

STATEMENT OF ENVIRONMENTAL EFFECTS

FOR

CONSTRUCTION OF A REINFORCED CONCRETE SWIMMING POOL AND ASSOCIATED HARD AND SOFT
LANDSCAPING WORKS

AT

NO. 32 Balgowlah Road, Fairlight

PREPARED FOR

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BY

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1.0 INTRODUCTION

This Statement of Environmental Effects accompanies drawings prepared by A Total Concept Landscape Architects dated May 2008 including Landscape Master Plan (Dwg. No. L/01), Sections Sheet (Dwg. No. L/02), Site Analysis Plan (Dwg. No. L/03), Sediment Control Plan (Dwg. No. L/04) Notification Plan (Dwg. L/05) plus a survey plan for submission to Northern Beaches Council as a Development Application for the construction of a reinforced concrete swimming pool and associated hard and soft landscaping works at 32 Balgowlah Road, Fairlight.

This Statement explains how the proposal has addressed the relevant controls & objectives contained in the Manly Development Control Plan for the Residential Zone 2007 – Amendment 1.

2.0 PROPERTY DESCRIPTION

2.1 LEGAL DESCRIPTION

The site is located on the north side of Balgowlah Road.

The Legal Property description of the land is Lot 1 and Lot 2, Deposited Plan No. 986348, 32 Balgowlah Road, Fairlight.

It is a rectangular shaped allotment with a combined frontage of 15.345m to Balgowlah Road and a length of 26.21m. The site has a total area of 399.2m².

The land is relatively level with a slight fall from the front to the rear. There are no significant native trees or visible natural features on the site. It is developed with a double fronted single storey, brick semi detached dwelling with a pitched tile roof and a carport at the front.

The adjoining property to the east is the adjoining semi dwelling that is a single fronted brick building with a pitched tile roof.

3.0 THE PROPOSED DEVELOPMENT

- The proposed development includes the construction of a reinforced concrete swimming pool and associated hard and soft landscaping works.
- The majority of the proposed works shall not be visible from the immediate neighbouring properties or public spaces and the impacts of each proposed work is elaborated upon below.

3.1 SWIMMING POOL

The proposed swimming pool generally meets all the objectives and controls as set out in 3.8 'Swimming Pools, Spas and Water Features' of Manly Council's Development Control Plan for The Residential Zone 2007 – Amendment 1. Details below:

- A reinforced concrete swimming pool nominal 5410mm long and 2700mm wide for recreational purposes shall be provided to the west of the subject Residence.
- The proposed swimming pool waterline shall have a setback of 950mm from the Northern boundary, a setback of 1415mm from the eastern boundary and a setback of 8354mm from the western boundary. The proposed setbacks from the eastern and northern boundary to swimming pool shall support and retain existing dense screening plant material, that in the future shall enhance visual and aural privacy from neighbouring properties.
- The proposed swimming pool shall be positioned within a location of the property where it will not detract from the amenity or character of the neighbourhood. We note that the direct neighbour to the north currently has a swimming pool in an identical location, Refer image below showing local precedence.
- The proposed swimming pool shall be set at nominal level of AHD 6.595 at an average of 495mm above existing ground level.
- The proposed swimming pool shall be fenced with pool fencing that complies with all swimming pool fencing codes and requirements.
- The proposed swimming pool filtration equipment shall be contained in a specially designed acoustic control structure that more than meets Environmental Protection Agency noise reduction requirements and all Australian Standards.
- All poolside coping areas shall fall towards drainage inlets or gardens with all collected waters disposed of to the appropriate disposal service system. An overflow pipe shall be installed within the swimming pool with contaminated water directed to the sewerage system.
- The pool capacity is 24,000lt therefore no Basix Certificate is required.



Image showing existing neighbouring Pools and location of proposed pool.

3.4 ASSOCIATED HARD AND SOFT LANDSCAPING

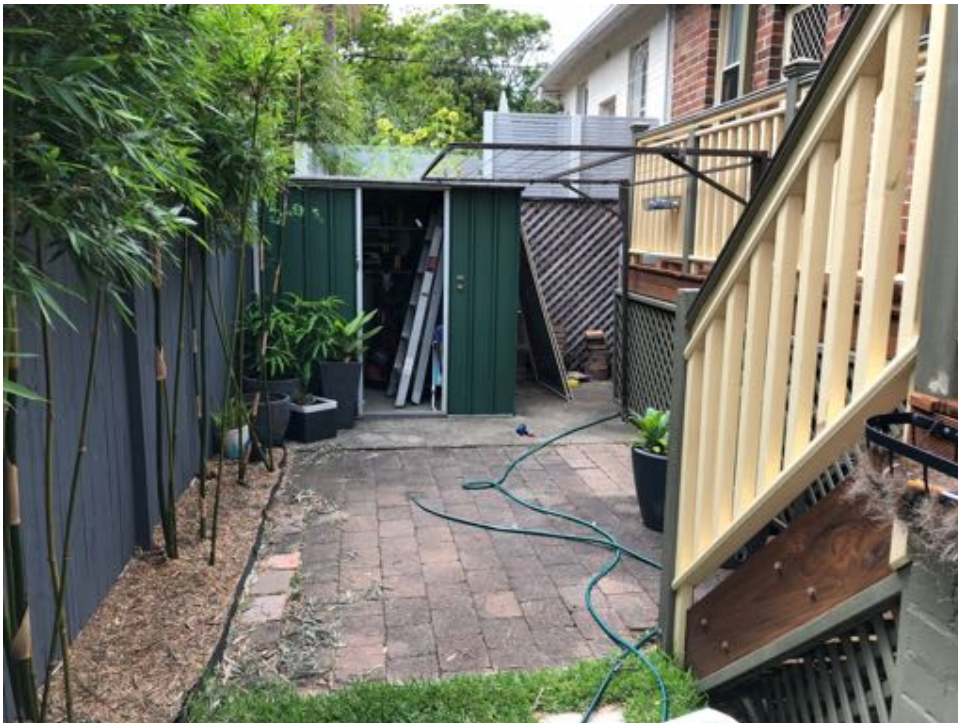
- All garden areas to the north of the Residence shall be upgraded as part of this proposal.
- The existing timber deck to the north of the Residence shall be adjusted as per DA approval DA310/16.
- Proposed access steps shall link the existing timber deck and the pool area and continue towards the western boundary to create access to the private open space.

3.5 SITE DEVELOPMENT

This proposed site development meets the specific numerical requirements and objectives for 4.1.5 Open Space and Landscaping as set out in Manly Council's Development Control Plan for the Residential Zone 2013 – Amendment 11 guidelines.

Residential Area	Area OS3
SITE AREA	399.20m ²
MINIMUM REQUIRED TOTAL OPEN SPACE (55% OF SITE AREA)	219.56m ²
PROPOSED OPEN SPACE	221.56m ²
MINIMUM REQUIRED LANDSCAPED AREA (35% OF OPEN SPACE)	76.84m ²
PROPOSED LANDSCAPED AREA	100.47m ²

4.0 SITE PHOTOS





5.0 SUMMARY

This proposal should be supported and approved by Council.

The inclusion and the positioning of the components of all structures covered within this assessment have been carefully considered in conjunction not only with the existing Residence and structures but also with neighbouring homes and gardens.

All proposed work shall be undertaken to the highest standards utilising high quality material and finishes.

The proposed works fundamentally comply with council' s planning guidelines.

The proposal will improve the property with the construction of a swimming pool and associated landscaping works that are in a fashion that is sympathetic to the subject property and neighbouring properties by upgrading the garden areas on the northern side of the subject property.