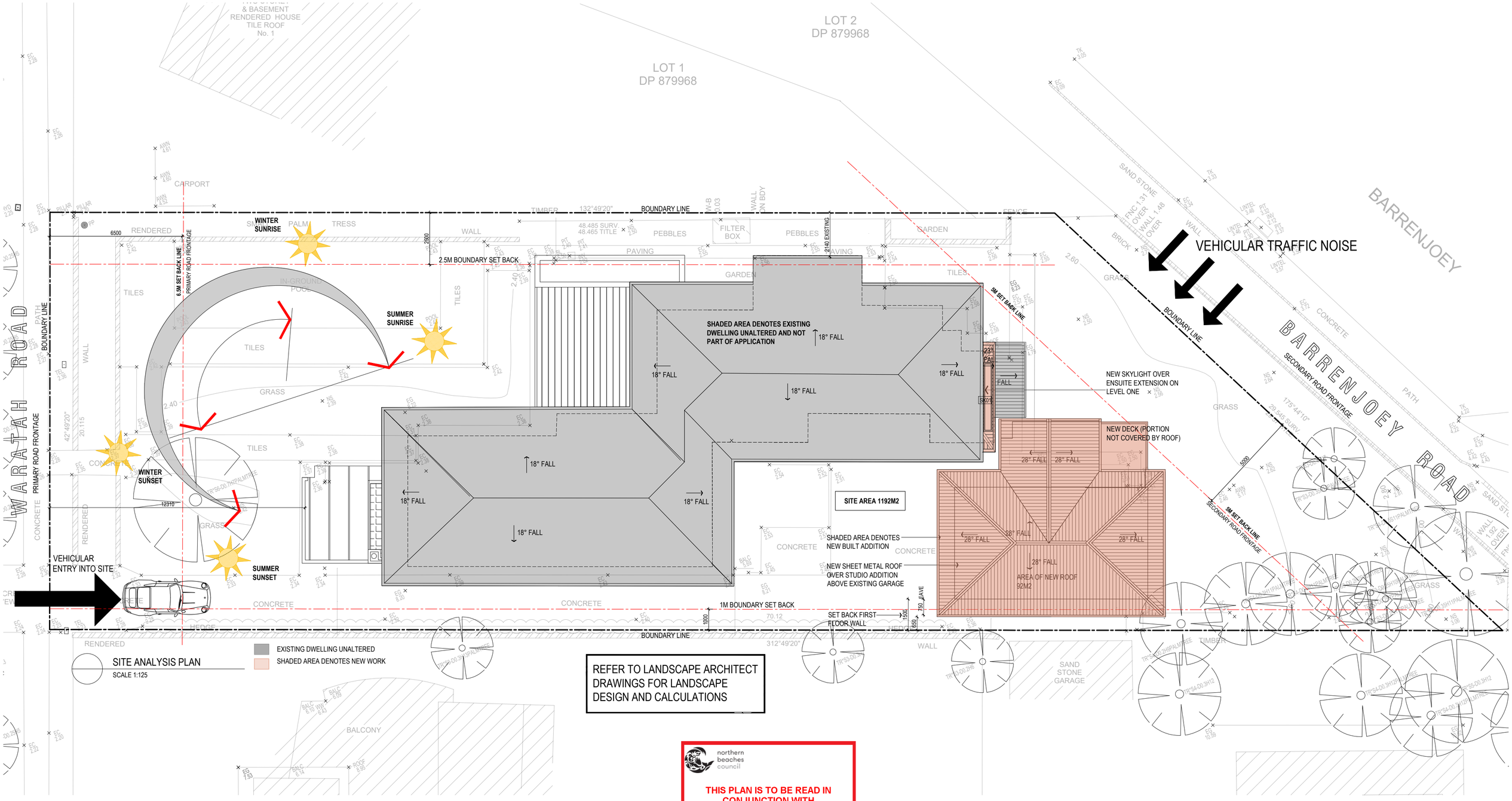

SITE ANALYSIS PLAN
SCALE 1:125

EXISTING DWELLING UNALTERED
SHADED AREA DENOTES NEW WORK

REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND CALCULATIONS

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1548

REV.	DATE	DESCRIPTION	CHECKED
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B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION	KM
C	12.02.2024	ROOF FALL AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED	KM

LEGEND

ABBREVIATIONS

AC	AIR CONDITIONING	JN	JOINERY
AHD	AUSTRALIAN HEIGHT DATUM	LFW	LINEAR FLOOR WASTE
AS	AUSTRALIAN STANDARD	LGF	LOWER GROUND FLOOR
AW	AWNING WINDOW	(N)	NEW
BF	BI-FOLD	NCC	NATIONAL CONSTRUCTION CODE (BCA)
CS	CASEMENT WINDOW	NGL	NATURAL GROUND LEVEL
DB	DOUBLE	NTS	NOT TO SCALE
DP	DOWNPIPE	PV	PHOTO VOLTAICS
(E)	EXISTING	RT	ROOF TILE
EQ	EQUAL	SKL	SKYLIGHT
F	FIXED	SL	SLIDING DOOR
FCL	FINISHED CEILING LEVEL	SMK	SMOKE ALARM
FF	FIRST FLOOR	TOG	TOP OF GUTTER
FFL	FINISHED FLOOR LEVEL	V	VENT
FRL	FINISHED REDUCED LEVEL	VOS	VERIFY ON SITE
GF	GROUND FLOOR		

MATERIALS AND FINISHES

AD	ALUMINIUM DOOR	PB	PLASTERBOARD
AL	ALUMINIUM	R	RENDERED
AW	ALUMINIUM WINDOW	RC	REINFORCED CONCRETE
BB	BARGE BOARD	S	SLATE
BK	BRICK	ST	STONE
BMR	BITUMINOUS MEMBRANE ROOFING	T	TIMBER
		TB	TIMBER BATTEN
CA	CARPET	TD	TIMBER DOOR
CL	CLEAR FINISH	TDK	TIMBER DECKING
CR	CEMENT RENDER	T & G	TIMBER TONGUE & GROOVE
FB	FASCIA BOARD		
FC	FIBRE CEMENT	TL/TC	TILE - TERRACOTTA
G	GLAZED	TW	TIMBER WINDOW
GD	GLAZED TIMBER DOOR	TL/F	TILE - FLOOR
MRS	METAL ROOF SHEETING	WB	WEATHERBOARD
P	PAINTED	VT	VITRIFIED TILE
PAV	PAVING	ZRS	ZINC ROOF SHEETING

two form pty ltd
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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CLIENT
STEPHEN AND SUSAN JONES

DATE
AUG 2023

PROJECT
ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE
DEVELOPMENT ASSESSMENT

SCALE
1:125 AT A2

DRAWING NAME
SITE ANALYSIS PLAN

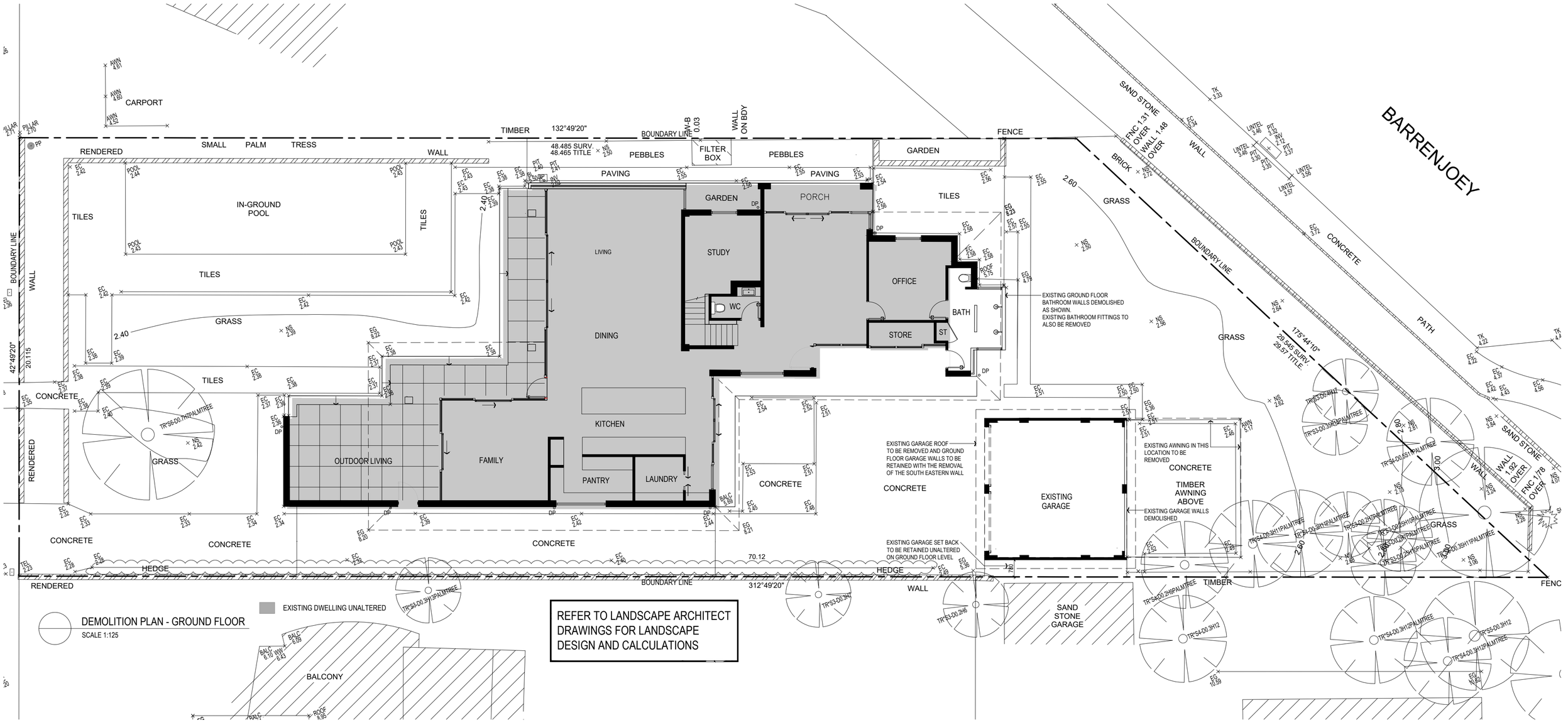
DRAWING NUMBER
22 026 AR **DA 01**

REVISION
C

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1548



DEMOLITION PLAN - GROUND FLOOR
SCALE 1:125

REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND CALCULATIONS

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LEGEND

ABBREVIATIONS

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AHD	AUSTRALIAN HEIGHT DATUM	LFW	LINEAR FLOOR WASTE
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MATERIALS AND FINISHES

AD	ALUMINIUM DOOR	PB	PLASTERBOARD
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BK	BRICK	ST	STONE
BMR	BITUMINOUS MEMBRANE ROOFING	T	TIMBER
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G	GLAZED	TW	TIMBER WINDOW
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CLIENT
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DATE
AUG 2023

PROJECT
ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE
DEVELOPMENT APPLICATION

SCALE
1:100 AT A2

DRAWING NAME
DEMOLITION PLAN - GROUND FLOOR

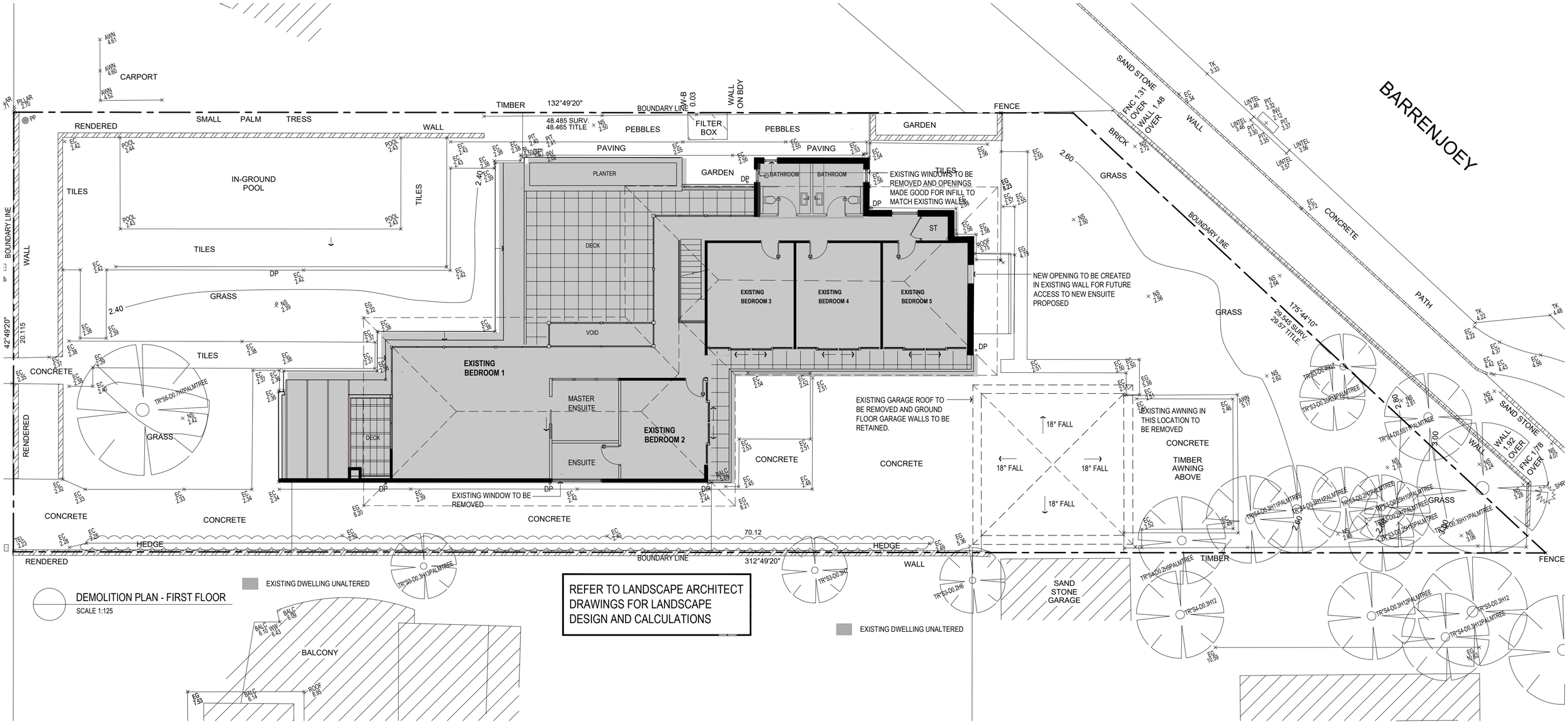
DRAWING NUMBER
22 026 AR **DA 02**

REVISION
B

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1548



DEMOLITION PLAN - FIRST FLOOR

SCALE 1:125

EXISTING DWELLING UNALTERED

EXISTING DWELLING UNALTERED

REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND CALCULATIONS

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LEGEND

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AUG 2023

PROJECT
ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE
DEVELOPMENT APPLICATION

SCALE
1:100 AT A2

DRAWING NAME
DEMOLITION PLAN - FIRST FLOOR

DRAWING NUMBER
22 026 AR **DA 03**

REVISION
B

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A505299

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
D01	NE	8.65	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D02	SE	5.94	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W01	SE	0.84	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	SE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	NE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
SK01_Ens	1.6	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

northern beaches council

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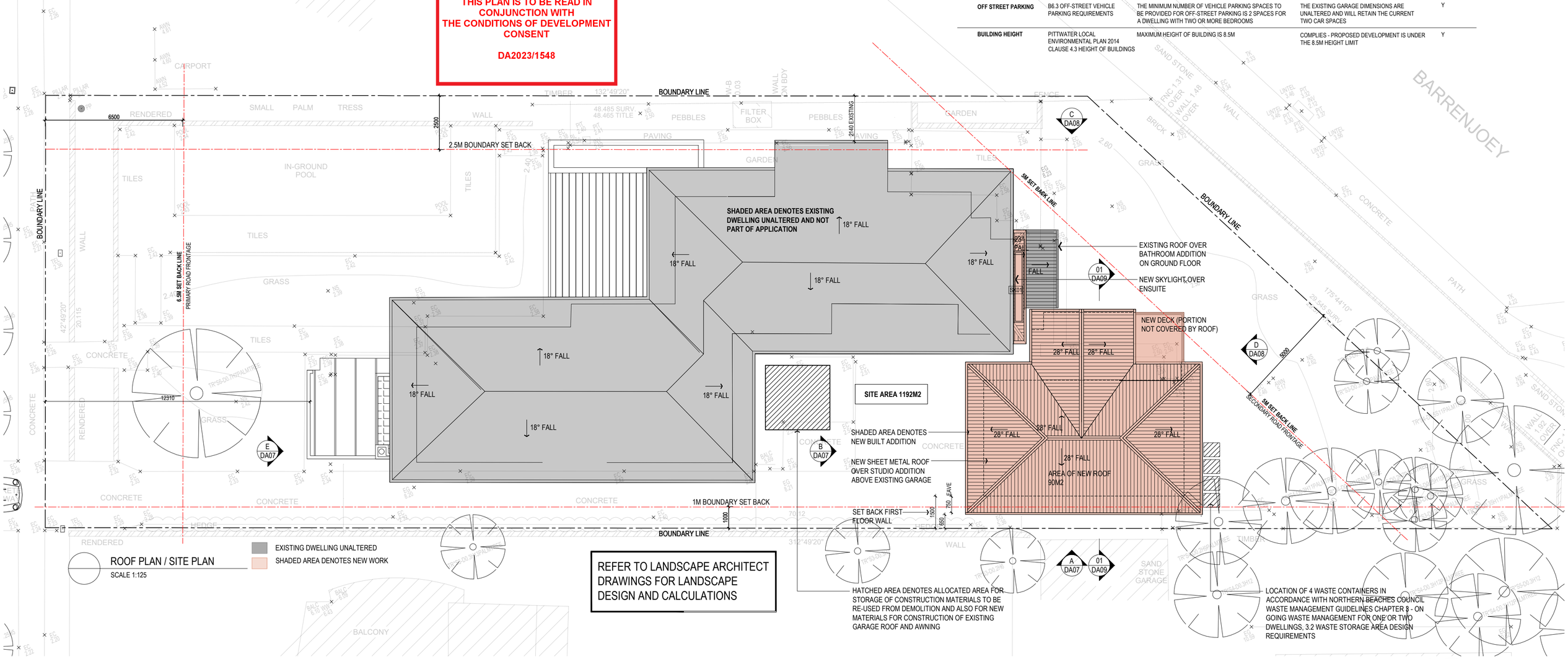
DA2023/1548

LAND ZONE **E4 ENVIRONMENTAL LIVING**

DEVELOPMENT	DCP CLAUSE	DEVELOPMENT CONTROL	DEVELOPMENT PROPOSAL	COMPLIES Y/N
LANDSCAPED AREA	D12.10 - LANDSCAPED AREA - ENVIRONMENTALLY SENSITIVE LAND	THE TOTAL LANDSCAPED AREA ON LAND ZONED E4 ENVIRONMENTAL LIVING SHALL BE 60% OF THE SITE AREA	REFER ALSO TO LANDSCAPE ARCHITECT DRAWINGS PREPARED BY SITE DESIGN + STUDIO SITE AREA = 1192M2 TOTAL EXISTING LANDSCAPE AREA =430M2 =36.07% OF SITE AREA TOTAL PROPOSED LANDSCAPE AREA = 446M2 = 37.42% OF SITE AREA	Y
BOUNDARY SET BACK	D12.5 FRONT BUILDING LINE	6.5M OR ESTABLISHED BUILDING LINE, WHICHEVER IS THE GREATEST	WARATAH ROAD AS THE PRIMARY FRONTAGE HAS AN EXISTING 6.5M SET BACK WHICH IS MAINTAINED	Y
BOUNDARY SET BACK	D12.6 SIDE AND REAR BUILDING LINE	2.5M TO AT LEAST ONE SIDE AND 1.0M FOR THE OTHER SIDE REAR SET BACK TO USE VARIATION CLAUSE - BARRENJOEY ROAD IS THE SECONDARY ROAD FRONTAGE SO HALF OF 10M BUILDING LINE SET BACK WILL BE USED	NORTHERN BOUNDARY - 2.5M SET BACK NO NEW DEVELOPMENT PROPOSED TO THE NORTHERN BOUNDARY SOUTHERN BOUNDARY- 1M SET BACK EXISTING GARAGE REDEVELOPMENT COMPLIES WITH THE 1M SET BACK SECONDARY ROAD, BARRENJOEY ROAD SET BACK - 0.4M2 OF NEW DECK ENCROACHES INTO THE 5M SET BACK ZONE	Y Y MINOR ENCROACHMENT OF 0.4M2
BUILDING ENVELOPE	D12.8 BUILDING ENVELOPE	PLANES ARE TO BE PROJECTED AT 45 DEGREES FROM A HEIGHT OF 3.5M ABOVE EXISTING GROUND LEVEL AT THE SIDE BOUNDARIES TO THE MAXIMUM BUILDING HEIGHT	REFER TO ELEVATION AND SECTION DRAWING FOR GRAPHIC DEMONSTRATION OF COMPLIANCE WITH THE BUILDING ENVELOPE CONTROL	Y
INTERNAL DRIVEWAYS	B6.2 INTERNAL DRIVEWAYS	THE INTERNAL DRIVEWAY SHALL BE CONTAINED WITHIN THE DRIVEWAY CORRIDOR. THE MINIMUM WIDTH OF THE DRIVEWAY CORRIDOR FOR A SINGLE DWELLING IS 3M THERE MUST BE A MINIMUM 2 METRE LONG TRANSITION BETWEEN THE DRIVEWAY AND THE GARAGE/PARKING AREA/CARPORT IN ACCORDANCE WITH THE STANDARDS	THE EXISTING INTERNAL DRIVEWAY IS UNALTERED AS A RESULT OF THIS APPLICATION AND THE MINIMUM WIDTH OF THE DRIVEWAY CORRIDOR COMPLIES WITH THE REQUIRED 3M AND THERE IS AN EXISTING 2M LONG TRANSITION BETWEEN THE DRIVEWAY AND GARAGE	Y
OFF STREET PARKING	B6.3 OFF-STREET VEHICLE PARKING REQUIREMENTS	THE MINIMUM NUMBER OF VEHICLE PARKING SPACES TO BE PROVIDED FOR OFF-STREET PARKING IS 2 SPACES FOR A DWELLING WITH TWO OR MORE BEDROOMS	THE EXISTING GARAGE DIMENSIONS ARE UNALTERED AND WILL RETAIN THE CURRENT TWO CAR SPACES	Y
BUILDING HEIGHT	PITTWATER LOCAL ENVIRONMENTAL PLAN 2014 CLAUSE 4.3 HEIGHT OF BUILDINGS	MAXIMUM HEIGHT OF BUILDING IS 8.5M	COMPLIES - PROPOSED DEVELOPMENT IS UNDER THE 8.5M HEIGHT LIMIT	Y



ROOF PLAN / SITE PLAN

SCALE 1:125

EXISTING DWELLING UNALTERED

SHADED AREA DENOTES NEW WORK

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LEGEND

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two form pty ltd
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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N

CLIENT STEPHEN AND SUSAN JONES

DATE AUG 2023

PROJECT ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE DEVELOPMENT ASSESSMENT

SCALE 1:125 AT A2

DRAWING NAME ROOF PLAN / SITE PLAN

DRAWING NUMBER 22 026 AR **DA 04**

REVISION **C**

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A505299

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Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
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Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Windows and glazed doors glazing requirements

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D02	SE	5.94	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W01	SE	0.84	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	SE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	NE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
SK01_Ens	1.5	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

Legend

In these commitments, "applicant" means the person carrying out the development.

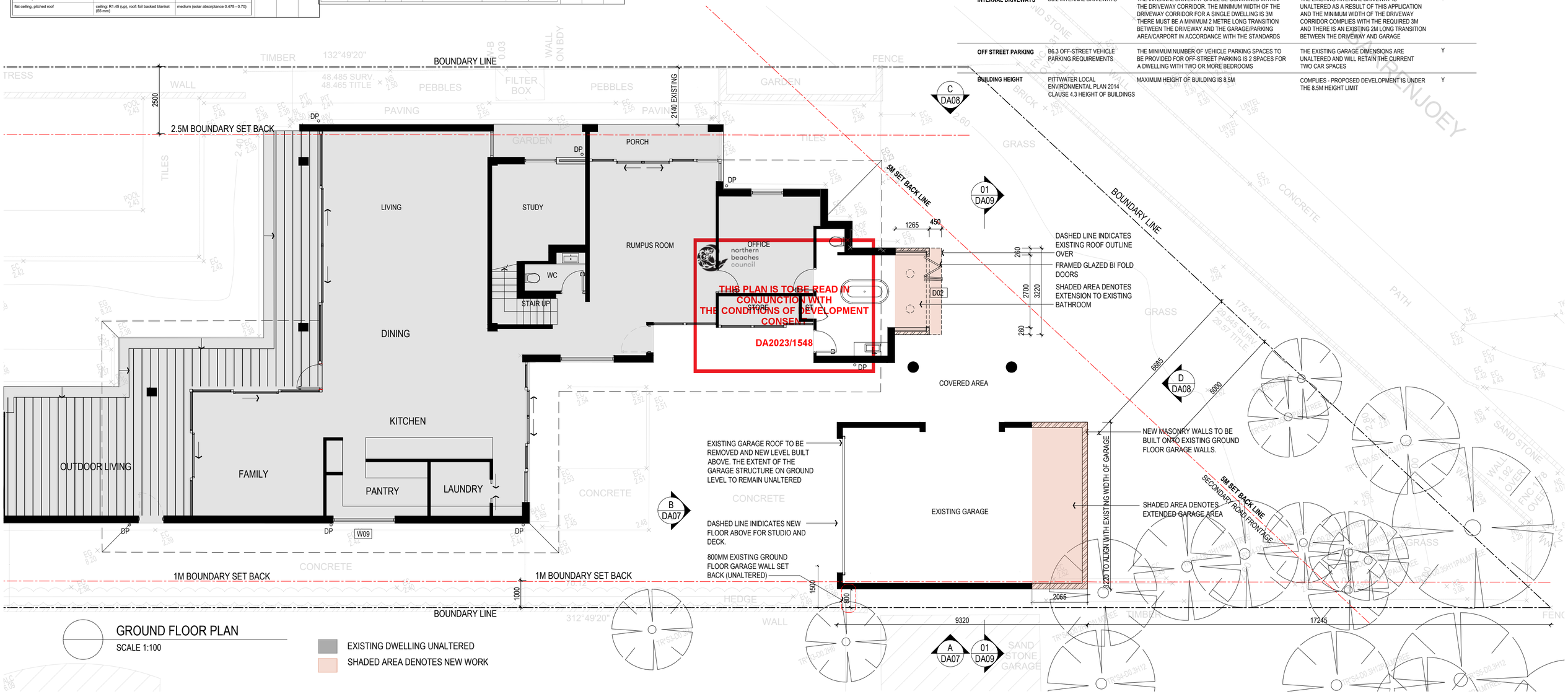
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

LAND ZONE **E4 ENVIRONMENTAL LIVING**

DEVELOPMENT	DCP CLAUSE	DEVELOPMENT CONTROL	DEVELOPMENT PROPOSAL	COMPLIES Y/N
LANDSCAPED AREA	D12.10 - LANDSCAPED AREA - ENVIRONMENTALLY SENSITIVE LAND	THE TOTAL LANDSCAPED AREA ON LAND ZONED E4 ENVIRONMENTAL LIVING SHALL BE 60% OF THE SITE AREA	REFER ALSO TO LANDSCAPE ARCHITECT DRAWINGS PREPARED BY SITE DESIGN + STUDIO SITE AREA = 1192M2 TOTAL EXISTING LANDSCAPE AREA =430M2 =36.07% OF SITE AREA TOTAL PROPOSED LANDSCAPE AREA = 446M2 = 37.42% OF SITE AREA	Y
BOUNDARY SET BACK	D12.5 FRONT BUILDING LINE	6.5M OR ESTABLISHED BUILDING LINE, WHICHEVER IS THE GREATEST	WARATAH ROAD AS THE PRIMARY FRONTAGE HAS AN EXISTING 6.5M SET BACK WHICH IS MAINTAINED	Y
BOUNDARY SET BACK	D12.6 SIDE AND REAR BUILDING LINE	2.5M TO AT LEAST ONE SIDE AND 1.0M FOR THE OTHER SIDE REAR SET BACK TO USE VARIATION CLAUSE - BARRENJOEY ROAD IS THE SECONDARY ROAD FRONTAGE SO HALF OF 10M BUILDING LINE SET BACK WILL BE USED	NORTHERN BOUNDARY - 2.5M SET BACK NO NEW DEVELOPMENT PROPOSED TO THE NORTHERN BOUNDARY SOUTHERN BOUNDARY- 1M SET BACK EXISTING GARAGE REDEVELOPMENT COMPLIES WITH THE 1M SET BACK SECONDARY ROAD, BARRENJOEY ROAD SET BACK - 0.4M2 OF NEW DECK ENCROACHES INTO THE 5M SET BACK ZONE	Y Y MINOR ENCROACHMENT OF 0.4M2
BUILDING ENVELOPE	D12.8 BUILDING ENVELOPE	PLANES ARE TO BE PROJECTED AT 45 DEGREES FROM A HEIGHT OF 3.5M ABOVE EXISTING GROUND LEVEL AT THE SIDE BOUNDARIES TO THE MAXIMUM BUILDING HEIGHT	REFER TO ELEVATION AND SECTION DRAWING FOR GRAPHIC DEMONSTRATION OF COMPLIANCE WITH THE BUILDING ENVELOPE CONTROL	Y
INTERNAL DRIVEWAYS	B6.2 INTERNAL DRIVEWAYS	THE INTERNAL DRIVEWAY SHALL BE CONTAINED WITHIN THE DRIVEWAY CORRIDOR. THE MINIMUM WIDTH OF THE DRIVEWAY CORRIDOR FOR A SINGLE DWELLING IS 3M THERE MUST BE A MINIMUM 2 METRE LONG TRANSITION BETWEEN THE DRIVEWAY AND THE GARAGE/PARKING AREA/CARPORT IN ACCORDANCE WITH THE STANDARDS	THE EXISTING INTERNAL DRIVEWAY IS UNALTERED AS A RESULT OF THIS APPLICATION AND THE MINIMUM WIDTH OF THE DRIVEWAY CORRIDOR COMPLIES WITH THE REQUIRED 3M AND THERE IS AN EXISTING 2M LONG TRANSITION BETWEEN THE DRIVEWAY AND GARAGE	Y
OFF STREET PARKING	B6.3 OFF-STREET VEHICLE PARKING REQUIREMENTS	THE MINIMUM NUMBER OF VEHICLE PARKING SPACES TO BE PROVIDED FOR OFF-STREET PARKING IS 2 SPACES FOR A DWELLING WITH TWO OR MORE BEDROOMS	THE EXISTING GARAGE DIMENSIONS ARE UNALTERED AND WILL RETAIN THE CURRENT TWO CAR SPACES	Y
BUILDING HEIGHT	PITTWATER LOCAL ENVIRONMENTAL PLAN 2014 CLAUSE 4.3 HEIGHT OF BUILDINGS	MAXIMUM HEIGHT OF BUILDING IS 8.5M	COMPLIES - PROPOSED DEVELOPMENT IS UNDER THE 8.5M HEIGHT LIMIT	Y



GROUND FLOOR PLAN

SCALE 1:100

EXISTING DWELLING UNALTERED

SHADED AREA DENOTES NEW WORK

REV.	DATE	DESCRIPTION	CHECKED
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW	KM
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION	KM
C	12.02.2024	ROOF FALL AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED	KM

LEGEND

ABBREVIATIONS

AC	AIR CONDITIONING	JN	JOINERY
AHD	AUSTRALIAN HEIGHT DATUM	LFW	LINEAR FLOOR WASTE
AS	AUSTRALIAN STANDARD	LGF	LOWER GROUND FLOOR
AW	AWNING WINDOW	(N)	NEW
BF	BI-FOLD	NCC	NATIONAL CONSTRUCTION CODE (BCA)
CS	CASEMENT WINDOW	NGL	NATURAL GROUND LEVEL
DB	DOUBLE	NTS	NOT TO SCALE
DP	DOWNPIPE	PV	PHOTO VOLTAICS
(E)	EXISTING	RT	ROOF TILE
EQ	EQUAL	SKL	SKYLIGHT
F	FIXED	SL	SLIDING DOOR
FCL	FINISHED CEILING LEVEL	SMK	SMOKE ALARM
FF	FIRST FLOOR	TOG	TOP OF GUTTER
FFL	FINISHED FLOOR LEVEL	V	VENT
FRL	FINISHED REDUCED LEVEL	VOS	VERIFY ON SITE
GF	GROUND FLOOR		

MATERIALS AND FINISHES

AD	ALUMINIUM DOOR	PB	PLASTERBOARD
AL	ALUMINIUM	R	RENDERED
AW	ALUMINIUM WINDOW	RC	REINFORCED CONCRETE
BB	BARGE BOARD	S	SLATE
BK	BRICK	ST	STONE
BMR	BITUMINOUS MEMBRANE ROOFING	T	TIMBER
CA	CARPET	TB	TIMBER BATTEN
CL	CLEAR FINISH	TD	TIMBER DOOR
CR	CEMENT RENDER	TDK	TIMBER DECKING
FB	FASCIA BOARD	T & G	TIMBER TONGUE & GROOVE
FC	FIBRE CEMENT	TL/TC	TILE - TERRACOTTA
G	GLAZED	TW	TIMBER WINDOW
GD	GLAZED TIMBER DOOR	TLE	TILE - FLOOR
MRS	METAL ROOF SHEETING	WB	WEATHERBOARD
P	PAINTED	VT	VITRIFIED TILE
PAV	PAVING	ZRS	ZINC ROOF SHEETING

two form pty ltd
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

The Contractor shall confirm on site existing dimensions and conditions before commencement of works. All discrepancies should be reported to the Architect for instructions. Two Form does not accept responsibility for the dimensional accuracy of any data contained in CAD or other attachments as it may be based on third party origin information. All information should be verified in writing

two form
ARCHITECTURE + INTERIOR DESIGN
Suite 203 level 2 34 Charles Street Paramatta NSW 2150
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CLIENT
STEPHEN AND SUSAN JONES

DATE
AUG 2023

PROJECT
ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE
DEVELOPMENT APPLICATION

SCALE
1:100 AT A2

DRAWING NAME
GROUND FLOOR PLAN

DRAWING NUMBER
22 026 AR **DA 05**

REVISION
C

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A505299

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
D01	NE	8.65	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D02	SE	5.94	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W01	SE	0.84	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	SE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	NE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓

Skylights glazing requirements

Skylight number	Area of glass inc. frame (m2)	Shading device	Frame and glass type
SK01_Ens	1.5	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

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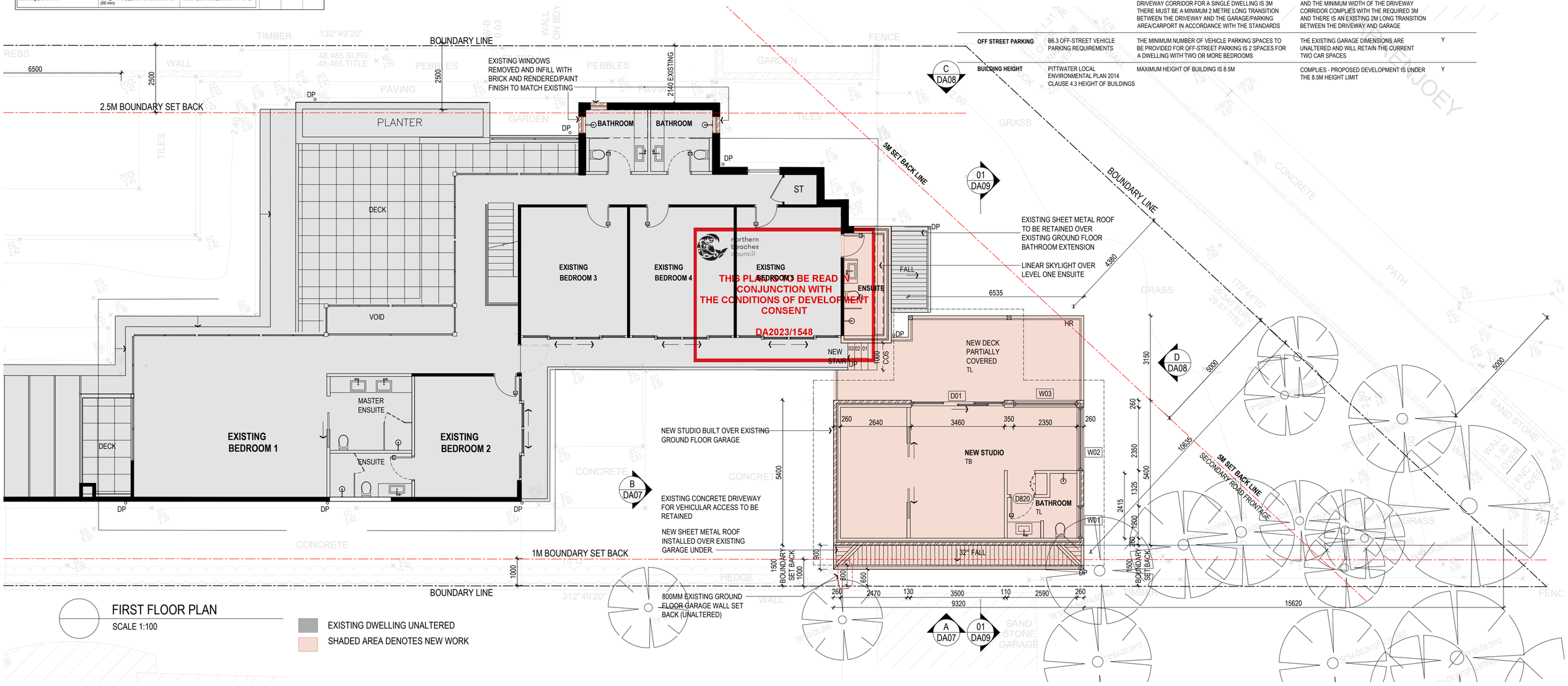
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

LAND ZONE **E4 ENVIRONMENTAL LIVING**

DEVELOPMENT	DCP CLAUSE	DEVELOPMENT CONTROL	DEVELOPMENT PROPOSAL	COMPLIES Y/N
LANDSCAPED AREA	D12.10 - LANDSCAPED AREA - ENVIRONMENTALLY SENSITIVE LAND	THE TOTAL LANDSCAPED AREA ON LAND ZONED E4 ENVIRONMENTAL LIVING SHALL BE 60% OF THE SITE AREA	REFER ALSO TO LANDSCAPE ARCHITECT DRAWINGS PREPARED BY SITE DESIGN + STUDIO SITE AREA = 1192M2 TOTAL EXISTING LANDSCAPE AREA =430M2 =36.07% OF SITE AREA TOTAL PROPOSED LANDSCAPE AREA = 446M2 = 37.42% OF SITE AREA	Y
BOUNDARY SET BACK	D12.5 FRONT BUILDING LINE	6.5M OR ESTABLISHED BUILDING LINE, WHICHEVER IS THE GREATEST	WARATAH ROAD AS THE PRIMARY FRONTAGE HAS AN EXISTING 6.5M SET BACK WHICH IS MAINTAINED	Y
BOUNDARY SET BACK	D12.6 SIDE AND REAR BUILDING LINE	2.5M TO AT LEAST ONE SIDE AND 1.0M FOR THE OTHER SIDE REAR SET BACK TO USE VARIATION CLAUSE - BARRENJOEY ROAD IS THE SECONDARY ROAD FRONTAGE SO HALF OF 10M BUILDING LINE SET BACK WILL BE USED	NORTHERN BOUNDARY - 2.5M SET BACK NO NEW DEVELOPMENT PROPOSED TO THE NORTHERN BOUNDARY SOUTHERN BOUNDARY- 1M SET BACK EXISTING GARAGE REDEVELOPMENT COMPLIES WITH THE 1M SET BACK SECONDARY ROAD, BARRENJOEY ROAD SET BACK - 0.4M2 OF NEW DECK ENCROACHES INTO THE 5M SET BACK ZONE	Y Y MINOR ENCROACHMENT OF 0.4M2
BUILDING ENVELOPE	D12.8 BUILDING ENVELOPE	PLANES ARE TO BE PROJECTED AT 45 DEGREES FROM A HEIGHT OF 3.5M ABOVE EXISTING GROUND LEVEL AT THE SIDE BOUNDARIES TO THE MAXIMUM BUILDING HEIGHT	REFER TO ELEVATION AND SECTION DRAWING FOR GRAPHIC DEMONSTRATION OF COMPLIANCE WITH THE BUILDING ENVELOPE CONTROL	Y
INTERNAL DRIVEWAYS	B6.2 INTERNAL DRIVEWAYS	THE INTERNAL DRIVEWAY SHALL BE CONTAINED WITHIN THE DRIVEWAY CORRIDOR. THE MINIMUM WIDTH OF THE DRIVEWAY CORRIDOR FOR A SINGLE DWELLING IS 3M THERE MUST BE A MINIMUM 2 METRE LONG TRANSITION BETWEEN THE DRIVEWAY AND THE GARAGE/PARKING AREA/CARPORT IN ACCORDANCE WITH THE STANDARDS	THE EXISTING INTERNAL DRIVEWAY IS UNALTERED AS A RESULT OF THIS APPLICATION AND THE MINIMUM WIDTH OF THE DRIVEWAY CORRIDOR COMPLIES WITH THE REQUIRED 3M AND THERE IS AN EXISTING 2M LONG TRANSITION BETWEEN THE DRIVEWAY AND GARAGE	Y
OFF STREET PARKING	B6.3 OFF-STREET VEHICLE PARKING REQUIREMENTS	THE MINIMUM NUMBER OF VEHICLE PARKING SPACES TO BE PROVIDED FOR OFF-STREET PARKING IS 2 SPACES FOR A DWELLING WITH TWO OR MORE BEDROOMS	THE EXISTING GARAGE DIMENSIONS ARE UNALTERED AND WILL RETAIN THE CURRENT TWO CAR SPACES	Y
BUILDING HEIGHT	PITTWATER LOCAL ENVIRONMENTAL PLAN 2014 CLAUSE 4.3 HEIGHT OF BUILDINGS	MAXIMUM HEIGHT OF BUILDING IS 8.5M	COMPLIES - PROPOSED DEVELOPMENT IS UNDER THE 8.5M HEIGHT LIMIT	Y



FIRST FLOOR PLAN

SCALE 1:100

EXISTING DWELLING UNALTERED

SHADED AREA DENOTES NEW WORK

REV.	DATE	DESCRIPTION	CHECKED
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW	KM
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION	KM
C	12.02.2024	ROOF FALL AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED	KM

LEGEND

ABBREVIATIONS

AC	AIR CONDITIONING	JN	JOINERY
AHD	AUSTRALIAN HEIGHT DATUM	LFW	LINEAR FLOOR WASTE
AS	AUSTRALIAN STANDARD	LGF	LOWER GROUND FLOOR
AW	AWNING WINDOW	(N)	NEW
BF	BI-FOLD	NCC	NATIONAL CONSTRUCTION CODE (BCA)
CS	CASEMENT WINDOW	NGL	NATURAL GROUND LEVEL
DB	DOUBLE	NTS	NOT TO SCALE
DP	DOWNPIPE	PV	PHOTO VOLTAICS
(E)	EXISTING	RT	ROOF TILE
EQ	EQUAL	SKL	SKYLIGHT
F	FIXED	SL	SLIDING DOOR
FCL	FINISHED CEILING LEVEL	SMK	SMOKE ALARM
FF	FIRST FLOOR	TOG	TOP OF GUTTER
FFL	FINISHED FLOOR LEVEL	V	VENT
FRL	FINISHED REDUCED LEVEL	VOS	VERIFY ON SITE
GF	GROUND FLOOR		

MATERIALS AND FINISHES

AD	ALUMINIUM DOOR	PB	PLASTERBOARD
AL	ALUMINIUM	R	RENDERED
AW	ALUMINIUM WINDOW	RC	REINFORCED CONCRETE
BB	BARGE BOARD	S	SLATE
BK	BRICK	ST	STONE
BMR	BITUMINOUS MEMBRANE ROOFING	T	TIMBER
CA	CARPET	TB	TIMBER BATTEN
CL	CLEAR FINISH	TD	TIMBER DOOR
CR	CEMENT RENDER	TDK	TIMBER DECKING
FB	FASCIA BOARD	T & G	TIMBER TONGUE & GROOVE
FC	FIBRE CEMENT	TL/TC	TILE - TERRACOTTA
G	GLAZED	TW	TIMBER WINDOW
GD	GLAZED TIMBER DOOR	TLF	TILE - FLOOR
MRS	METAL ROOF SHEETING	WB	WEATHERBOARD
P	PAINTED	VT	VITRIFIED TILE
PAV	PAVING	ZRS	ZINC ROOF SHEETING

two form pty ltd
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

two form
ARCHITECTURE + INTERIOR DESIGN
Suite 203 level 2 34 Charles Street Paramatta NSW 2150
p 02 9098 8921 e info@twoform.com.au twoform.com.au

CLIENT
STEPHEN AND SUSAN JONES

DATE
AUG 2023

PROJECT
ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE
DEVELOPMENT APPLICATION

SCALE
1:100 AT A2

DRAWING NAME
FIRST FLOOR PLAN

DRAWING NUMBER
22 026 AR **DA 06**

REVISION
C

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A505299

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
DO1	NE	8.65	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
DO2	SE	5.94	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WD1	SE	0.84	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	SE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	NE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
SK01_Ens	1.5	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

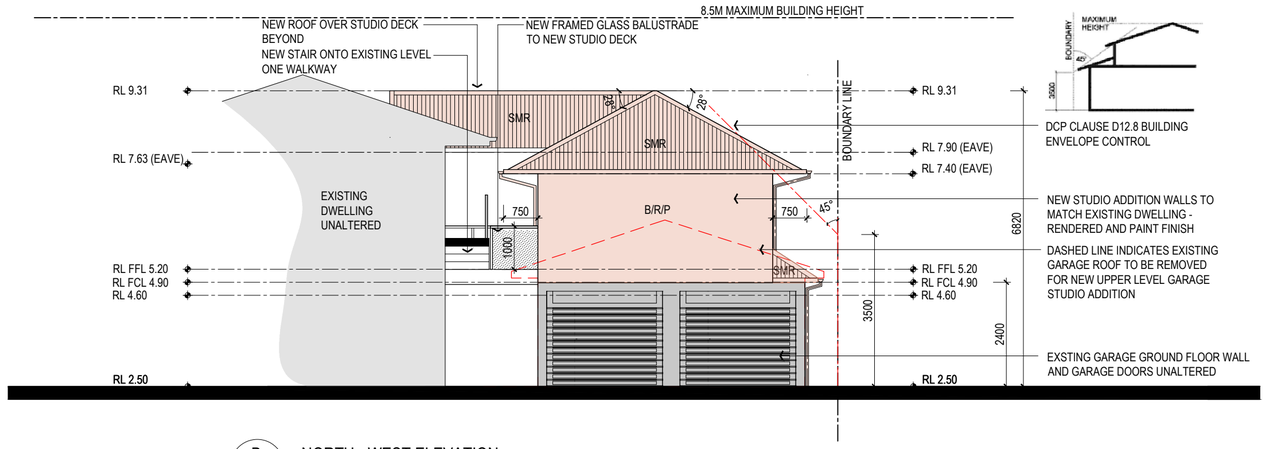
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1548

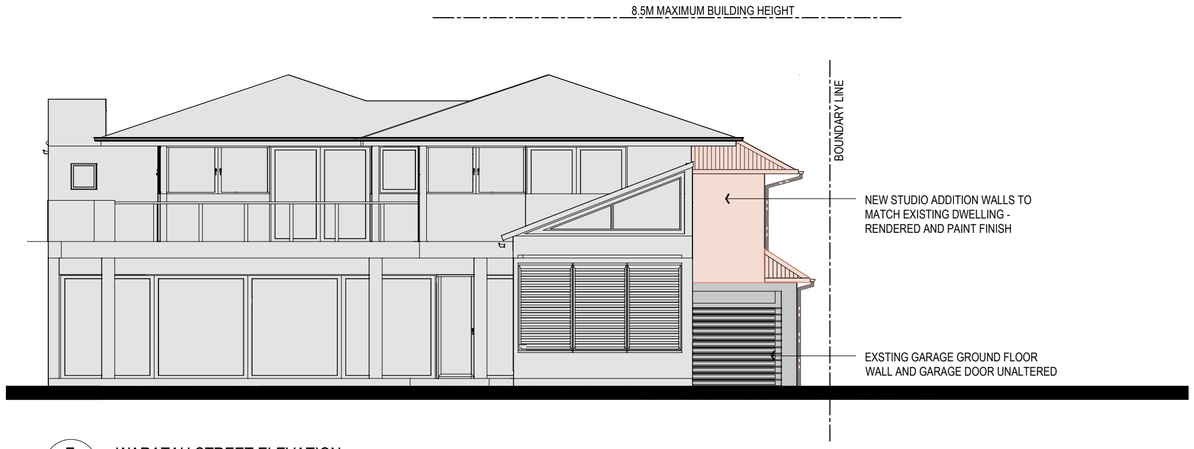


B NORTH - WEST ELEVATION

SCALE 1:100

EXISTING DWELLING UNALTERED

SHADED AREA DENOTES NEW WORK

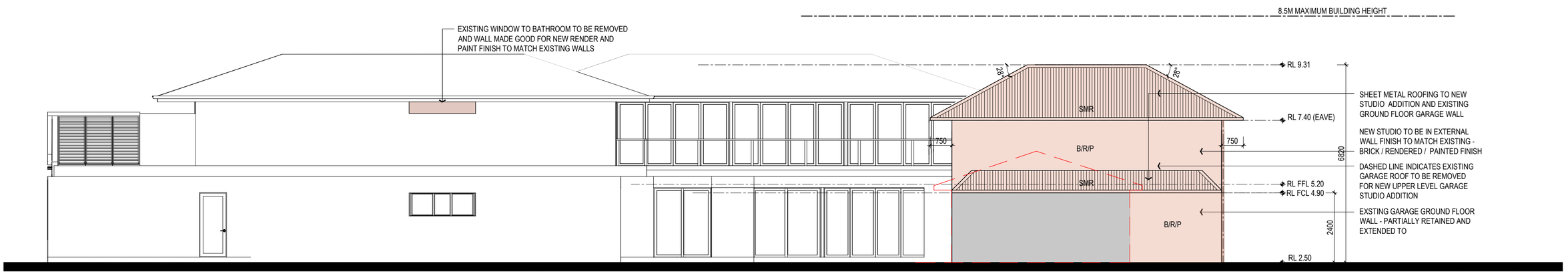


E WARATAH STREET ELEVATION

SCALE 1:100

EXISTING DWELLING UNALTERED

SHADED AREA DENOTES NEW WORK



A SOUTH- WEST ELEVATION

SCALE 1:100

EXISTING DWELLING UNALTERED

SHADED AREA DENOTES NEW WORK

REV.	DATE	DESCRIPTION	CHECKED
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW	KM
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C	12.02.2024	ROOF PITCH AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED	KM

LEGEND

ABBREVIATIONS

AC	AIR CONDITIONING	JN	JOINERY
AHD	AUSTRALIAN HEIGHT DATUM	LFW	LINEAR FLOOR WASTE
AS	AUSTRALIAN STANDARD	LGF	LOWER GROUND FLOOR
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BF	BI-FOLD	NCC	NATIONAL CONSTRUCTION CODE (BCA)
CS	CASEMENT WINDOW	NGL	NATURAL GROUND LEVEL
DB	DOUBLE	NTS	NOT TO SCALE
DP	DOWNPIPE	PV	PHOTO VOLTAICS
(E)	EXISTING	RT	ROOF TILE
EQ	EQUAL	SKL	SKYLIGHT
F	FIXED	SL	SLIDING DOOR
FCL	FINISHED CEILING LEVEL	SMK	SMOKE ALARM
FF	FIRST FLOOR	TOG	TOP OF GUTTER
FFL	FINISHED FLOOR LEVEL	V	VENT
FRL	FINISHED REDUCED LEVEL	VOS	VERIFY ON SITE
GF	GROUND FLOOR		

MATERIALS AND FINISHES

AD	ALUMINIUM DOOR	PB	PLASTERBOARD
AL	ALUMINIUM	R	RENDERED
AW	ALUMINIUM WINDOW	RC	REINFORCED CONCRETE
BB	BARGE BOARD	S	SLATE
BK	BRICK	ST	STONE
BMR	BITUMINOUS MEMBRANE ROOFING	T	TIMBER
CA	CARPET	TB	TIMBER BATTEN
CL	CLEAR FINISH	TD	TIMBER DOOR
CR	CEMENT RENDER	TDK	TIMBER DECKING
FB	FASCIA BOARD	T & G	TIMBER TONGUE & GROOVE
FC	FIBRE CEMENT	TL/TC	TILE - TERRACOTTA
G	GLAZED	TW	TIMBER WINDOW
GD	GLAZED TIMBER DOOR	TLF	TILE - FLOOR
MRS	METAL ROOF SHEETING	WB	WEATHERBOARD
P	PAINTED	VT	VITRIFIED TILE
PAV	PAVING	ZRS	ZINC ROOF SHEETING

two form pty ltd
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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CLIENT
STEPHEN AND SUSAN JONES

DATE
AUG 2023

PROJECT
ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE
DEVELOPMENT APPLICATION

SCALE
1:100 AT A2

DRAWING NAME
NORTH WEST AND SOUTH WEST ELEVATION

DRAWING NUMBER
22 026 AR **DA 07**

REVISION
C

BASIX Certificate

ilding Sustainability Index www.basix.nsw.gov.au

terations and Additions

tificate number: A505299

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overhang Height (m)	Overhang Distance (m)	Shading device	Frame and glass type
D01	NE	8.65	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D02	SE	5.94	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W01	SE	0.84	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	SE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	NE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
SK01_Ens	1.5	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.3)

Legend

In these commitments, "applicant" means the person carrying out the development.

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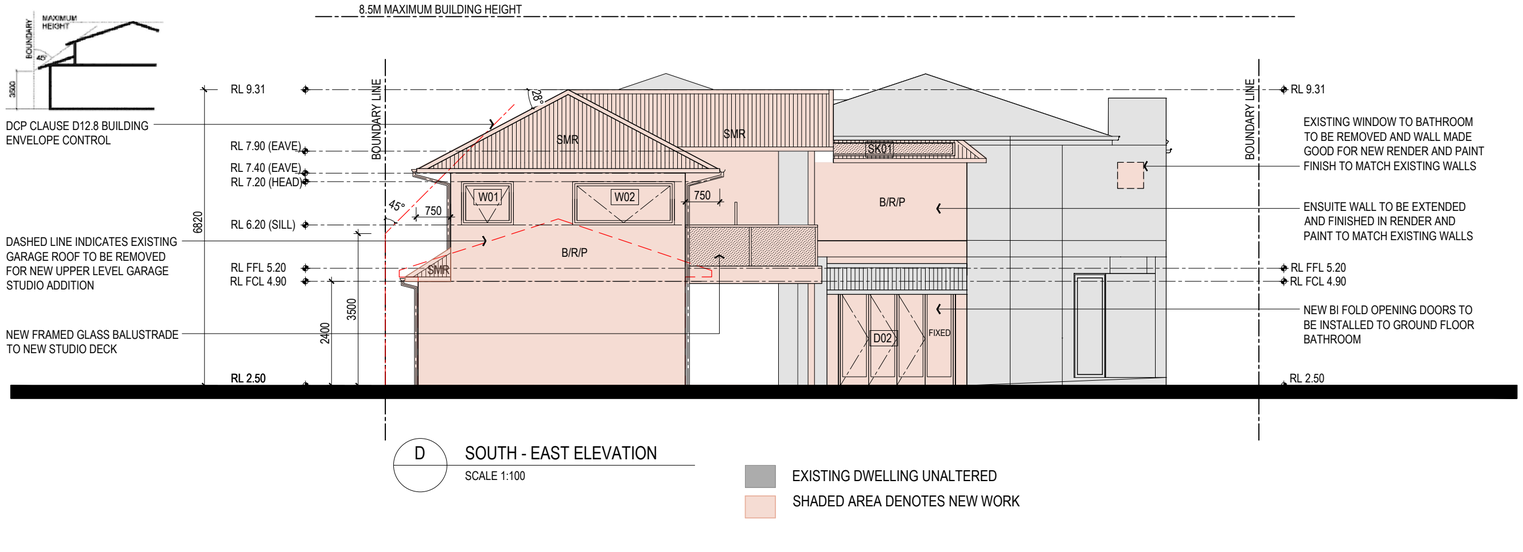
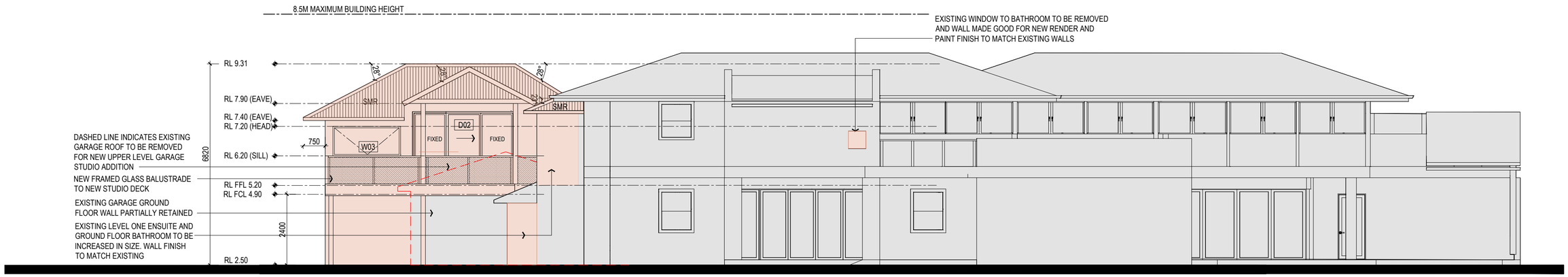


D SOUTH - EAST ELEVATION

SCALE 1:100



C NORTH - EAST ELEVATION

SCALE 1:100

EXISTING DWELLING UNALTERED

SHADED AREA DENOTES NEW WORK

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1548

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PROJECT
ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE
DEVELOPMENT APPLICATION

SCALE
1:100 AT A2

DRAWING NAME
NORTH EAST AND SOUTH EAST ELEVATIONS

DRAWING NUMBER
22 026 AR **DA 08**

REVISION
C

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A505299

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
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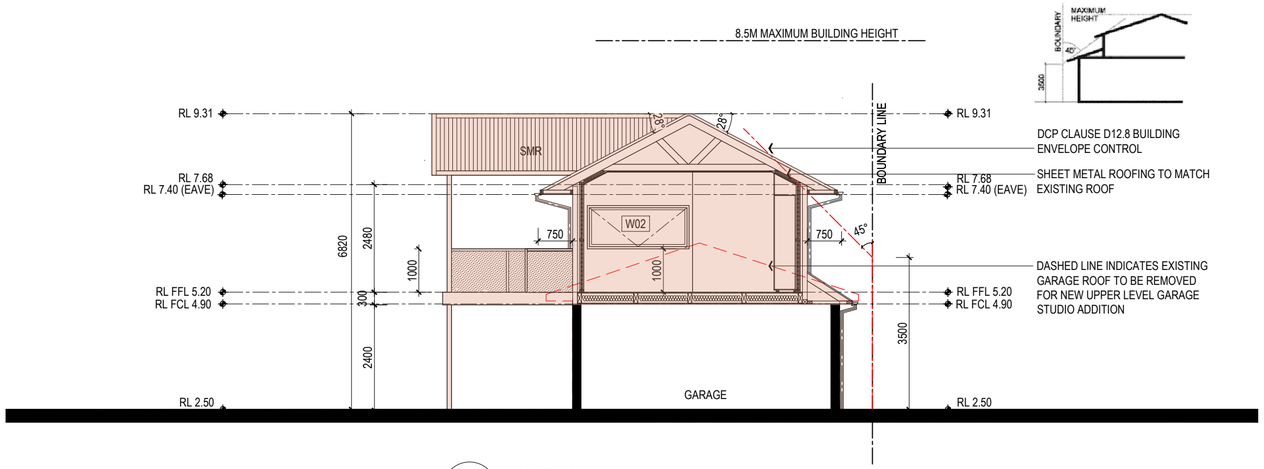

DCP CLAUSE D12.8 BUILDING ENVELOPE CONTROL

SHEET METAL ROOFING TO MATCH EXISTING ROOF

DASHED LINE INDICATES EXISTING GARAGE ROOF TO BE REMOVED FOR NEW UPPER LEVEL GARAGE STUDIO ADDITION

01 SECTION
SCALE 1:100

EXTERNAL RENDERED WALL PAINT COLOUR

POWDERCOAT COLOUR TO NEW DOOR AND WINDOW FRAMES

STONE TILE TO NEW STUDIO DECK AND NEW STAIR

NEW SHEET METAL ROOFING AND RAINWATER ACCESSORIES

01 SECTION
SCALE 1:100

northern beaches council

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DA2023/1548

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AUG 2023

PROJECT
ALTERATIONS AND ADDITION TO EXISTING DWELLING
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING STAGE
DEVELOPMENT APPLICATION

SCALE
1:100 AT A2

DRAWING NAME
SECTION 01 AND EXTERNAL FINISHES

DRAWING NUMBER
22 026 AR **DA 09**

REVISION
C

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

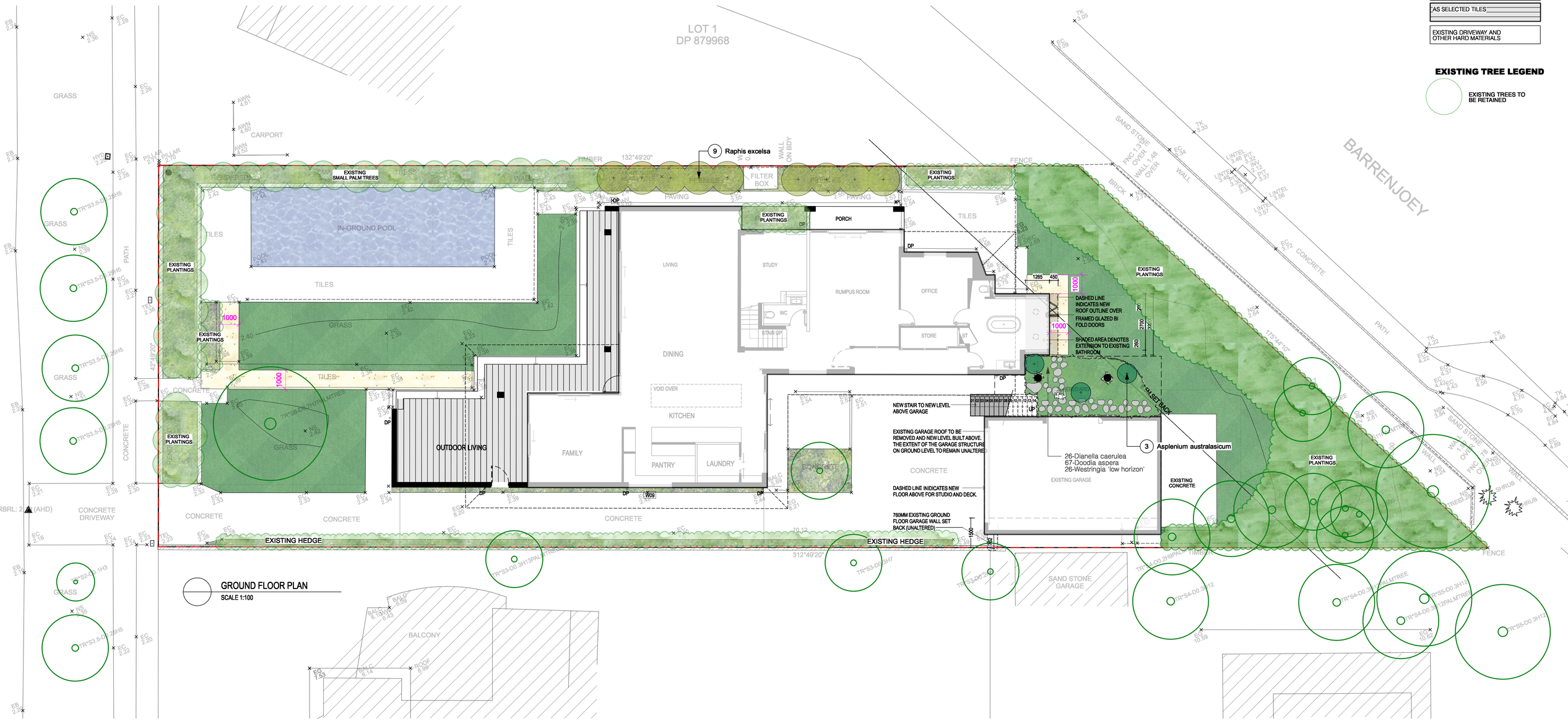
DA2023/1548

LEGEND

- AS SELECTED PAVING
- TURF
- DEEP SOIL GARDENS
- EXISTING PLANTING
- EXISTING POOL
- PROPOSED BUILDING
- AS SELECTED TILES
- AS SELECTED TILES
- EXISTING DRIVEWAY AND OTHER HARD MATERIALS

EXISTING TREE LEGEND

EXISTING TREES TO BE RETAINED



GROUND FLOOR PLAN
SCALE 1:100

0 10 M

DIAL BEFORE YOU DIG www.1100.com.au

ISSUE	DATE	COMMENT
A	15/08/23	FOR REVIEW

AMENDMENTS

GENERAL NOTES
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned.
All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.
NOTE
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.
All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out
No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.
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SYDNEY NORTH STUDIO
PO Box 265
SEAFORTH NSW 2092
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p 1300 22 44 55
info@sdstudios.com.au
www.sdstudios.com.au

Project	**PROPOSED ALTERATIONS AND ADDITION TO EXISTING DWELLING**
Address	**3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513** Date **15/08/23**
Drawing Title	**GROUND FLOOR LANDSCAPE PLAN** Scale **1:100@A1**
	Drawing No. **1489**

Page **L-02**

northern beaches council

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DA2023/1548

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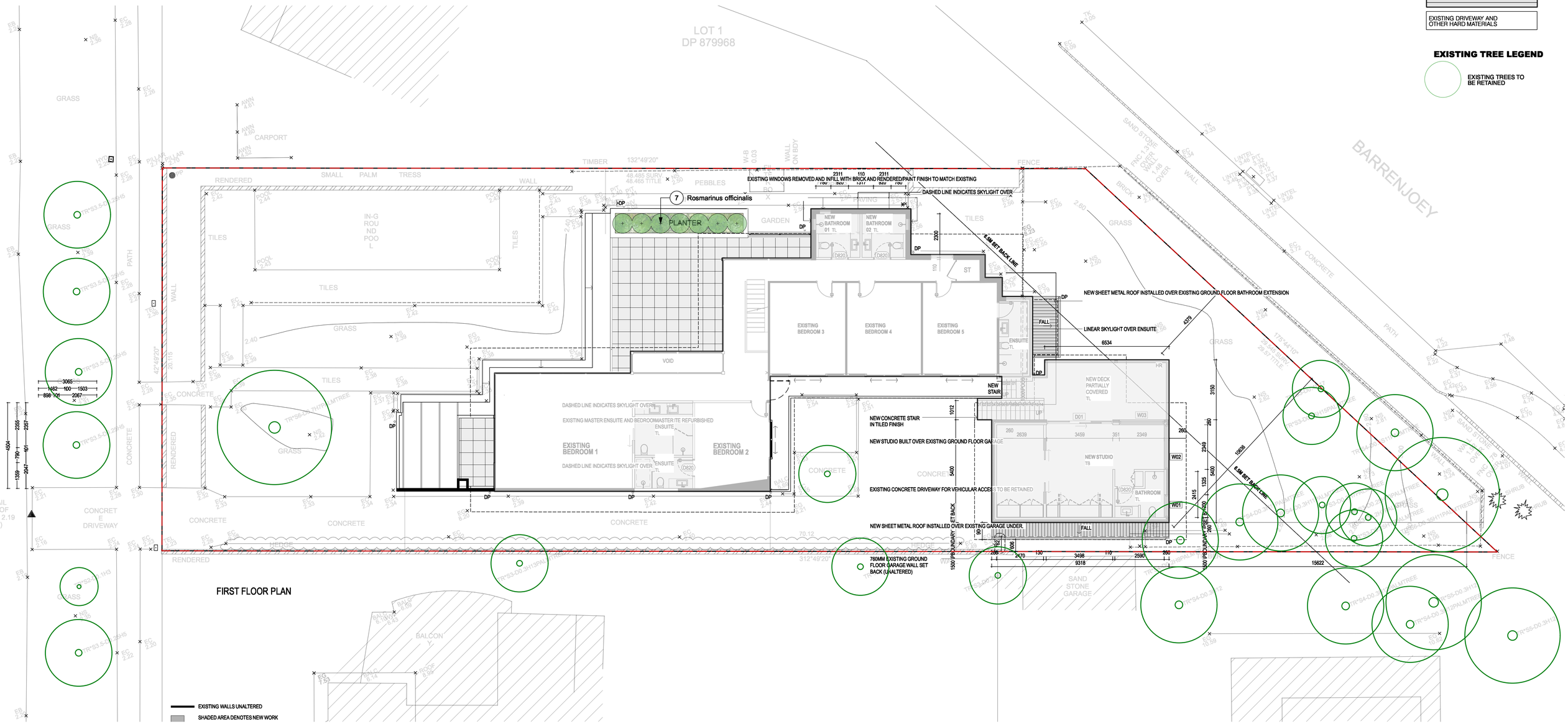
- EXISTING TREES TO BE RETAINED



FIRST FLOOR PLAN

DIAL BEFORE YOU DIG www.1100.com.au

0 10 M

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No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.
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creating places to live in and enjoy

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www.sdstudios.com.au

Project	PROPOSED ALTERATIONS AND ADDITION TO EXISTING DWELLING
Address	3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513
Date	15/08/23
Drawing Title	FIRST FLOOR LANDSCAPE PLAN
Scale	1:100@A1
Drawing No.	1489

Page
L-03

Plant List

ID	Botanical Name	Common Name	Scheduled Size	Mature Height	Mature Spread	Qty
Trees						
Shrubs						
rap-exc	Raphis excelsa	Lady Palm	300mm	3 - 5m	2.0 - 3.5m	9
Ros-off	Rosmarinus officinalis	Rosemary	200mm	1.5 - 3m	1.2 - 2.0m	7
Ground Covers						
wes-lh'	Westringia 'low horizon'	coastal rosmary	200mm	0.4m	0.8m	26
Grasses						
Dia-cae	Dianella caerulea	Blue Flax-lily	150mm	0.4m	0.6m	26
asp-aus	Asplenium australasicum	Birds Nest Fern	150mm	1m	1.2m	3
doo-asp	Doodia aspera	Rasp Fern	150mm	0.3	1m	67

Raphis excelsa
Lady Palm

Rosemarinus officinalis
Rosemary

Westringia low horizon
Coastal rosemary

Dianella caerulea
Flax Lilly

Asplenium australasicum
Crow's nest fern

Doodia aspera
Rasp Fern

northern beaches council

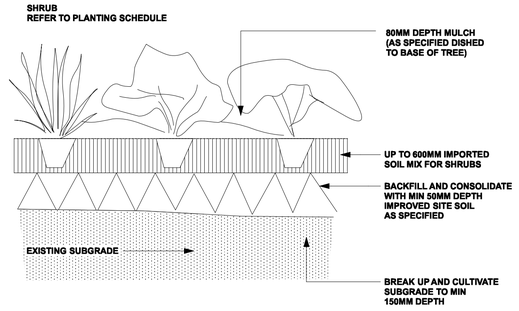
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1548

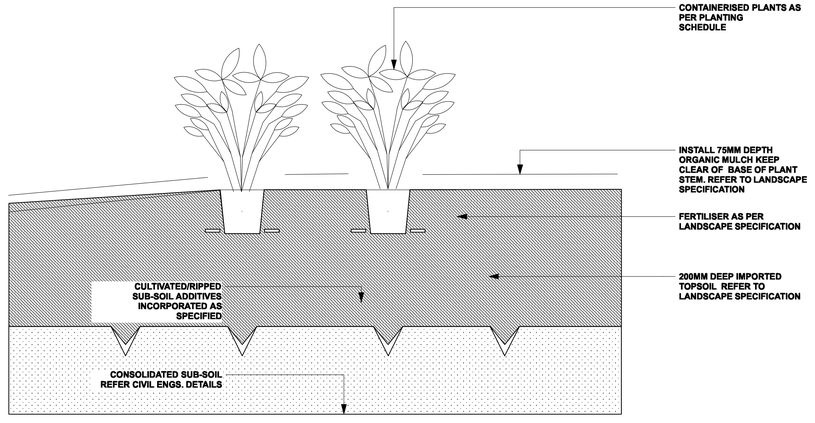
LANDSCAPE MAINTENANCE NOTES

THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS OF THE CONTRACT DURING THE PROGRESS OF THE WORKS. THE CONTRACTOR SHALL COMMENCE AND FULLY IMPLEMENT THE SHORT-TERM MAINTENANCE AND ESTABLISHMENT AFTER PRACTICAL COMPLETION HAS BEEN CONFIRMED.
SITE CONTROL: REPORT TO THE PRINCIPAL'S DESIGNATED REPRESENTATIVE ON ARRIVING AT AND BEFORE LEAVING THE SITE. PLANT ESTABLISHMENT PERIOD: THE PERIOD BETWEEN THE DATE OF PRACTICAL COMPLETION AND THE DATE OF FINAL COMPLETION.
MAINTENANCE/ ESTABLISHMENT PERIOD: 12 MONTHS.

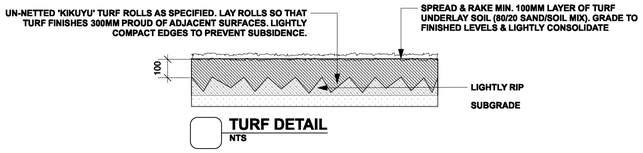
PLANT ESTABLISHMENT: MAINTAIN THE CONTRACT AREA DURING THE PLANT ESTABLISHMENT PERIOD. ENSURE THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT DATE OF PRACTICAL COMPLETION IS MAINTAINED FOR THE FULL PLANTING ESTABLISHMENT PERIOD.
EXISTING PLANT MATERIAL: MAINTAIN EXISTING PLANTING WITHIN THE LANDSCAPE CONTRACT AREA AS SPECIFIED FOR NEW PLANTING.
REPLACEMENTS: REPLACE FAILED, DEAD AND/OR DAMAGED PLANTS AT MINIMUM 3 WEEK INTERVALS AS NECESSARY THROUGHOUT THE FULL PLANT ESTABLISHMENT PERIOD. REPORTING: SUBMIT REGULAR REPORTS BY THE LAST FRIDAY OF EACH MONTH SUMMARISING THE GENERAL STATUS OF WORKS. INCLUDE A MAINTENANCE SCHEDULE, A LOG BOOK OF MAINTENANCE ACTIVITY, SOIL TEST RESULTS AS REQUIRED FOR ANY FERTILISING PROGRAMS, AND PLANT REPLACEMENT REQUIREMENTS.
WATER RESTRICTIONS: COORDINATE THE WATER SUPPLY AND CONFIRM THE WATERING REGIME AGAINST RELEVANT GOVERNMENT LEGISLATION AND RESTRICTIONS AT THE TIME. STAKES AND TIES: REMOVE AT THE END OF THE PLANTING ESTABLISHMENT PERIOD. TEMPORARY FENCES: REMOVE TEMPORARY PROTECTIVE FENCES AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.
COMPLIANCE: PLANT ESTABLISHMENT SHALL BE DEEMED COMPLETE, SUBJECT TO THE FOLLOWING:
* REPAIRS TO PLANTING MEDIA COMPLETED.
* PESTS, DISEASE, OR NUTRIENT DEFICIENCIES OR TOXICITIES ARE NOT EVIDENT.
* MULCHED SURFACES HAVE BEEN MAINTAINED IN A WEED FREE AND TIDY CONDITION AND TO THE SPECIFIED DEPTH.
* VEGETATION IS ESTABLISHED AND WELL FORMED.
* PLANTS HAVE HEALTHY ROOT SYSTEMS.
* VEGETATION IS NOT RESTRICTING ESSENTIAL SIGHT LINES AND SIGNAGE.
* COLLECTION AND REMOVAL OF LITTER COMPLETED.
* REMOVAL OF MULCH FROM DRAINAGE AND ACCESS AREAS COMPLETED.
* ALL DEFECTS NOTIFICATIONS HAVE BEEN CLOSED OUT.



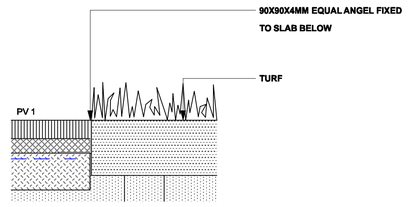
TYPICAL SHRUB PLANTING DETAIL
NTS



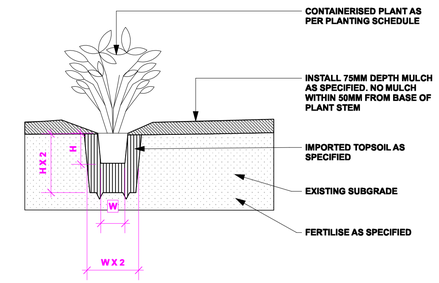
TYPICAL GROUNDCOVER PLANTING DETAIL
NTS



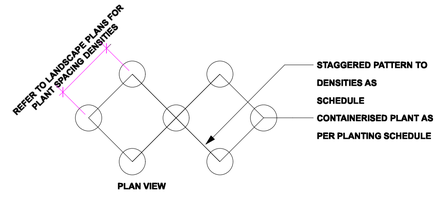
TURF DETAIL
NTS



EDGE TYPE 1 I 8MM CORTEN STEEL EDGE
NTS



INDIVIDUAL PLANTING
NTS



ISSUE DATE COMMENT

AMENDMENTS

GENERAL NOTES
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned.
All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170
and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.
NOTE
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.
All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out
No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.

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Project **PROPOSED ALTERATIONS AND ADDITION TO EXISTING DWELLING**
Address **3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513** Date **15/08/23**
Drawing Title **PLANTING DETAILS** Scale **N.T.S@A1**
Drawing No. **1489**

Page **L-04**

ALTERATIONS & ADDITIONS
AT 3 WARATAH ROAD, PALM BEACH

GENERAL

G1 These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions and sketches as may be issued during the course of the Contract. Any discrepancies shall be referred to the Superintendent before proceeding with any related works. Construction from these drawings, and their associated consultant's drawings is not to commence until approved by the Local Authorities.

G2 All materials and workmanship shall be in accordance with the relevant and current Standards Australia codes and with the By-Laws and Ordinances of the relevant building authorities except where varied by the project specification.

G3 All set out dimensions shall be obtained from Architect's and Engineer's details. All discrepancies shall be referred to the Architect and Engineer for decision before proceeding with related work.

G4 During construction the structure shall be maintained in a stable condition and no part shall be overstressed. Temporary bracing shall be provided by the builder/subcontractor to keep the works and excavations stable at all times.

G5 Unless noted otherwise levels are in metres and dimensions are in millimetres.

G6 The alignment and level of all services shown are approximate only. The contractor shall confirm the position and level of all services prior to commencement of construction. Any damage to services shall be rectified at the contractors expense.

G7 Any substitution of materials shall be approved by the Engineer and included in any tender.

G8 All services, or conduits for servicing shall be installed prior to commencement of pavement construction.

G9 Subsoil drainage, comprising 100 agriculture pipe in geo-stocking to be placed as shown and as may be directed by the superintendent. Subsoil drainage shall be constructed in accordance with the relevant local authority construction specification.

G10 The structural components detailed on these drawings have been designed in accordance with the relevant Standards Australia codes and Local Government Ordinances for the following loadings. Refer to the Architectural drawings for proposed floor usage. Refer to drawings for live loads and superimposed dead loads.

DRAINAGE NOTES

D1 All drainage levels to be confirmed on site, prior to any construction commencing.

D2 All pipes within the property to be a minimum of 100 dia upvc @ 1% minimum grade, uno.

D3 All pits within the property are to be fitted with "weldlok" or approved equivalent grates:
- Light duty for landscaped areas
- Heavy duty where subjected to vehicular traffic

D4 All pits within the property to be constructed as one of the following:
1) Precast stormwater pits
2) Cast insitu mass concrete
3) Cement rendered 230mm brickwork subject to the relevant local authority construction specification.

D5 Ensure all grates to pits are set below finished surface level within the property. Top of pit RL's are approximate only and may be varied subject to approval of the engineer. All invert levels are to be achieved.

D6 Any pipes beneath relevant local authority road to be rubber ring jointed RCP, uno.

D7 All pits in roadways are to be fitted with heavy duty grates with locking bolts and continuous hinge.

D8 Provide step irons to stormwater pits greater than 1200 in depth.

D9 Trench back fill in roadways shall comprise sharp, clean granular back fill in accordance with the relevant local authority specification to non-trafficable areas to be compacted by rodding and tamping using a flat plate vibrator.

D10 Where a high early discharge (hed) pit is provided all pipes are to be connected to the hed pit, uno.

D11 Down pipes shall be a minimum of dn100 sw grade upvc or 100 x100 colorbond/zincalume steel, uno.

D12 Colorbond or zincalume steel box gutters shall be a minimum of 450 wide x 150 deep.

D13 Eaves gutters shall be a minimum of 125 wide x 100 deep (or of equivalent area) colorbond or zincalume steel, uno.

D14 Subsoil drainage shall be provided to all retaining walls & embankments, with the lines feeding into the stormwater drainage system, uno.

EROSION AND SEDIMENT CONTROL NOTES

E1 These notes are to be read in conjunction with erosion and sediment control details in this drawing set.

E2 The contractor shall implement all soil erosion and sediment control measures as necessary and to the satisfaction of the relevant local authority prior to the commencement of and during construction. No disturbance to the site shall be permitted other than in the immediate area of the works and no material shall be removed from the site without the relevant local authority approval. All erosion and sediment control devices to be installed and maintained in accordance with standards outlined in nsw department of housing's "managing urban stormwater - soils and constructions".

E3 Place straw bales length wise in a row as parallel as possible to the site contours, uno. Bale ends to be tightly butted. Bales are to be placed so that straws are parallel to the row. Bales are to be placed 1.5m to 2m downslope from the toe of the disturbed batter, uno.

E4 Council approved filter fabric to be entrenched 150mm deep upslope towards disturbed surface. Fabric to be a minimum SF2000 or better. Fix fabric to posts with wire ties or as recomended with manufacturer's specifications. Fabric joints to have a minimum of 150mm overlap. Wire to be strung between posts with filter fabric overlap to prevent sagging.

E5 Stabalised entry/exit points to remain intact until finished driveway is complete. Construction of entry/exit points to be maintained and repaired as required so that it's function is not compromised. Construction of entry/exit point to be in accordance with the detail contained within this drawing set.

E6 All drainage pipe inlets to be capped until:
- downpipes connected
- pits constructed and protected with silt barrier

E6 Provide and maintain silt traps around all surface inlet pits until catchment is revegetated or paved.

E7 The contractor shall regularly maintain all erosion and sediment control devices and remove accumulated silt from such devices such that more than 60% of their capacity is lost. All the silt is to be placed outside the limit of works. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or council.

E8 The contractor shall implement dust control by regularly wetting down (but not saturating) disturbed area.

E9 Topsoil shall be stripped and stockpiled outside hazard areas such as drainage lines. This topsoil shall be respread later on areas to be revegetated and stabilised only, (i.e. all footpaths, batters, site regarding areas, basins and catchdrains). Topsoil shall not be respread on any other areas unless specifically instructed by the superintendent. If they are to remain for longer than one month stockpiles shall be protected from erosion by covering them with a mulch and hydroseeding and, if necessary, by locating banks or drains downstream of a stockpile to retard silt laden runoff.

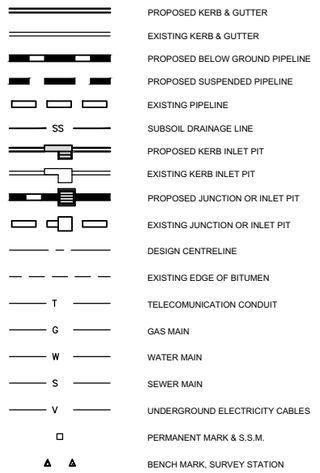
E10 Lay 300 wide minimum turf strip on 100 topsoil behind all kerb and gutter with 1000 long returns every 6000 and around structures immediately after backfilling as per the relevant local authority specification.

E11 The contractor shall grass seed all disturbed areas with an approved mix as soon as practicable after completion of earthworks and regrading.

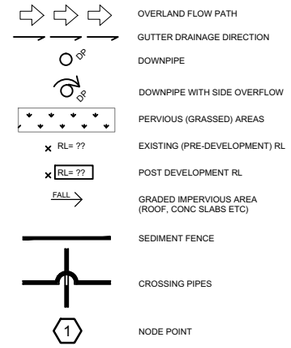
E12 Revegetate all trenches immediately upon completion of backfilling.

E13 When any devices are to be handed over to council they shall be in clean and stable condition.

STANDARD LINE TYPES AND SYMBOLS



STANDARD LINE TYPES AND SYMBOLS



LEGEND

AHD	Australian height datum	SS	Stainless steel
AG	Ag-pipe (Sub soil drainage)	SU	Box gutter sump
ARI	Average recurrence interval	TW	Top of wall
BG	Box Gutter	TWL	Top water level
BWL	Bottom water level	U/S	Underside of slab
CL	Cover level	VG	Vally gutter
CO	Clean out inspection opening	UNO	Unless noted otherwise
DCP	Discharge control pit		
DP	Down pipe		
DRP	Dropper pipe		
EBG	Existing box gutter		
EDP	Existing down pipe		
EEG	Existing eaves gutter		
EG	Eaves gutter		
FRC	Fiber reinforced concrete		
FW	Floor waste		
GD	Grated drain		
GSIP	Grated surface inlet pit		
HED	High early discharge		
HP	High point of gutter		
IL	Invert level		
IO	Inspection opening		
O/F	Overflow		
OSD	On-site detention		
PSD	Permissible site discharge		
P1	Pipe 1		
RCP	Reinforced concrete pipe		
RHS	Rectangular hollow section		
RL	Reduced level		
RRJ	Rubber ring joint		
RRT	Rainwater re-use tank		
RWH	Rain water head		
RWO	Rain water outlet		
SLAP	Sealed lid access pit		
SP	Spreader pipe		
SPR	Spreader		

RECOMMENDED MAINTENANCE SCHEDULE

DISCHARGE CONTROL PIT (DCP)	FREQUENCY	RESPONSIBILITY	PROCEDURE
Inspect flap valve and remove any blockage.	Six monthly	Owner	Remove grate. Ensure flap valve moves freely and remove any blockages or debris.
Inspect screen and clean.	Six monthly	Owner	Revove grate and screen if required and clean it.
Inspect & remove any blockage of orifice.	Six monthly	Owner	Remove grate & screen to inspect orifice. see plan for location of dcp.
Inspect dcp sump & remove any sediment-sludge.	Six monthly	Owner	Remove grate and screen. Remove sediment/sludge build-up and check orifice and flap valve clear.
Inspect grate for damage or blockage.	Six monthly	Owner	Check both sides of grate for corrosion, (especially corners and welds) damage or blockage.
Inspect return pipe from storage and return any blockage.	Six monthly	Owner	Remove grate and screen. ventilate underground storage if present. open flap valve and remove any blockages in return line. Check for sludge/debris on upstream side of return line.
Inspect outlet pipe and remove any blockage.	Six monthly	Maintenance Contractor	Remove grate and screen. ventilate underground storage if present. Check orifice and remove any blockages in outlet pipe. Flush outlet pipe to confirm it drains freely. Check for sludge/debris on upstream side of return line.
Check fixing of step irons is secure.	Six monthly	Maintenance Contractor	Remove grate and ensure fixings secure prior to placing weight on step iron.
Inspect overflow weir & remove any blockage.	Six monthly	Maintenance Contractor	Remove grate and open cover to ventilate underground storage if present. ensure weir clear of blockages.
Empty basket at overflow weir (if present).	Six monthly	Maintenance Contractor	Remove grate and ventilate underground storage chamber if present. Empty basket, check fixings secure and not corroded.
Check attachment of orifice plate to wall of pit (gaps less than 5 mm).	Annually	Maintenance Contractor	Remove grate and screen. ensure plate mounted securely, tighten fixings if required. seal gaps as required.
Check attachment of screen to wall of pit.	Annually	Maintenance Contractor	Remove grate and screen. ensure screen fixings secure. repair as required.
Check screen for corrosion.	Annually	Maintenance Contractor	Remove grate and examine screen for rust or corrosion, especially at corners or welds.
Check attachment of flap valve to wall of .	Annually	Maintenance Contractor	Remove grate. Ensure fixings of valve are secure.
Check flap valve seals against wall of pit.	Annually	Maintenance Contractor	Remove grate. fill pit with water and check that flap seals against side of pit with minimal leakage.
Check any hinges of flap valve move freely.	Annually	Maintenance Contractor	Remove grate. Test valve hinge by moving flap to full extent.
Inspect dcp walls (internal and external, if appropriate) for cracks or spalling.	Annually	Maintenance Contractor	Remove grate to inspect internal walls. Repair as required. Clear vegetation from external walls if necessary and repair as required.
Check step irons for corrosion.	Annually	Maintenance Contractor	Remove grate. Examine step irons and repair any corrosion or damage.
Check orifice diameter correct and retains sharp edge.	Five yearly	Maintenance Contractor	Compare diameter to design (see work-as- executed) and ensure edge is not pitted or damaged.
STORAGE			
Inspect & remove any blockage of orifice.	Six monthly	Owner	Remove grate and screen. remove sediment/sludge build-up.
Check orifice diameter correct and retains sharp edge.	Six monthly	Owner	Remove blockages from grate and check if pit blocked.
Inspect screen and clean.	Six monthly	Owner	Remove debris and floatable material likely to be carried to grates.
Check attachment of orifice plate to wall of pit (gaps less than 5 mm).	Annually	Maintenance	Remove grate to inspect internal walls. repair as required. clear vegetation from external walls if necessary and repair as required.
Check attachment of screen to wall of pit.	Five yearly	Maintenance Contractor	Compare actual storage available with work-as executed plans. If volume loss is greater than 5%, arrange for reconstruction to replace the volume lost. Council to be notified of the proposal.
Check attachment of screen to wall of pit.	Five yearly	Maintenance Contractor	Check along drainage lines and at pits for subsidence likely to indicate leakages.

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1548

NOTE: BUILDER/PLUMBER TO INVESTIGATE SITE CONDITIONS, CONFIRM STORMWATER CONNECTION HEIGHT LEVELS AND LOCATION TO ENSURE CONSISTENCY WITH THE DESIGN. ANY DISCREPANCIES OR CONFLICTS WHICH MAY AFFECT THE PROPOSED DESIGN TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

NOTE: DO NOT SCALE OFF DRAWINGS. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LEVELS SHOWN ON ARCHITECTURAL AND ENGINEERING DRAWINGS. ANY DISCREPANCIES MUST BE REPORTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

REV	DATE	DESCRIPTION	BY
A	25.08.23	ISSUED FOR APPROVAL	S.R.

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PO Box 7191
BAULKHAM HILLS NSW 2153

ALTERATIONS & ADDITIONS
AT 3 WARATAH ROAD, PALM BEACH
FOR TWO FORM ARCHITECTURE

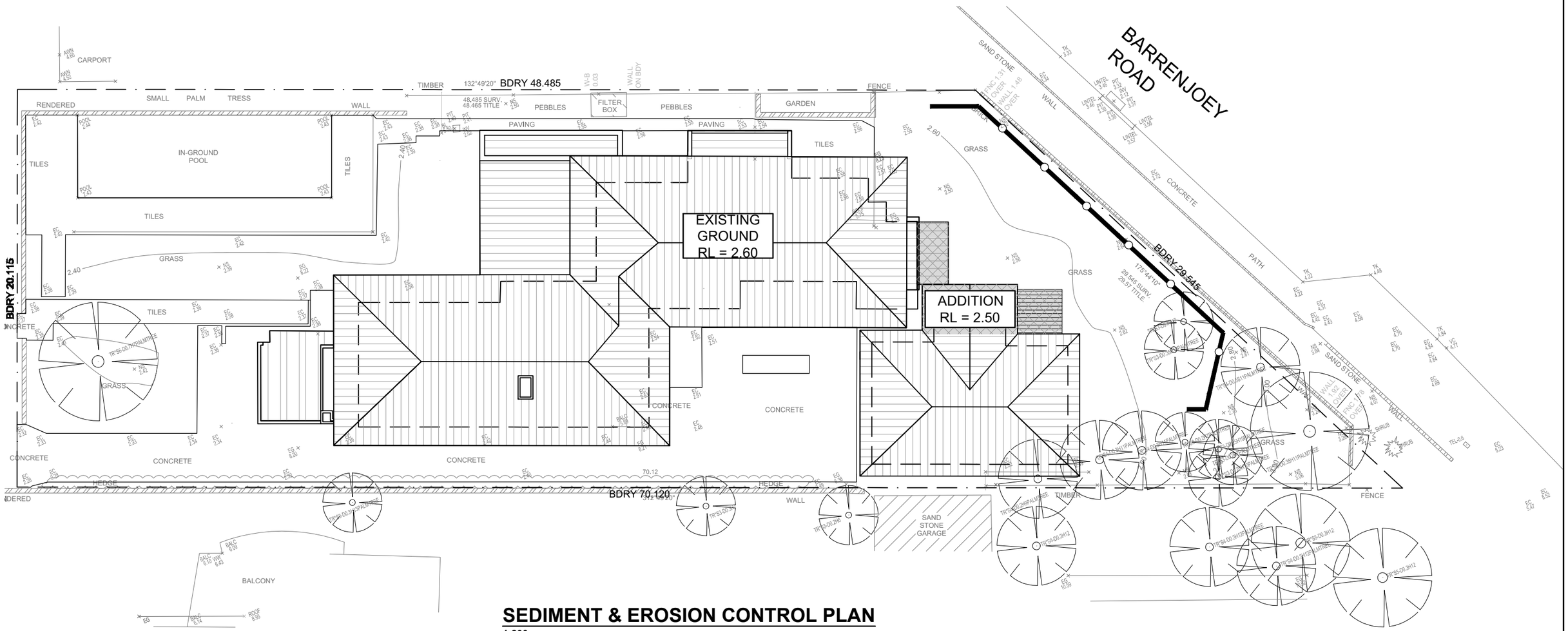
GENERAL NOTES

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
230103	C00.01	A3
DESIGNED BY: S.R.	DATE: AUGUST 2023	
DRAWN BY: S.R.	SCALE: N.T.S	

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1548



SEDIMENT & EROSION CONTROL PLAN

1:200

- DENOTES SEDIMENT FENCE

NOTE: BUILDER/PLUMBER TO INVESTIGATE SITE CONDITIONS, CONFIRM STORMWATER CONNECTION HEIGHT LEVELS AND LOCATION TO ENSURE CONSISTENCY WITH THE DESIGN. ANY DISCREPANCIES OR CONFLICTS WHICH MAY AFFECT THE PROPOSED DESIGN TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

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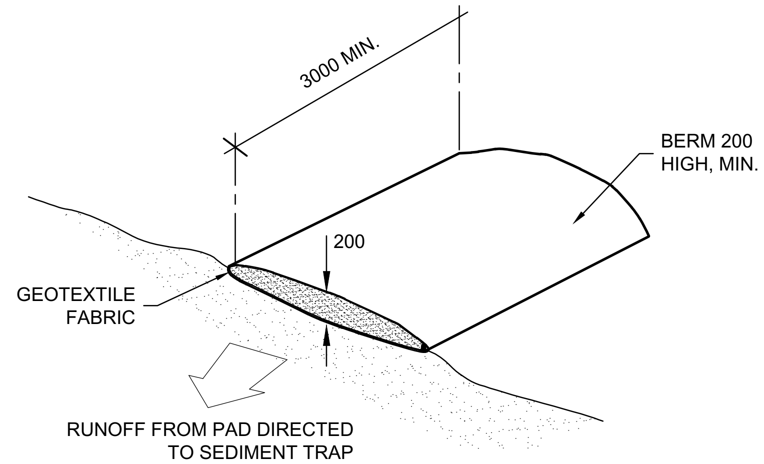
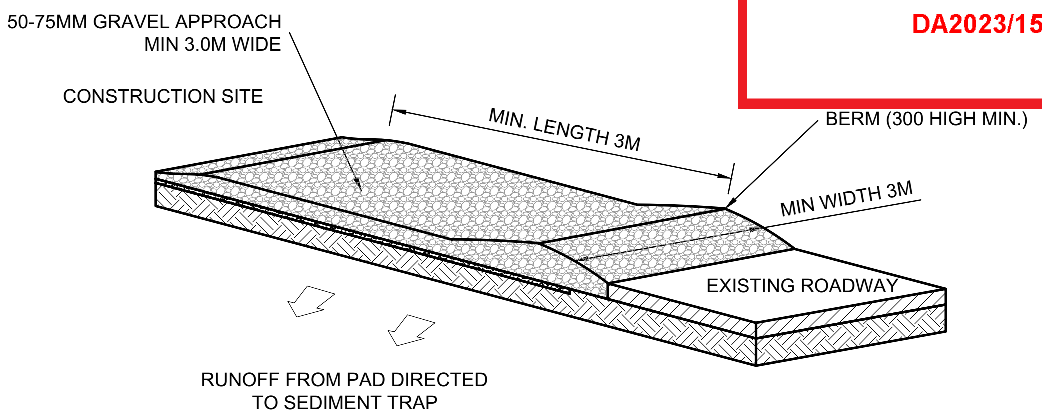
ALTERATIONS & ADDITIONS
AT 3 WARATAH ROAD, PALM BEACH
FOR TWO FORM ARCHITECTURE

SEDIMENT & EROSION CONTROL PLAN

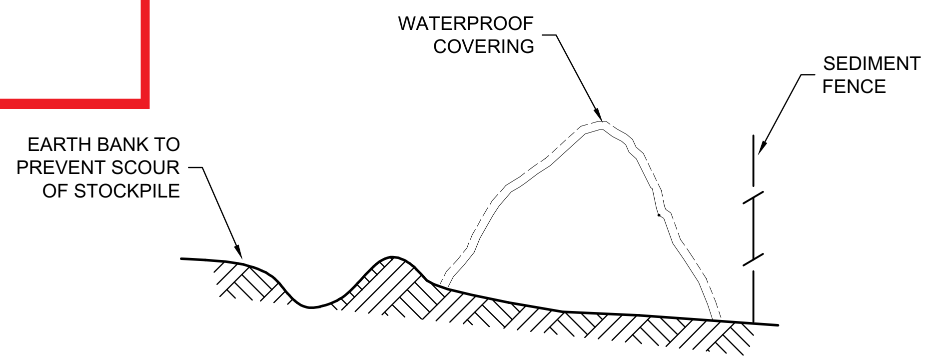
JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
230103	C01.01	A3
DESIGNED BY: S.R.	DATE: AUGUST 2023	
DRAWN BY: S.R.	SCALE: 1:200 U.N.O.	



OPTION 1 - EXISTING DRIVEWAY TO REMAIN



OPTION 2 - DRIVEWAY TO BE RENEWED



VEHICLE ACCESS TO SITE

NTS

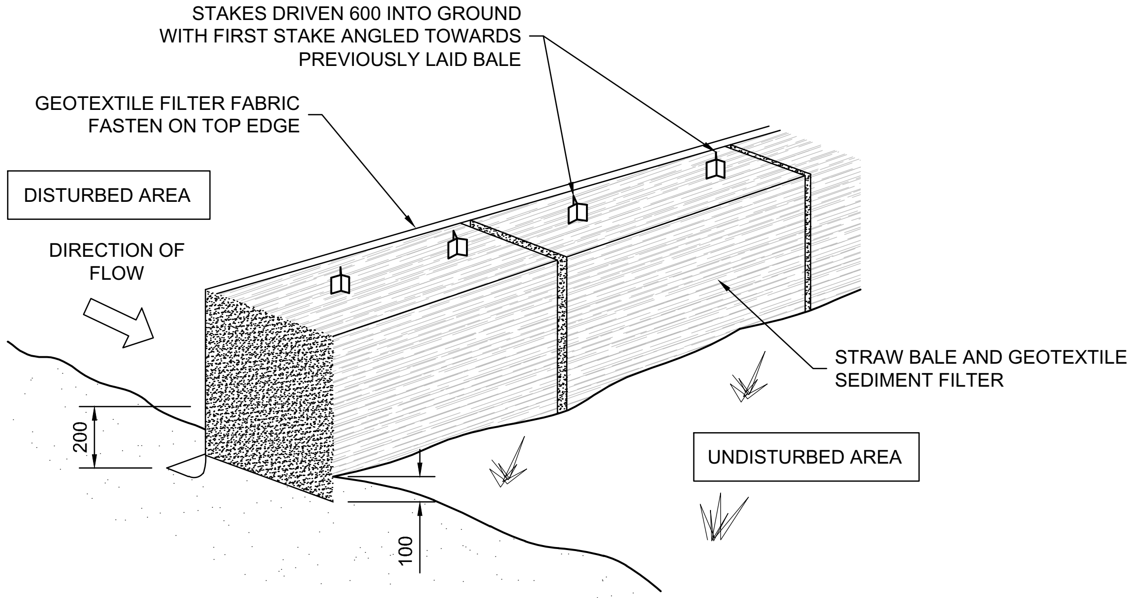
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.

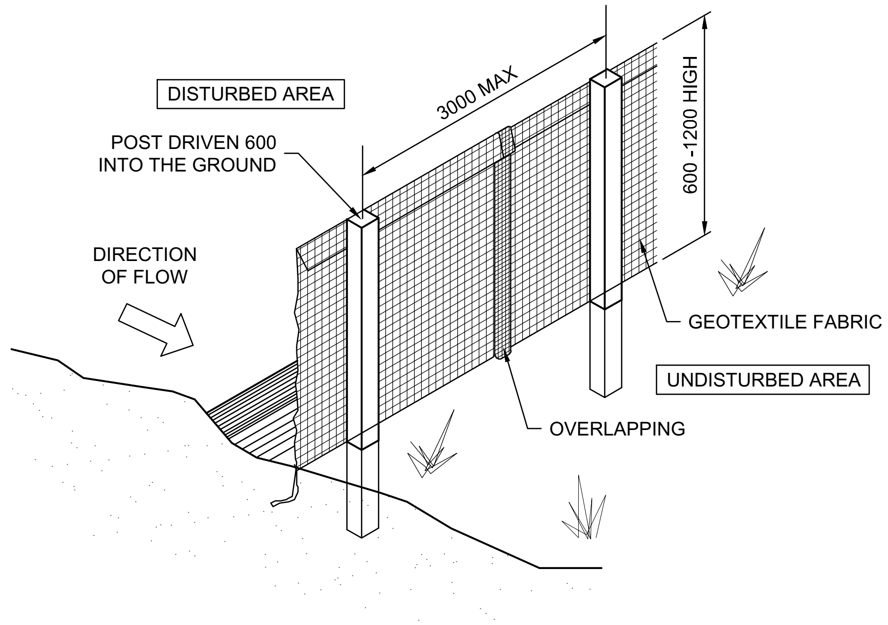
BUILDING MATERIAL STOCKPILES

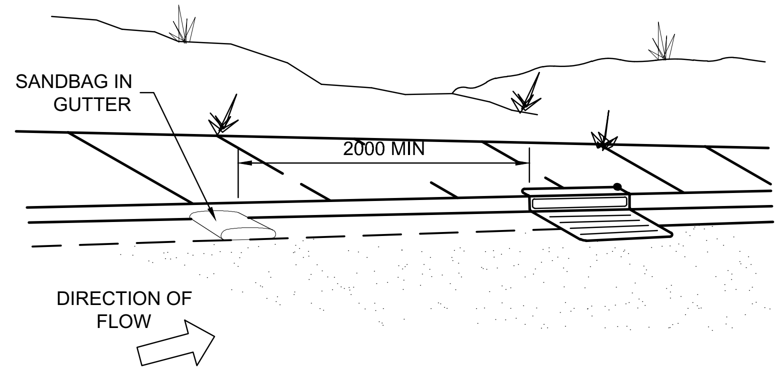
N.T.S

ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.







STRAW BALE DETAIL

N.T.S

SEDIMENT AND EROSION FENCE DETAIL

N.T.S

SANDBAG KERB SEDIMENT TRAP

N.T.S

IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.

NOTE: BUILDER/PLUMBER TO INVESTIGATE SITE CONDITIONS, CONFIRM STORMWATER CONNECTION HEIGHT LEVELS AND LOCATION TO ENSURE CONSISTENCY WITH THE DESIGN. ANY DISCREPANCIES OR CONFLICTS WHICH MAY AFFECT THE PROPOSED DESIGN TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

NOTE: DO NOT SCALE OFF DRAWINGS. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LEVELS SHOWN ON ARCHITECTURAL AND ENGINEERING DRAWINGS. ANY DISCREPANCIES MUST BE REPORTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

REV	DATE	DESCRIPTION	BY
A	25.08.23	ISSUED FOR APPROVAL	S.R.

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ALTERATIONS & ADDITIONS
AT 3 WARATAH ROAD, PALM BEACH
FOR TWO FORM ARCHITECTURE

SEDIMENT & EROSION CONTROL DETAILS

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
230103	C01.02	A3
DESIGNED BY: S.R.	DATE: AUGUST 2023	
DRAWN BY: S.R.	SCALE: 1:20 U.N.O.	