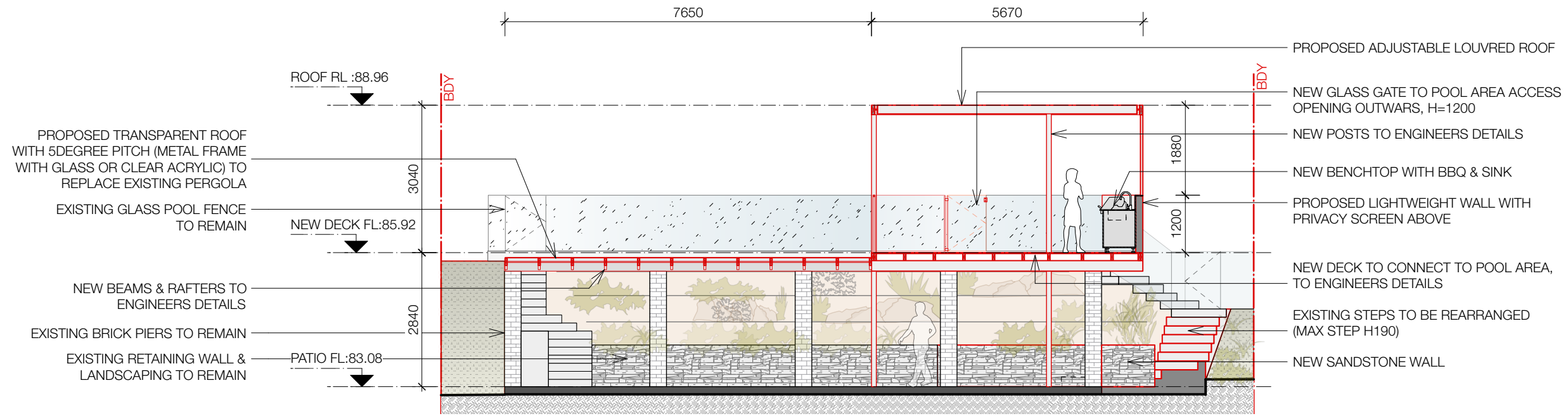




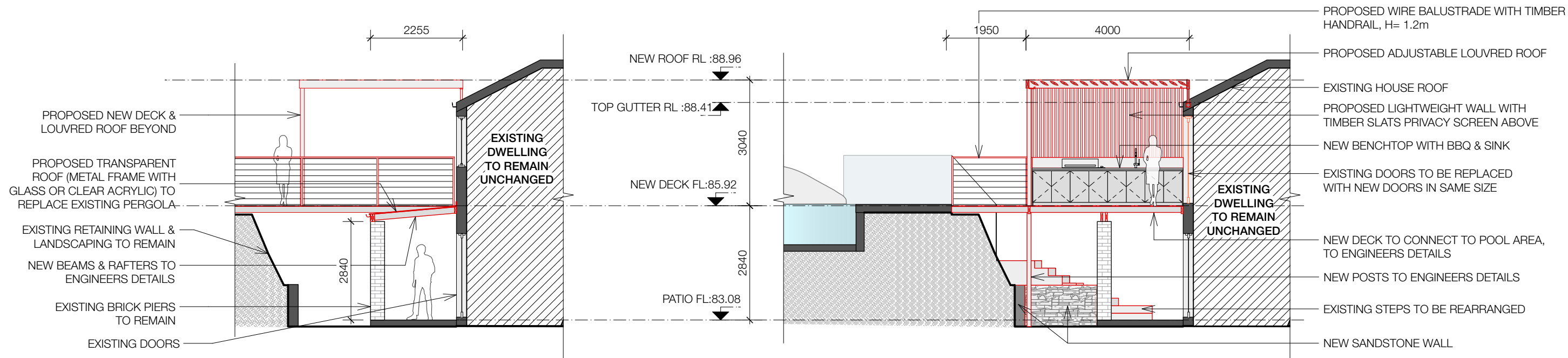
						PROJECT STAGE: DEVELOPMENT APPLICATION (DA)			DRAWING TITLE: PROPOSED FIRST FLOOR PLAN																				
<table><tr><th>REV.</th><th>DATE</th><th>COMMENT / AMENDMENT</th></tr><tr><td>A</td><td>08/06/21</td><td>PRELIMINARY- FOR CLIENTS REVIEW</td></tr><tr><td>B</td><td>11/06/21</td><td>FOR REVIEW BY CLIENT & CONSULTANT</td></tr><tr><td>C</td><td>22/06/21</td><td>ISSUE FOR DA</td></tr><tr><td colspan="3"> </td></tr><tr><td colspan="3"> </td></tr></table>			REV.	DATE	COMMENT / AMENDMENT	A	08/06/21	PRELIMINARY- FOR CLIENTS REVIEW	B	11/06/21	FOR REVIEW BY CLIENT & CONSULTANT	C	22/06/21	ISSUE FOR DA							<p>BDAA NSW NO.6550</p> <p>M: PO Box 660 Manly 1655</p> <p>E: info@uibuildingstudio.com</p> <p>W: www.uibuildingstudio.com</p> <p>DESIGNS SHOWN HEREON ARE THE COPYRIGHT OF U+I BUILDING STUDIO UNDER THE COPYRIGHT ACT 1968. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.</p>			<p>PROJECT NO: 21-06</p> <p>PROJECT NAME: New Covered Deck to Existing Dwelling</p> <p>PROJECT ADDRESS: 25 Acacia Rd. Seaforth NSW</p> <p>CLIENT: M. Hildebrand</p>			<p>DATE: 22/6/21</p> <p>DRAWN: ID</p> <p>CHECKED: IK</p> <p>FILE NAME: DA 210622 25 Acacia Road .vwx</p>		
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						SCALE: 1:100			DRAWING NO: DA11																				
						SHEET: ISO A3																							
						REV: C																							



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<div>U+I</div>	REV.	DATE	COMMENT / AMENDMENT	PROJECT NO:	21-06	DATE:	22/6/21
	A	08/06/21	PRELIMINARY: FOR CLIENTS REVIEW	PROJECT NAME:	New Covered Deck to Existing Dwelling	DRAWN:	ID
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	C	22/06/21	ISSUE FOR DA	CLIENT:	M. Hildebrand	FILE NAME:	DA 210712 25 Acacia Road .vwx
						SCALE:	1:200
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1- SECTION A



3- SECTION C

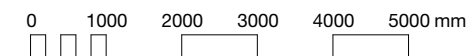
2- SECTION B

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
- DISCREPANCIES TO BE NOTIFIED TO THE DESIGNER. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS (IN MILLIMETERS) ONLY.
- BUILDER TO MAINTAIN STRICT ACCORDANCE WITH COUNCIL CONDITIONS & REQUIREMENTS.
- ALL WORKS SHOWN / INDICATED SHALL BE CARRIED OUT IN A TRADESMANLIKE MANNER AND SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, LOCAL GOVERNMENT BY-LAWS AND THE RELEVANT STANDARDS.
- ANY WORK SHOWN/INDICATED ON PLAN BUT NOT IN SPECIFICATIONS OR VICE VERSA, AND ANY WORK NOT SHOWN IN EITHER PLAN OR SPECIFICATION BUT WHICH IS OBVIOUSLY NECESSARY AS PART OF PROPER BUILDING CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SO SHOWN AND IS TO BE CARRIED OUT AS PART OF THE CONTRACT.
- READ THIS PLAN IN CONJUNCTION WITH ASSOCIATED CONSULTANT ENGINEERS PLANS, DETAILS AND SPECIFICATIONS.

LEGEND

- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- DEMOLITION



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PROJECT STAGE: **DEVELOPMENT APPLICATION (DA)**

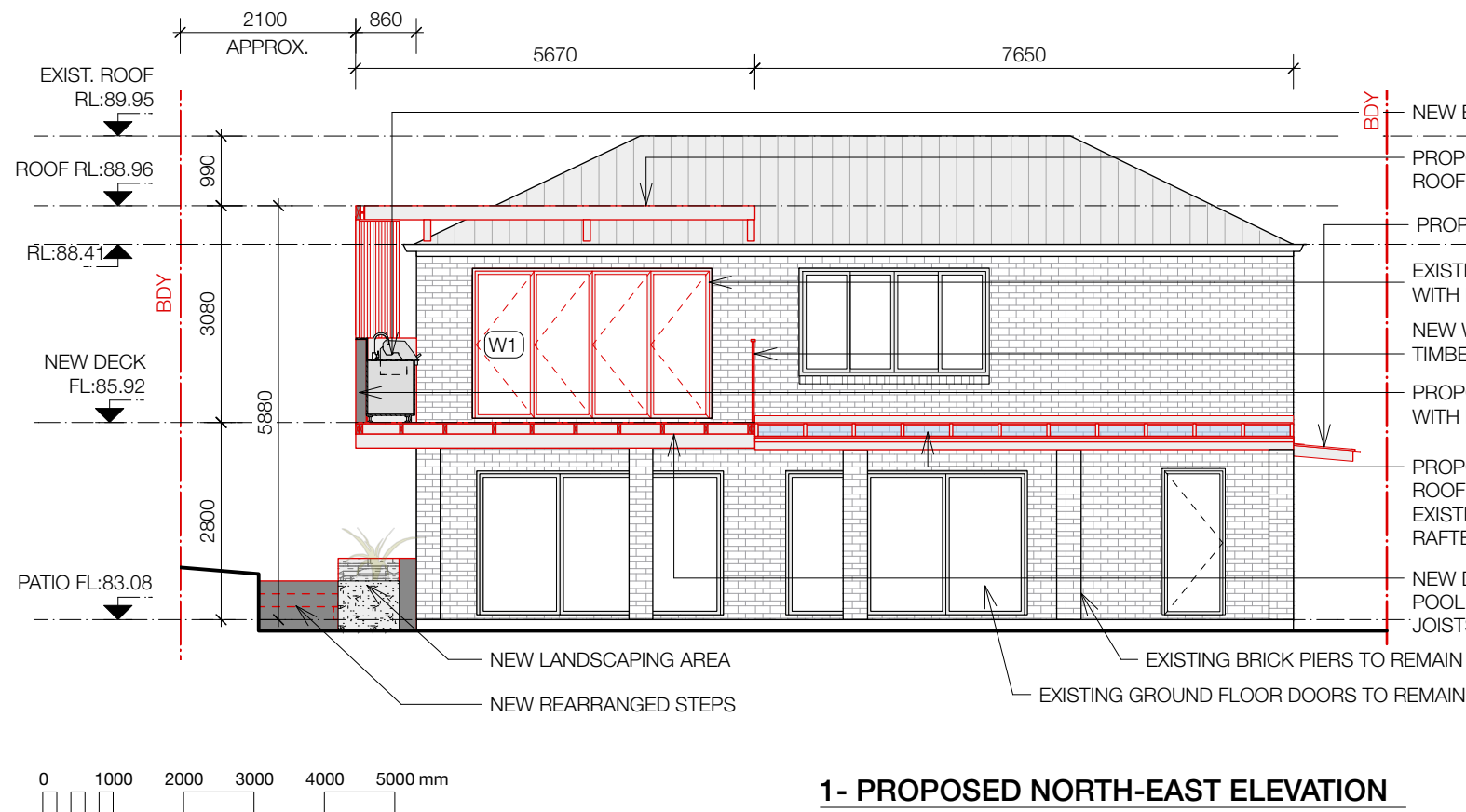
PROJECT NO: 21-06
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CLIENT: M. Hildebrand

DRAWING TITLE: **PROPOSED SECTIONS**

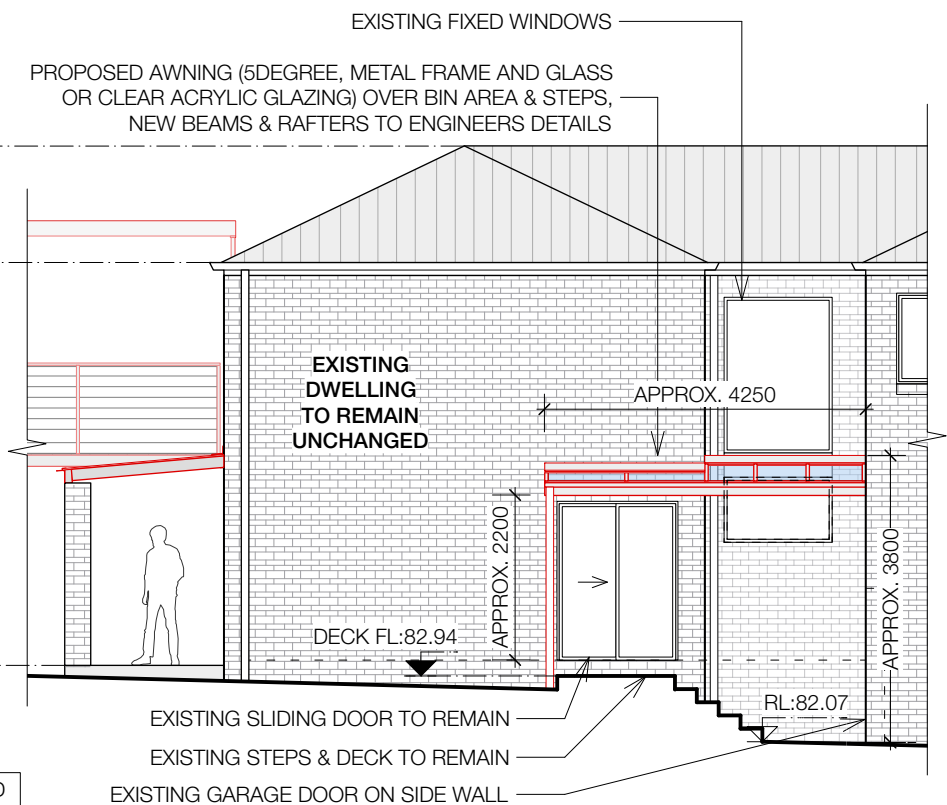
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SCALE: 1:100
SHEET: ISO A3
REV: C

DRAWING NO: **DA20**



W1: ALUMINIUM FRAMED GLAZED DOOR WITH MIN U-VALUE 7.63 AND SHGC 0.75, IN ACCORDANCE WITH BASIX CERTIFICATE



- NEW BENCHTOP WITH BBQ & SINK
- PROPOSED ADJUSTABLE LOUVRED ROOF
- PROPOSED TIMBER BATTEN PRIVACY SCREEN ABOVE BENCH
- PROPOSED LIGHT WEIGHT WALL WITH TIMBER CLADDING
- PROPOSED WIRE BALUSTRADE WITH TIMBER HANDRAIL, H=1.2m
- PROPOSED GLASS POOL GATE OPENING OUTWARDS
- EXISTING GLASS POOL FENCING TO REMAIN



- EXISTING BI-FOLD DOORS TO BE REPLACED WITH NEW DOORS IN SAME SIZE
- NEW TIMBER DECK TO CONNECT TO POOL AREA (TO ENGINEERS DETAILS)
- PROPOSED TRANSPARENT ROOF (METAL FRAME WITH GLASS OR CLEAR ACRYLIC GLAZING PANELS) TO REPLACE EXISTING PERGOLA

3- NORTH VIEW
N.T.S.

LEGEND		
	EXISTING STRUCTURE	
	PROPOSED STRUCTURE	
	DEMOLITION	

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ADJUSTABLE LOUVRE ROOF



COLOUR: 'SURFMIST' COLORBOND

PRIVACY SCREEN



TIMBER, PAINT FINISH: WHITE

TERRACE & SIDE AWNING



ALUMINIUM FRAME WITH GLASS OR CLEAR ACRYLIC GLAZING PANELS
FRAME COLOUR: 'SURFMIST' COLORBOND

BALUSTRADE



WIRE BALUSTRADE WITH TIMBER HANDRAIL

TIMBER DECKING



HARDWOOD TIMBER DECKING

STEEL STRUCTURE



POWDER COATED
COLOUR: 'SURFMIST'