TN

SHARED DRIVEWAY TO MYOLA ROAD

LAWN

EXTEND GARDEN

EXISTING PARKING AREA

EXISTING RETAINING WALL

SYZYGIUM AUSTRALE 'SOUTHERN AUSSIE' SCREENING HEDGE

NEW TURNING APRON
(existing hardstand area)

NEW CARPORT
RL 71·30

NEW GARDEN

NEW fence

GARDEN

picket

NEW exist.

EXISTING LAWN

EXISTING PATH

EXISTING VERANDAH

REBUILD PICKET FENCE

DODONAEA TRIQUETRA 'HOP BUSH' SCREENING

REMOVE EXOTIC PALMS

REBUILD EXISTING FAILING WALL IN SAME LOCATION

retain

exist. garden

5900

700

1000

x71·30

x70·98

x70·61

70·59x

x70·68

70·85x

69·26x

x68·79

x68·81

69·24x

x68·97

x67·31

x67·38

x71·44

71·31x

x71·29

71·30x

x71·20

x69·27

x67·85

2
6

CARPORT AND FRONT YARD PLAN

John Wright
NETWORK DESIGN
a.b.n.52 057 985 118
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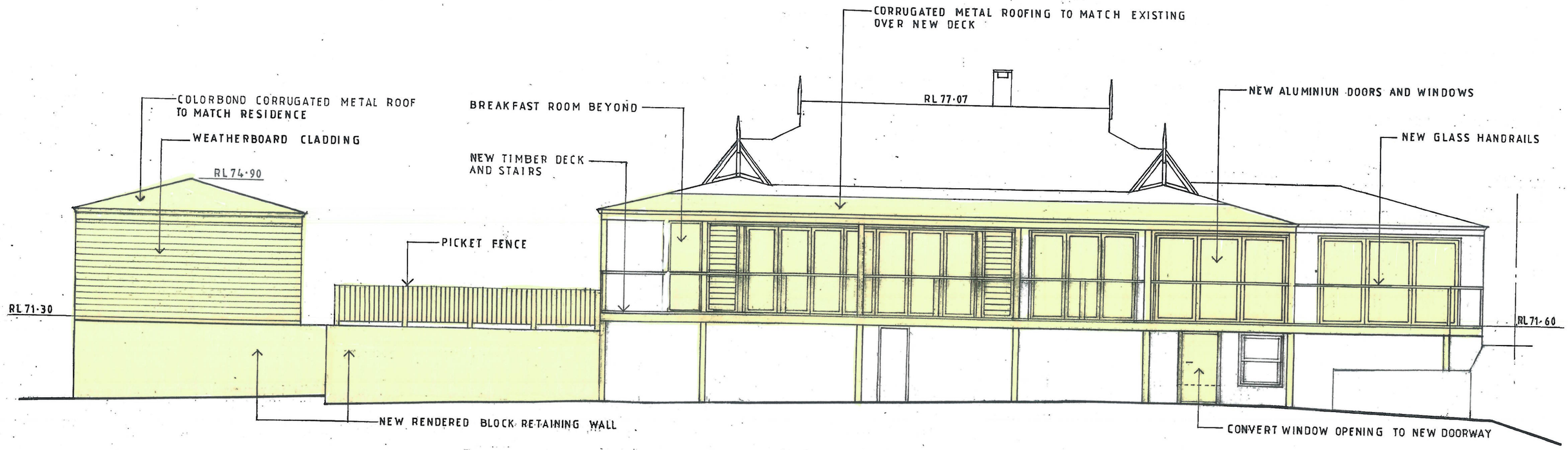
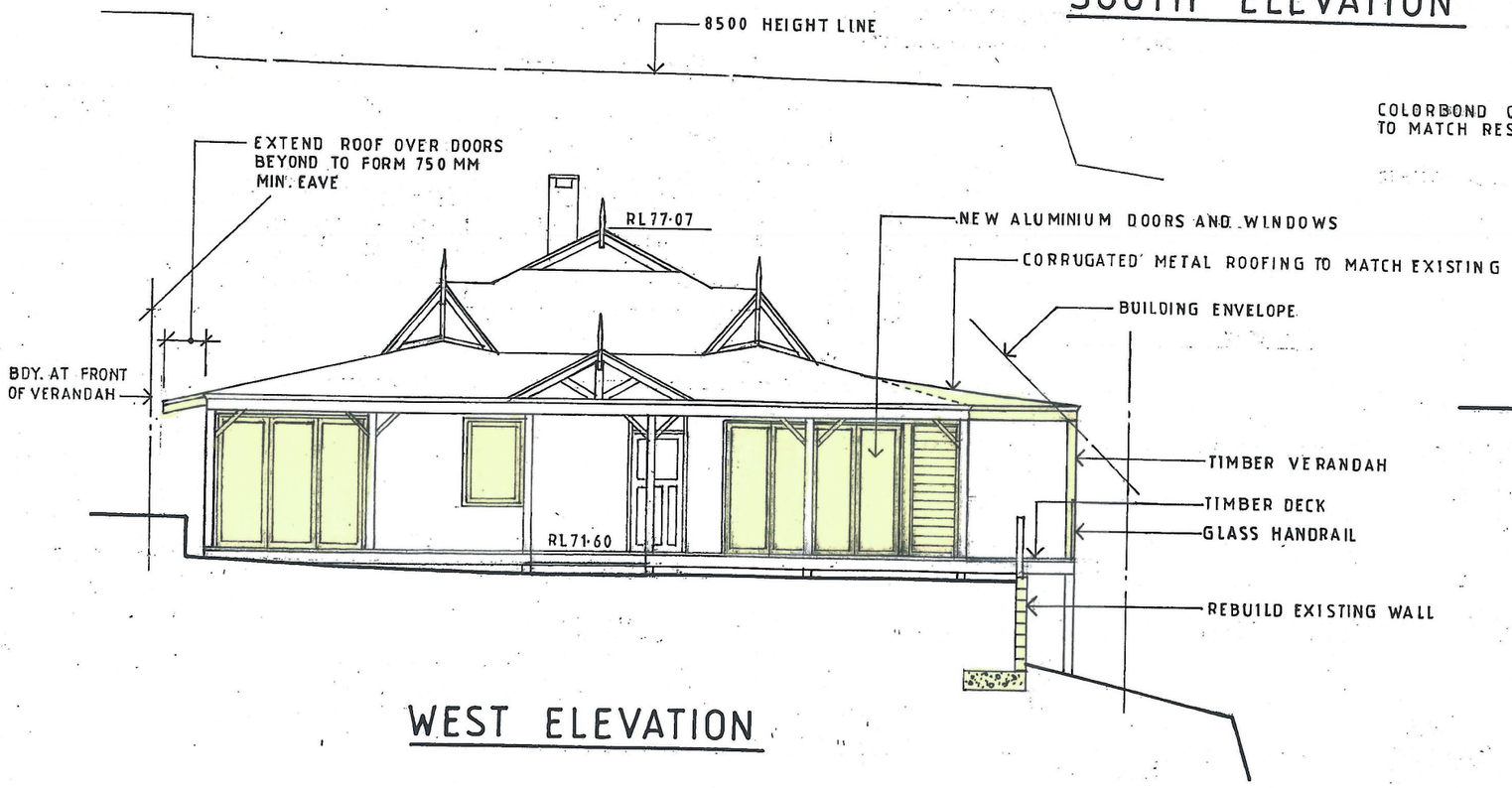
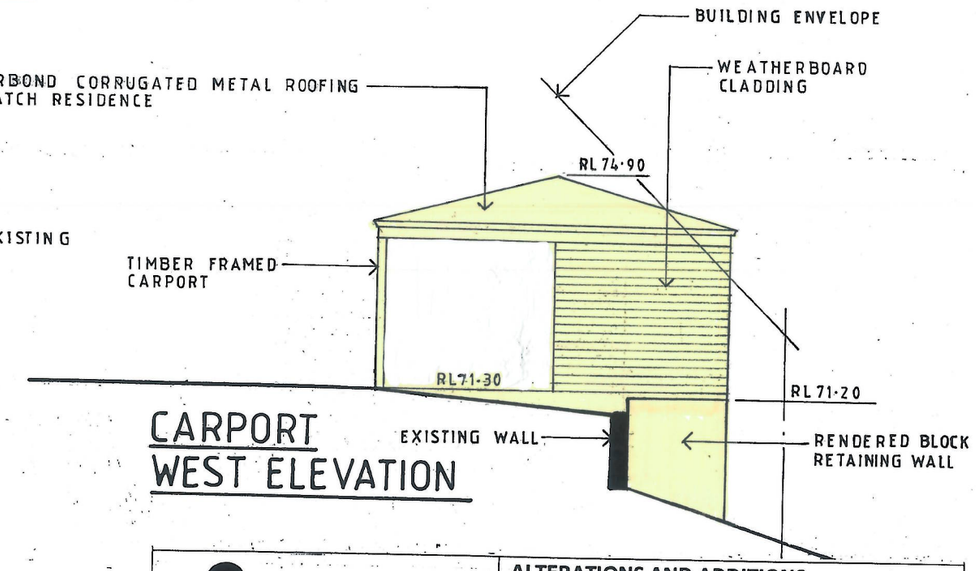
ALTERATIONS AND ADDITIONS **77A MYOLA ROAD** **NEWPORT LOT 1 DP715601**		
CLIENT JON MILLIGAN		
CARPORT AND FRONT YARD PLAN		
DATE NOVEMBER 2018	**DRAWN** J.WRIGHT	**DRG. NO.** 11-18-MYO
SCALE 1:100	**ISSUE:** DA	**SHEET NO.** 2



SOUTH ELEVATION



WEST ELEVATION



CARPORT WEST ELEVATION

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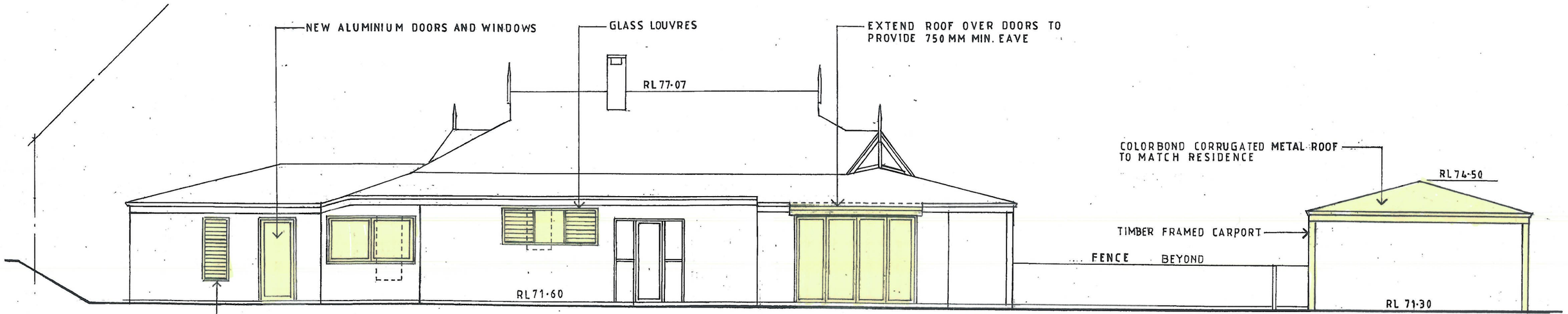
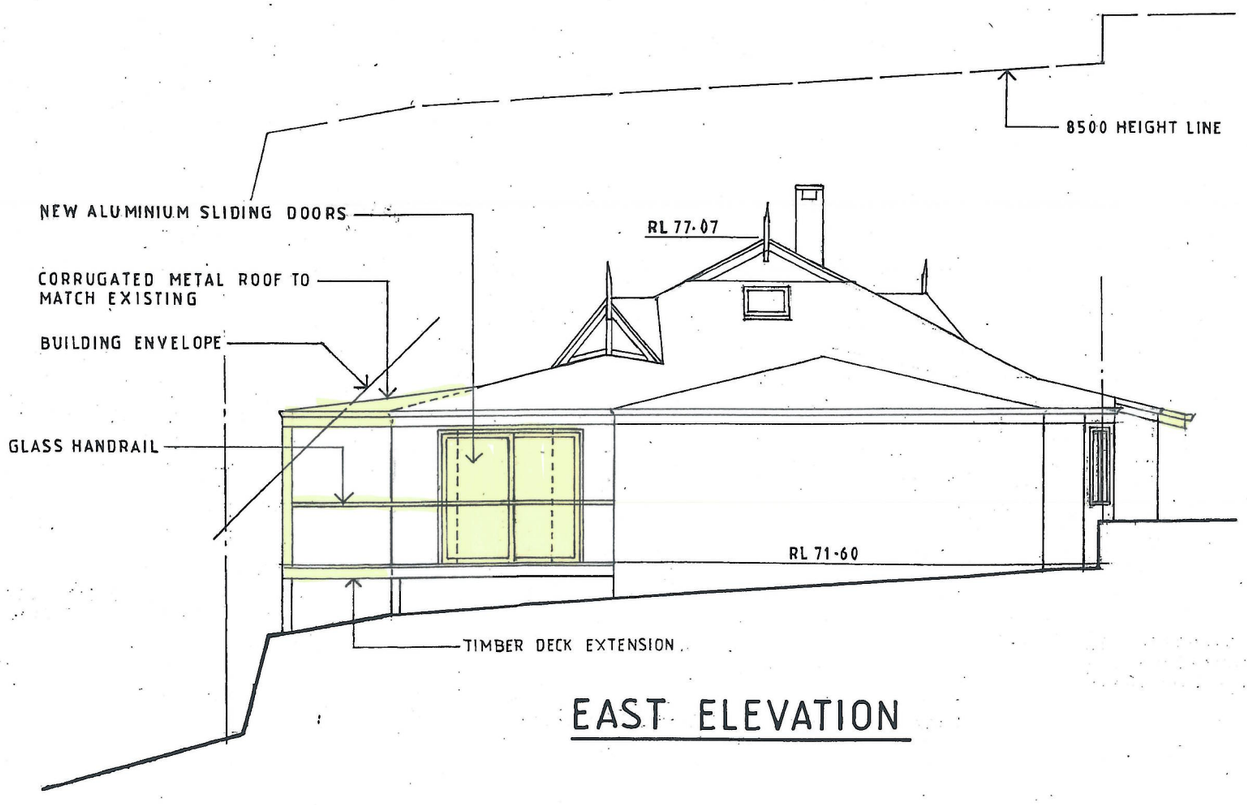
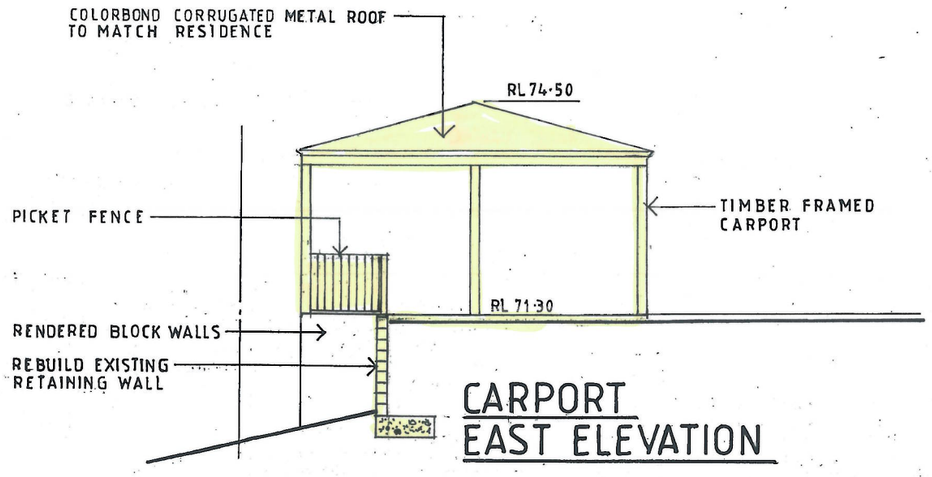
ALTERATIONS AND ADDITIONS **77A MYOLA ROAD** **NEWPORT LOT 1 DP715601**		
CLIENT JON MILLIGAN		
SOUTH AND WEST ELEVATION		
DATE NOVEMBER 2018	**DRAWN** J.WRIGHT	**DRG. NO.** 11-18-MYO
SCALE 1:100	**ISSUE:** DA	**SHEET NO.** 4



NORTH ELEVATION



EAST ELEVATION



CARPORT EAST ELEVATION

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ALTERATIONS AND ADDITIONS
77A MYOLA ROAD
NEWPORT LOT 1 DP715601

CLIENT
JON MILLIGAN

NORTH AND EAST ELEVATION

DATE	DRAWN	DRG. NO.
NOVEMBER 2018	J.WRIGHT	11-18-MYO
SCALE	**ISSUE:**	**SHEET NO.**
1:100	DA	5

BUNGAN HEAD ROAD

MULTI-LEVEL HOUSE NO. 60

MULTI-LEVEL HOUSE NO. 58

MULTI-LEVEL HOUSE NO. 64

MULTI-LEVEL HOUSE NO. 77A

SINGLE LEVEL HOUSE

DRIVEWAY

DRIVEWAY TO MYOLA ROAD

SHARED

600 HIGH SILT FENCE

REMOVE PALMS

REBUILD EXIST. WALL

NEW CARPORT RL 74.90

NEW TURNING AREA

NEW GARDENS

LAWN

path

LAWN

EXISTING VERANDAH

PROPOSED VERANDAH

DECK EXTENSION

exist. deck

EXTEND ROOF

3050 bdy

15250 BDY.

12 490 BDY.

40 645 BDY.

67 065 BDY.

0·655 BDY.

7735 BDY.

9 520 BDY.

BALCONY

CARPORT WITH STUDIO OVER RL 76.98

TERRACE RL 59.49

GUTTER 63.74

RIDGE 65.91

GUTTER 64.97

COVERED TERRACE

ROOF 64.85

RL 62.33

SRA

ROOF 67.88

ROOF 66.15

ROOF 71.41

GUTTER 69.61

TOP OF WALL 66.16

POOL

ROOF 71.26

PARAPET 70.22

GUTTER 70.42

RL 62.33

x53·68

x54·10

x62·84

x66·96

x68·97

x62·84

x67·06

x68·14

69·00x

66·92

67·82

69·27x

67·75

x69·26

70·68

x70·43

x70·61

71·20

11·44

x71·30

71·30x

71·48

x71·60

71·56x

TN

1100

900

1000

700

450 min.

4100 min.

Site Calculations m²

Site Area 851.8

Landscaped Area

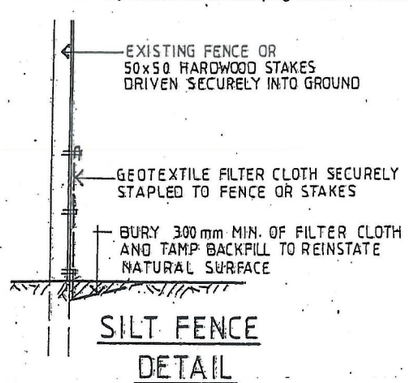
Proposed vegetated area (44.5%)..... 379.3

Required (60%) 511.1

Increase in BUA..... 19.2

Sediment and Erosion Control

- Install 600 high silt fence as shown.
- Clear fences of sediment periodically and after periods of heavy rain.
- Repair any damage to silt fence immediately.
- Brush clean truck tyres before leaving site.
- Clean up spillages outside silt fence immediately.
- Sediment control measures to be left in place until boundary fences and landscaping works commence.



SILT FENCE DETAIL

SITE PLAN

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ALTERATIONS AND ADDITIONS
77A MYOLA ROAD
NEWPORT LOT 1 DP715601

CLIENT
JON MILLIGAN

SITE PLAN AND CALCULATIONS

DATE	DRAWN	DRG. NO.
NOVEMBER 2018	J.WRIGHT	11-18-MYO
SCALE	**ISSUE:**	**SHEET NO.**
1:200	DA	7

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A348164_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 12, December 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW GOVERNMENT | Planning, Industry & Environment

Description of project

Project address	
Project name	77A Myola Road, Newport_02
Street address	77A Myola Road Newport 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 715601
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at $50,000 or more, and does not include a pool (and/or spa).

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
D1	NW	6.75	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	1.28	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SW	2.03	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	NW	5.67	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	NE	7.43	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W6	NE	2.25	1.9	1.4	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	NE	2.64	2.2	0.9	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D8	NE	1.81	2.7	1.55	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D9	SW	8.78	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D10	SE	5.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D11	SW	7.92	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D12	SW	6.71	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	SW	13.75	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	SW	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	NW	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	NW	1.11	2.2	1.2	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

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ALTERATIONS AND ADDITIONS
77A MYOLA ROAD
NEWPORT LOT 1 DP715601

CLIENT
JON MILLIGAN

BASIX COMMITMENTS

DATE	DRAWN	DRG. NO.
NOVEMBER 2018	J.WRIGHT	11-18-MYO
SCALE	**ISSUE:**	**SHEET NO.**
1:100	DA	8

BUNGAN HEAD ROAD

NO.58 SHADOW

NO.60 SHADOW

PROPOSED ADDITIONAL SHADOW FALLS WITHIN EXISTING TREE SHADOW

PROPOSED ADDITIONAL SHADOW STRIKES ROOFS

ROOF 67.88

ROOF 66.15

MULTI-LEVEL HOUSE NO.58

ROOF 71.41

GUTTER 69.61

MULTI-LEVEL HOUSE NO.60

TERRACE RL 59.49

GUTTER 63.74

RIDGE 65.91

GUTTER 64.97

RL 62.33

SPA

COVERED TERRACE

ROOF 64.85

RL 62.33

x62.84

x62.85

x68.97

EXISTING SHADOW

40 645 BDY.

900

PROPOSED VERANDAH

NO.77A

RIDGE RL77.07(exist.)

SINGLE LEVEL HOUSE

x62.84

x67.06

x68.14

1100

DECK EXTENSION

exist. deck

TOPOE WALL 64.16

POOL

ROOF 71.26

MULTI-LEVEL HOUSE NO.64

PARAPET 70.22

GUTTER 70.42

DRIVEWAY

69.00x

x53.68

x54.10

x66.96

69.27x

67.75

REMOVE TREES

66.97

67.82

0.655 BDY.

71.35 BDY.

67.065 BDY.

x70.43

x69.26

70.68

x70.61

NEW CARPORT RL 74.90

NEW TURNING AREA

DRIVEWAY TO MYOLA ROAD

SHARED

71.20

NEW GARDENS

71.44

x94.520 BDY.

x71.30

LAWN

path

LAWN

71.30x

EXISTING VERANDAH

71.48

x71.60

3050 bdy

15250 BDY.

13.490 BDY.

71.56x

BALCONY

CARPORT WITH STUDIO OVER

RL76.98

EXTEND ROOF

TN.

9AM WINTER SHADOW PLAN

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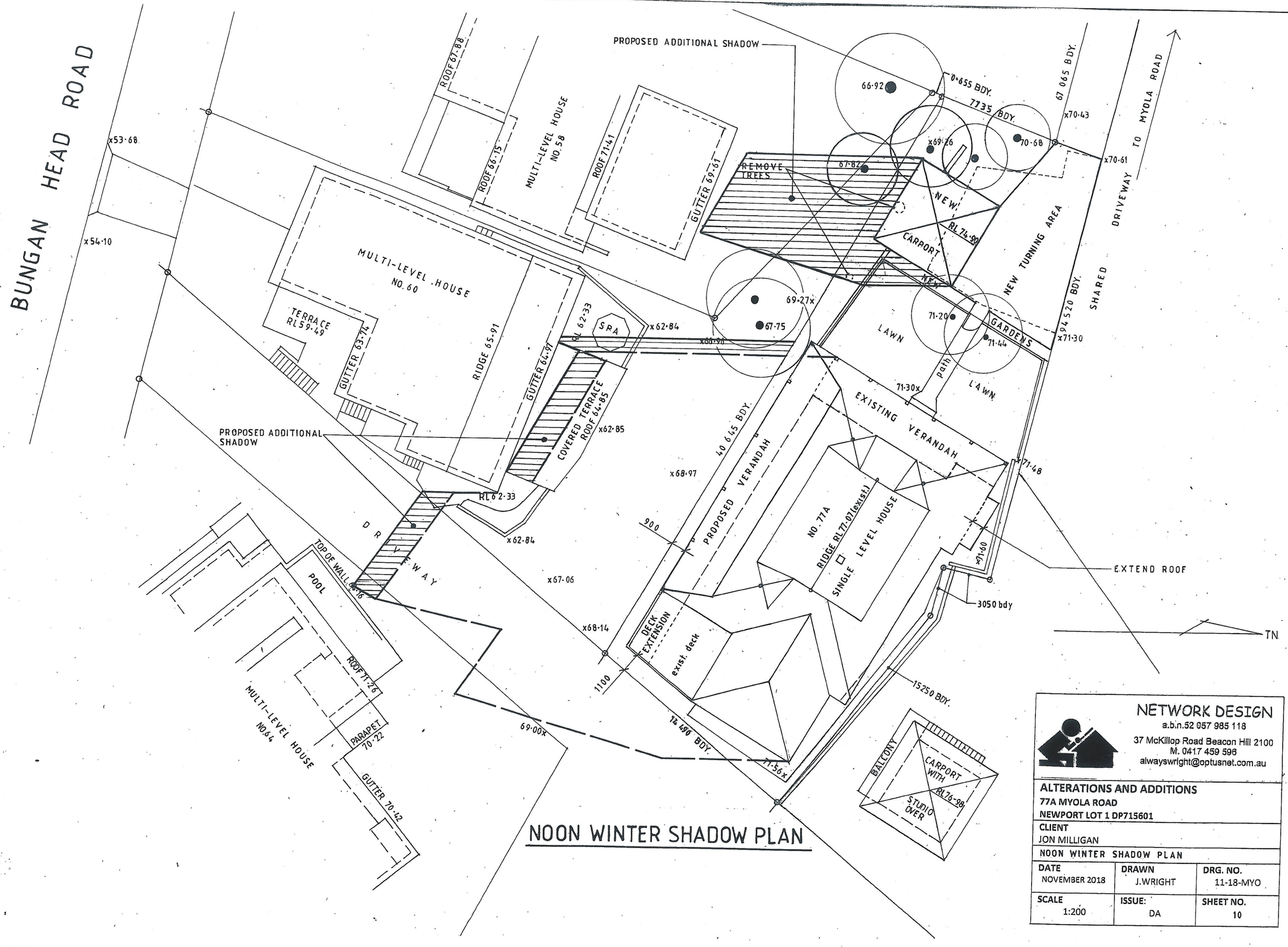
ALTERATIONS AND ADDITIONS
77A MYOLA ROAD
NEWPORT LOT 1 DP715601

CLIENT
JON MILLIGAN

9AM WINTER SHADOW PLAN

DATE	DRAWN	DRG. NO.
NOVEMBER 2018	J.WRIGHT	11-18-MYO
SCALE 1:200	**ISSUE:** DA	**SHEET NO.** 9



NOON WINTER SHADOW PLAN

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ALTERATIONS AND ADDITIONS
77A MYOLA ROAD
NEWPORT LOT 1 DP715601

CLIENT
JON MILLIGAN

NOON WINTER SHADOW PLAN

DATE	DRAWN	DRG. NO.
NOVEMBER 2018	J.WRIGHT	11-18-MYO
SCALE	**ISSUE:**	**SHEET NO.**
1:200	DA	10

BUNGAN HEAD ROAD

x53·68

x54·10

ROOF 67·88

ROOF 66·15

MULTI-LEVEL HOUSE NO. 58

ROOF 71·41

GUTTER 69·67

MULTI-LEVEL HOUSE NO. 60

TERRACE RL 59·49

GUTTER 63·74

RIDGE 65·91

GUTTER 64·97

RL 62·33

SPA

x62·84

COVERED TERRACE

ROOF 64·85

x62·85

RL 62·33

x62·84

PROPOSED ADDITIONAL SHADOW

x68·97

x67·06

x68·14

1100

69·00x

EXISTING SHADOW

12 490 BDY.

71·52x

DRIVEWAY

TOP OF WALL 64·16

POOL

ROOF 71·25

PARAPET 70·22

GUTTER 70·42

MULTI-LEVEL HOUSE NO.64

66·92

0·655 BDY.

77 35 BDY.

67 065 BDY.

x70·43

70·68

x70·61

x69·26

67·82

REMOVE TREES

NEW

RL 74·90

CARPORT

NEW

NEW TURNING AREA

SHARED DRIVEWAY TO MYOLA ROAD

69·27x

67·75

x66·96

71·20

GARDENS

x71·30

x94 520 BDY.

71·44

LAWN

path

71·30x

LAWN

EXISTING VERANDAH

71·48

PROPOSED VERANDAH

NO. 77A

RIDGE RL77·07(exist.)

SINGLE LEVEL HOUSE

x71·60

EXTEND ROOF

3050 bdy

TN.

DECK EXTENSION

exist. deck

15250 BDY.

BALCONY

CARPORT WITH STUDIO OVER

RL76·98

3PM WINTER SHADOW PLAN

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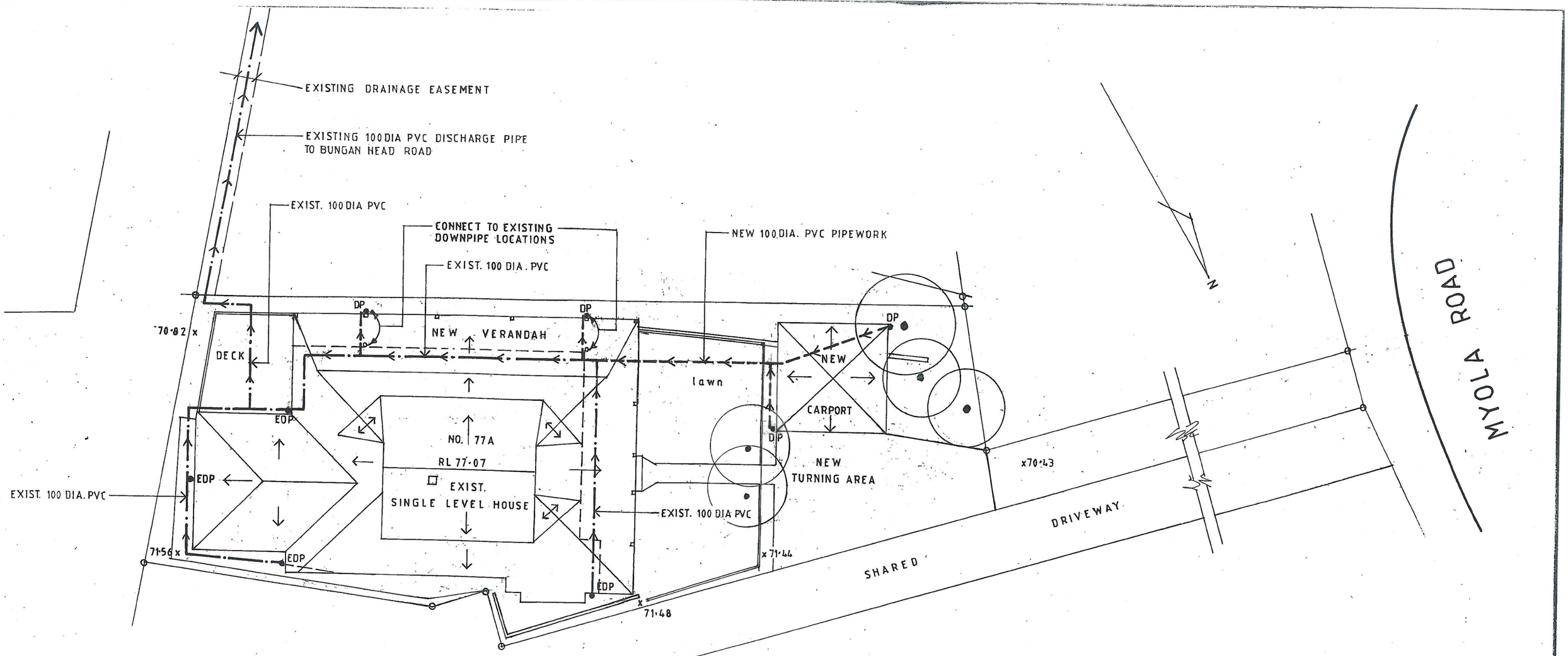
ALTERATIONS AND ADDITIONS
77A MYOLA ROAD
NEWPORT LOT 1 DP715601

CLIENT
JON MILLIGAN

3PM WINTER SHADOW PLAN

DATE	DRAWN	DRG. NO.
NOVEMBER 2018	J.WRIGHT	11-18-MYO
SCALE 1:200	**ISSUE:** DA	**SHEET NO.** 11



WATER MANAGEMENT PLAN

Stormwater Notes

- EDP denotes existing downpipe
- DP denotes new downpipe
- New pipework to be 100mm UPVC to AS 1254 -1973
- New pipework to be laid at 1% minimum grade
- All downpipes to be 90mm. Locations to be confirmed on site.
- Provide cleaning eyes at all down pipes.
- All work to be in accordance with local council standards and specifications.
- All levels shown are to AHD.
- Ensure all stormwater pipes are located clear from tree root systems.
- All works to be in accordance with AS 3500 -1990 National Plumbing and Drainage Code Part 3 - Stormwater Drainage.

Proposed Increase in BUA..... 19.0

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ALTERATIONS AND ADDITIONS **77A MYOLA ROAD** **NEWPORT LOT 1 DP715601**		
CLIENT JON MILLIGAN		
WATER MANAGEMENT PLAN		
DATE NOVEMBER 2018	**DRAWN** J.WRIGHT	**DRG. NO.** 11-18-MYO
SCALE 1:200	**ISSUE:** DA	**SHEET NO.** 12

Schedule of Colours and and Finishes

Alterations and Additions at
77A Myola Road, Newport

NEW VERANDAH FRAMING AND ROOF TO MATCH EXISTING
NEW VERANDAH DECK TO MATCH EXISTING
NEW VERANDAH HANDRAIL – GLASS

NEW ALUMINIUM WINDOWS AND DOORS - WHITE

NEW CARPORT FRAMING AND ROOF TO MATCH EXISTING VERANDAH
CARPORT WEATHERBOARD CLADDING – LIGHT BLUE TO MATCH EXISTING TRIM