

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1691

FOR TERMITE CONTROL SYSTEM

EXTENT OF WORK:
FORM A PHYSICAL TERMITE PROTECTION BARRIER TO
PROTECT ALL NEW WORK FROM TERMITE ATTACK.
PROPRIETARY SYSTEM:
TERMIMESH STAINLESS STEEL TERMITE CONTROL BY
TMA CORPORATION.
SUPPLY AND INSTALL MARINE GRADE STAINLESS
STEEL WOVEN WIRE MESH BY AN ACCREDITED
TECHNICIAN IN ACCORDANCE WITH THE
MANUFACTURERS SPECIFICATION AND AUSTRALIAN
STANDARD 3660.1-2000,"TERMITE MANAGEMENT,PART
1:NEW BUILDING WORK".

GENERAL NOTES

Do not scale drawings. Figured dimensions only to
be used. All dimensions to be checked on site prior
to commencement of the works.

All work to be done in a tradesperson manner and
shall comply in all respects with local Government
requirements. Relevant Aust. standards. Building
code of Australia and Industry trade practice.

All Electrical,Plumbing and drainage works to be
carried out by relevant qualified licenced persons in
strict accordance with the requirements of the
relevant authority.

All worked to be carried out with a minimum of
inconvenience to adjoining residence. Protect
adjoining properties from dust and debris. Keep site
clean at all times and protect all established flora

All insurances must be taken out prior to the com-
mencement of works and evidence provided to the relevent
Authority

All timber framing members to be stress grade F7 or
greater unless otherwise noted (except trusses in acco-
rdance with manu. Design Spec.). Framing to comply
with AS 1684 in all respects. All exposed timbers to
be dressed unless otherwise noted and paint primed
where applicable prior to installation.

Protect timber from mortar stains and other damage,
remove all debris from roof gutters and clean all face
bricks on completion of works.

Roof to be build from timber framing and or truss.

All footings, concrete slabs, retaining walls and other
load bearing elements to be designed by a Structural
Engineers Design.

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PROJECT
Proposed Demolition of Existing Structures
and Erecting a New Dwelling, Granny Flat
and a Home Office Studio.

A	ISSUED FOR DA APPLICATION	OCT. 2020

ADDRESS
4 Southern Cress Way
Allambie Heights NSW

CLIENT
Mr. Chris Jaczac

DRAWN	SCALE	DATE
AJ	1:200	20201010

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Development Calculations

House No. 4 - Lot 2316 - DP 753028

SITE AREA = 927.80 m ²	
Middle Level Living Area	117.94sqm
Lower Level Living Area	163.17sqm
Upper Level Bedrooms Area	148.14sqm
Main Dwelling Total Floor Area	429.25sqm
Main Dwelling D / Garage Area	35.40sqm
New Granny Flat Floor Area	60.00sqm
Home Office Studio Floor Area	33.10sqm
Main Dwelling Private Open Space	99.00sqm
Granny Flat Private Open Space	60.00sqm
Total Building Footprint Area	343.57sqm
Total Hard Surface Area	389.38sqm
Total Soft Landscape Area (53.24%)	494.01sqm
Main Dwelling Minimum Front Setback	7.0m
Main Dwelling Northern Side Setback	4.50m
Main Dwelling Southern Setback	4.5m / 2.5m
Granny Flat Side Setback	2.425m
Granny Flat Rear Setback	6.0m
Office Studio Side Setback	1.5m / 2.00m
Office Studio Rear Setback	7.74m

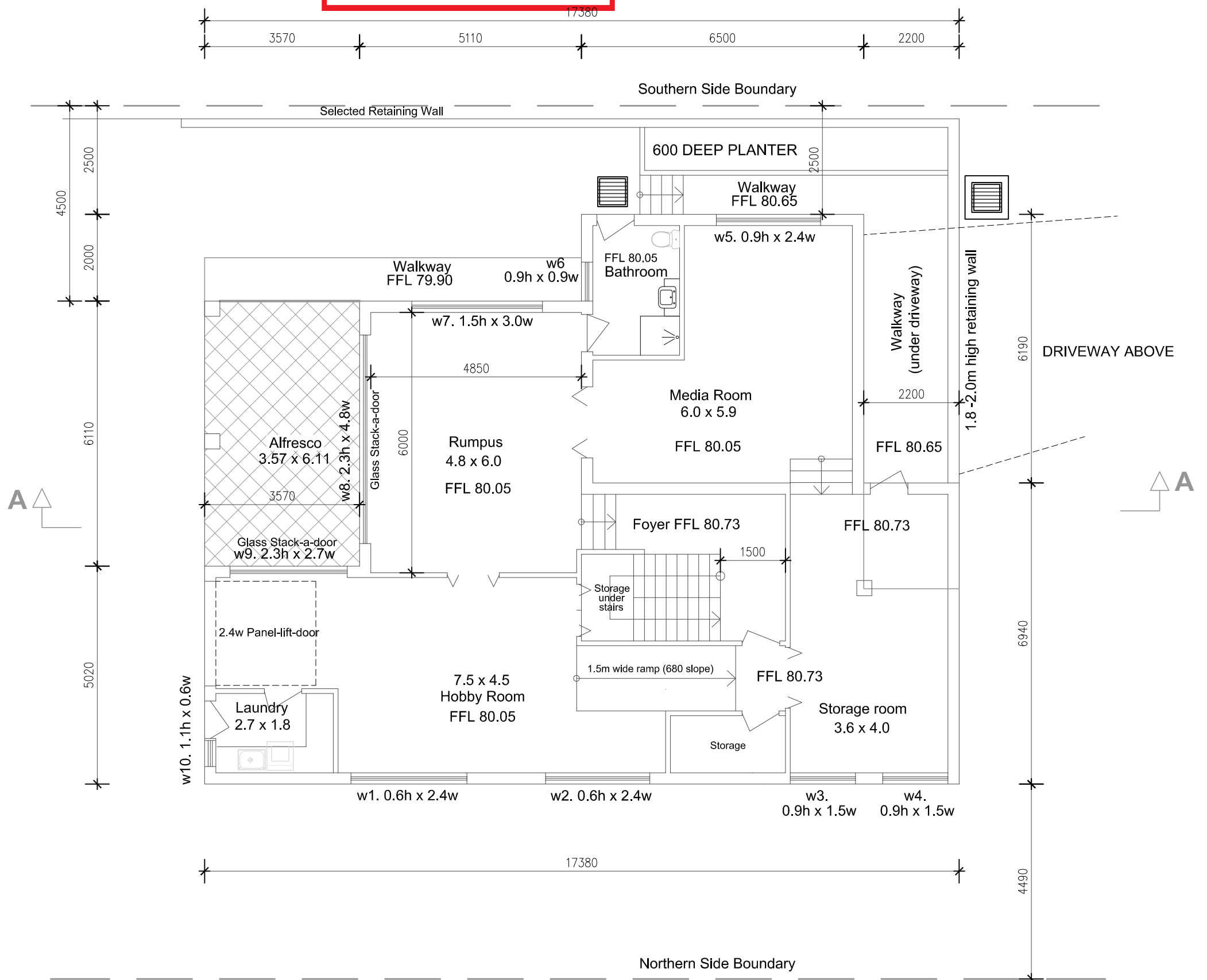
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sabton@optusnet.com.au
Mob: 0408 663 223
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MAIN DWELLING BOTTOM FLOOR PLAN

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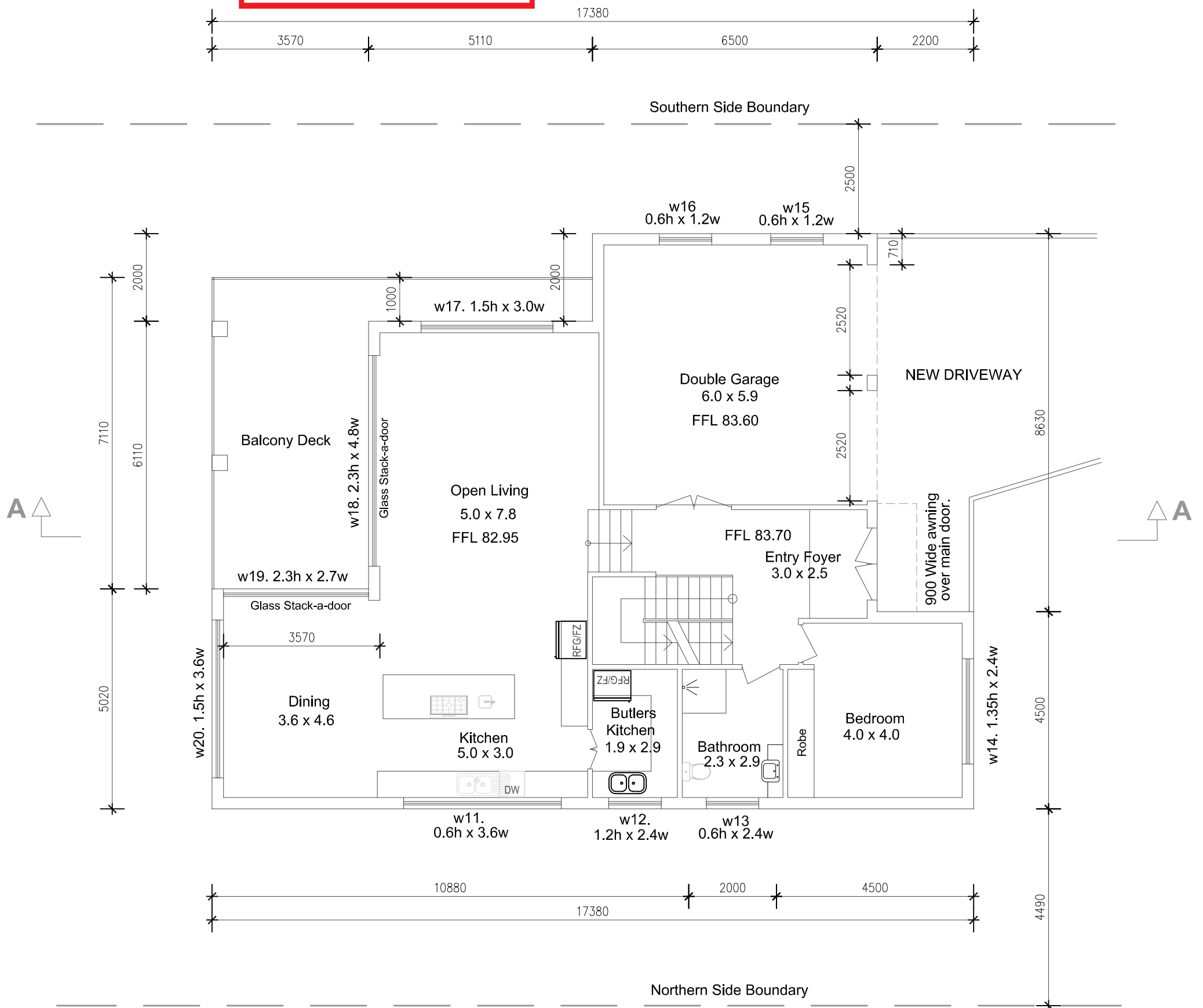
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MAIN DWELLING MIDDLE FLOOR PLAN

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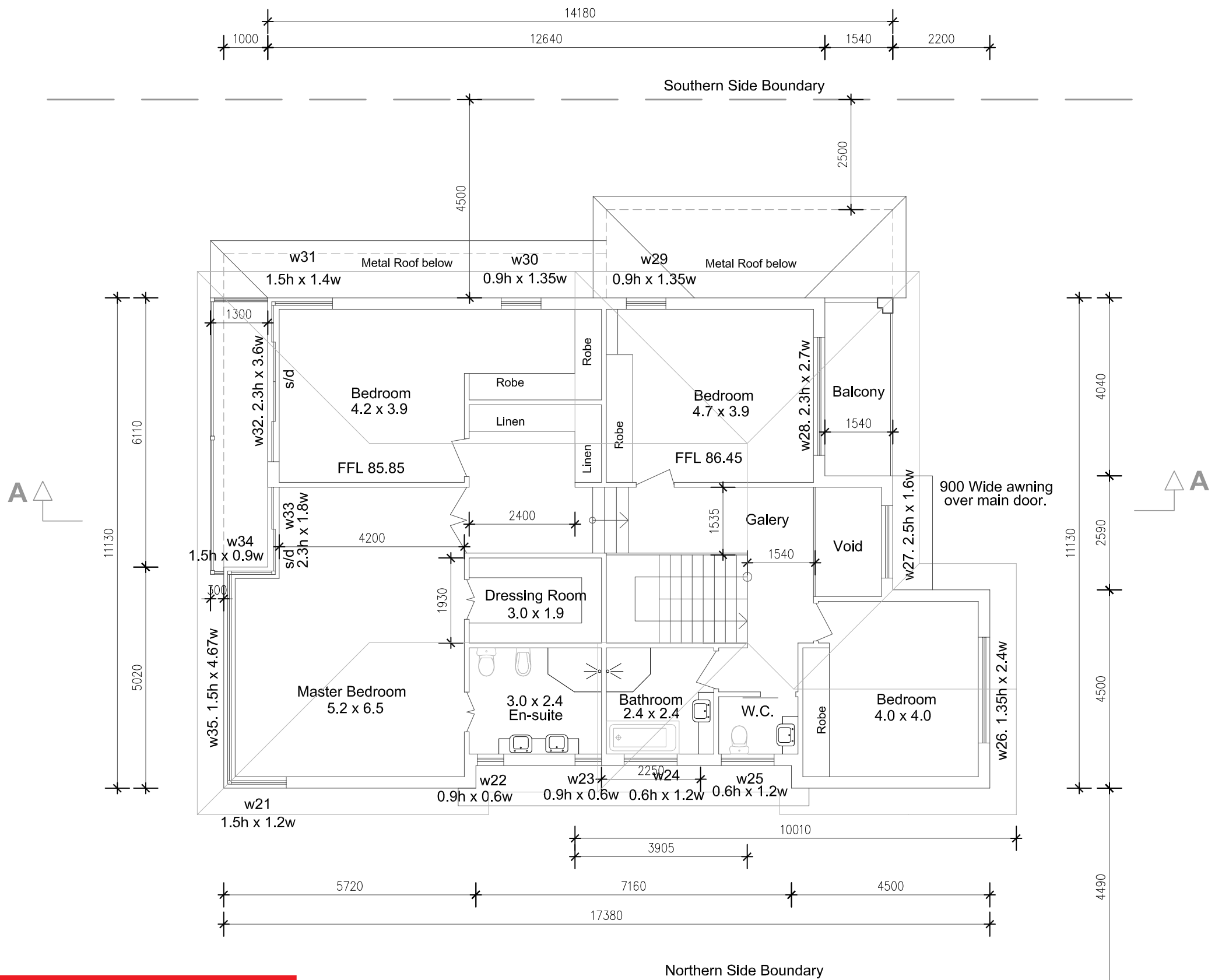
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MAIN DWELLING TOP FLOOR PLAN

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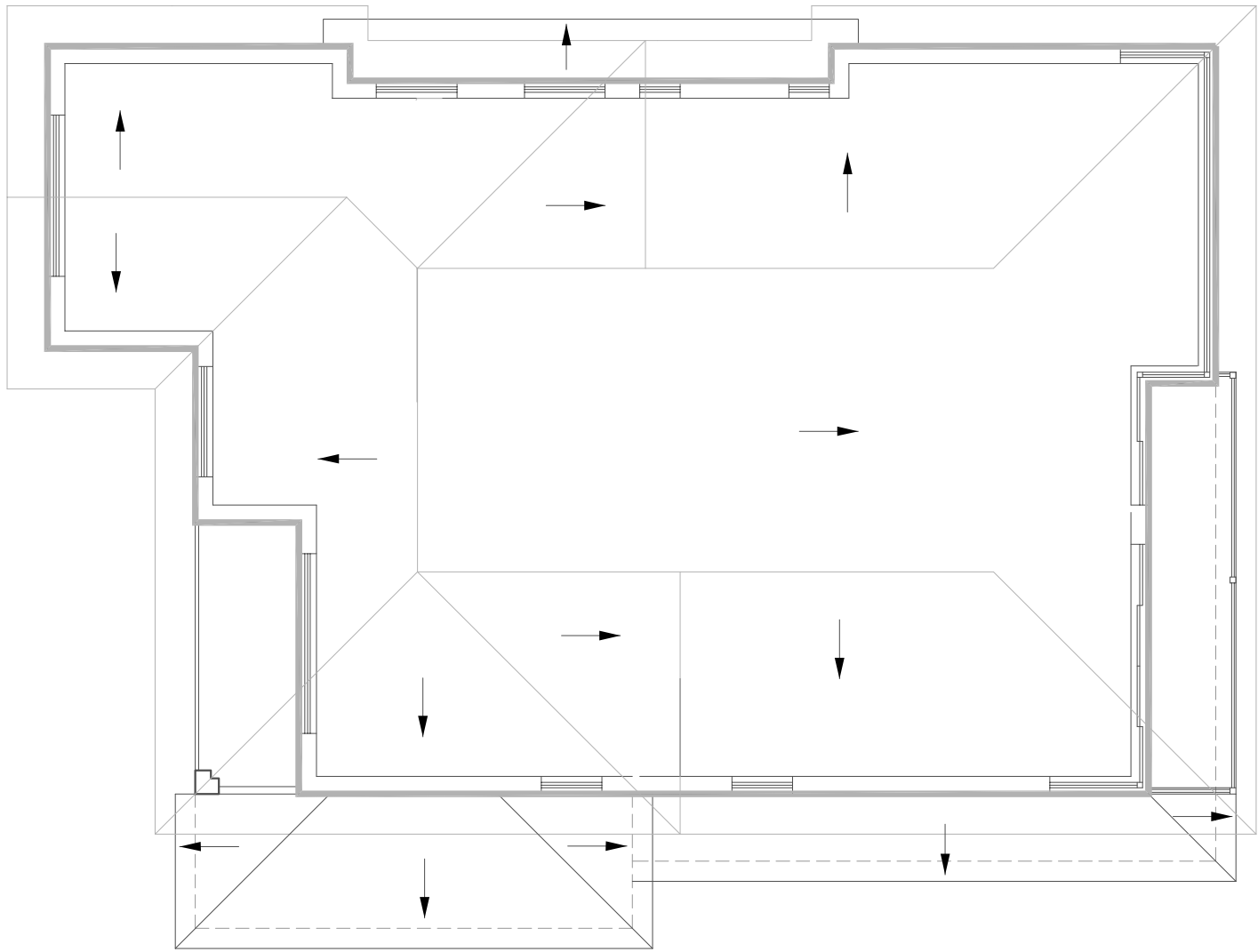
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MAIN DWELLING ROOF PLAN

DIRECTION OF ROOF FALL →



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PLASTER SET CEILINGS TO BOTTOM AND MIDDLE FLOORS

RENDER INTERNAL WALLS THROUGH OUT

SELECTED CUSTOM ORB COLORBOND ROOF LINING @ 14° PITCH

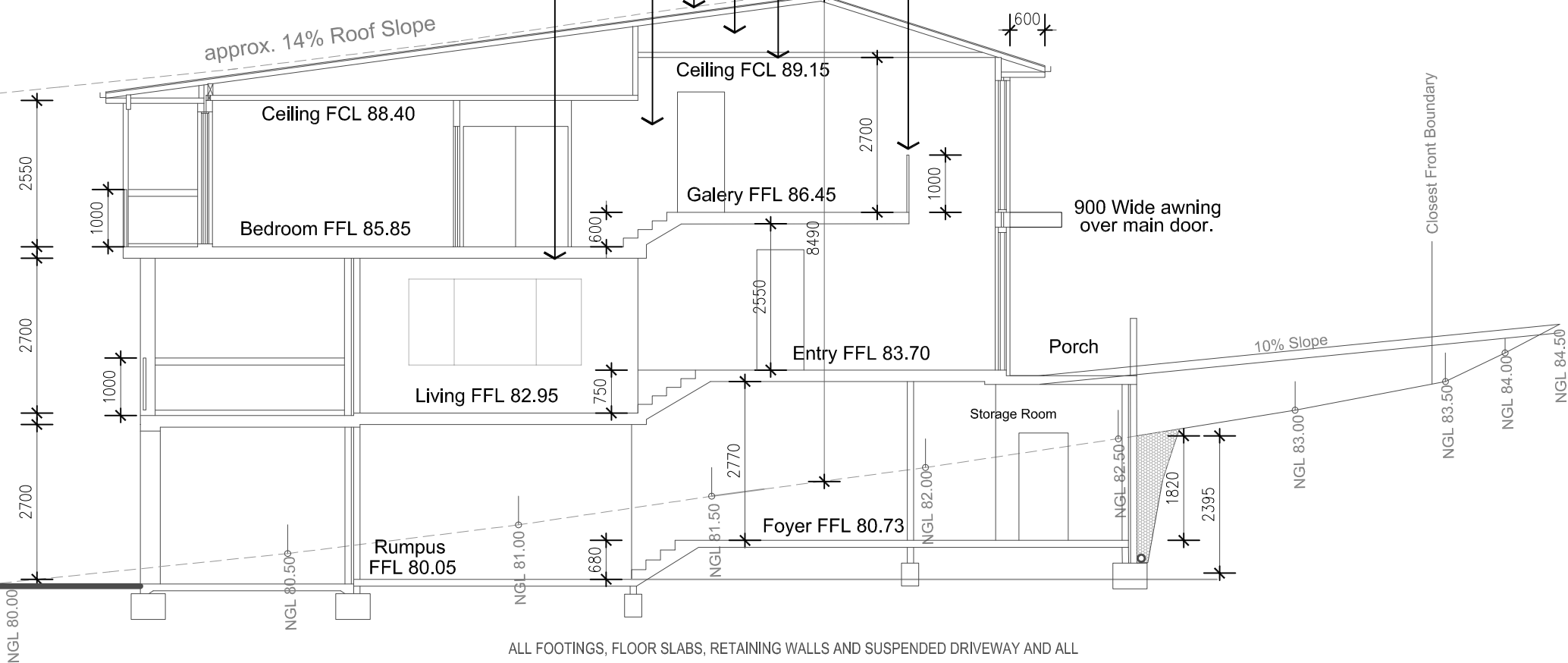
ALL ROOF TIMBERS AND SUPPORTS AS PER RELEVANT AUSTRALIAN STANDARDS

PLASTERBOARD LINING TO TOP FLOOR CEILINGS

SELECTED ALUM. FRAMED GLASS RAILING

8.5m Max. Height Limit

approx. 14% Roof Slope



ALL FOOTINGS, FLOOR SLABS, RETAINING WALLS AND SUSPENDED DRIVEWAY AND ALL STRUCTURAL SUPPORTS TO BE AS PER ENGINEERS DETAILS AND SPECIFICATIONS.

SECTION THROUGH A - A

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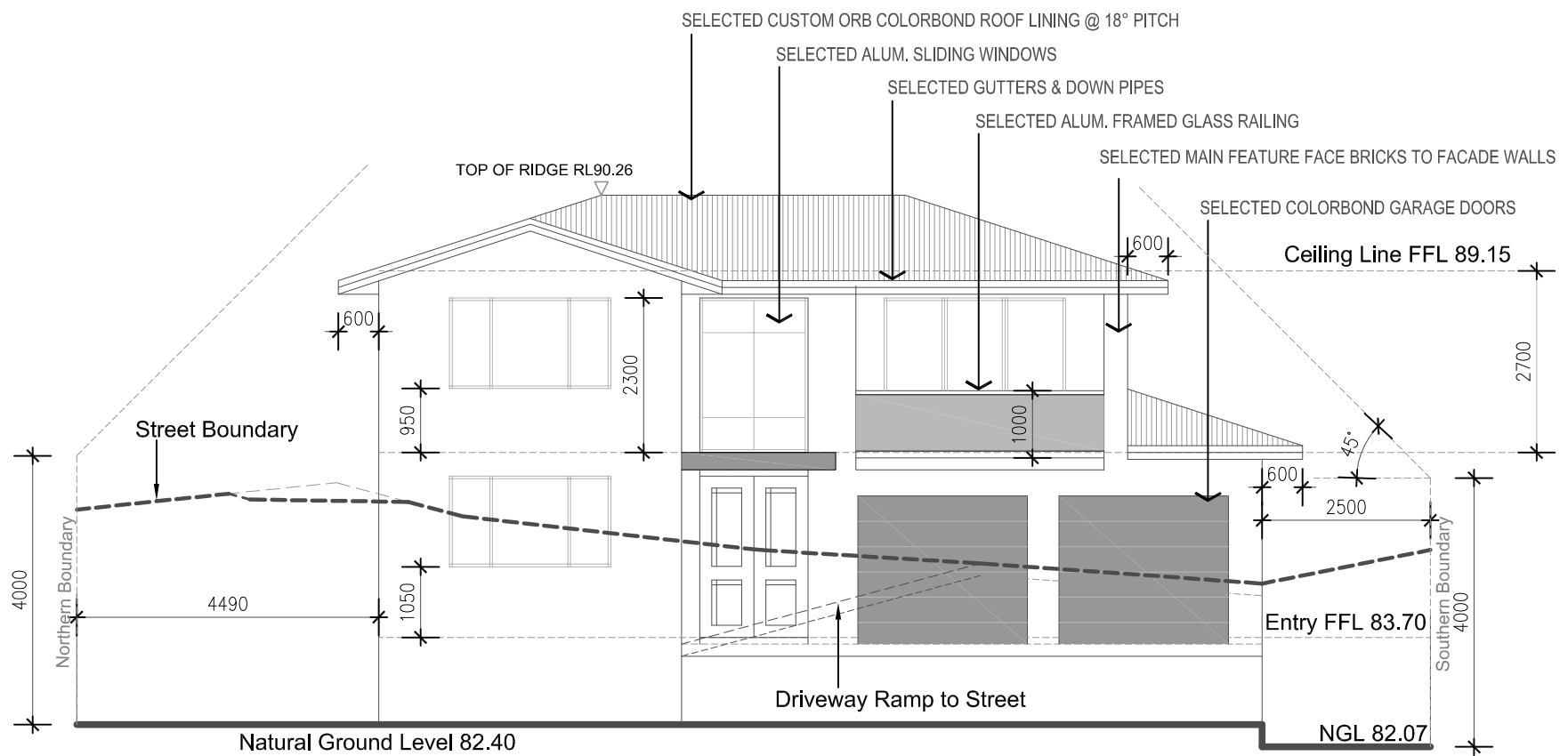


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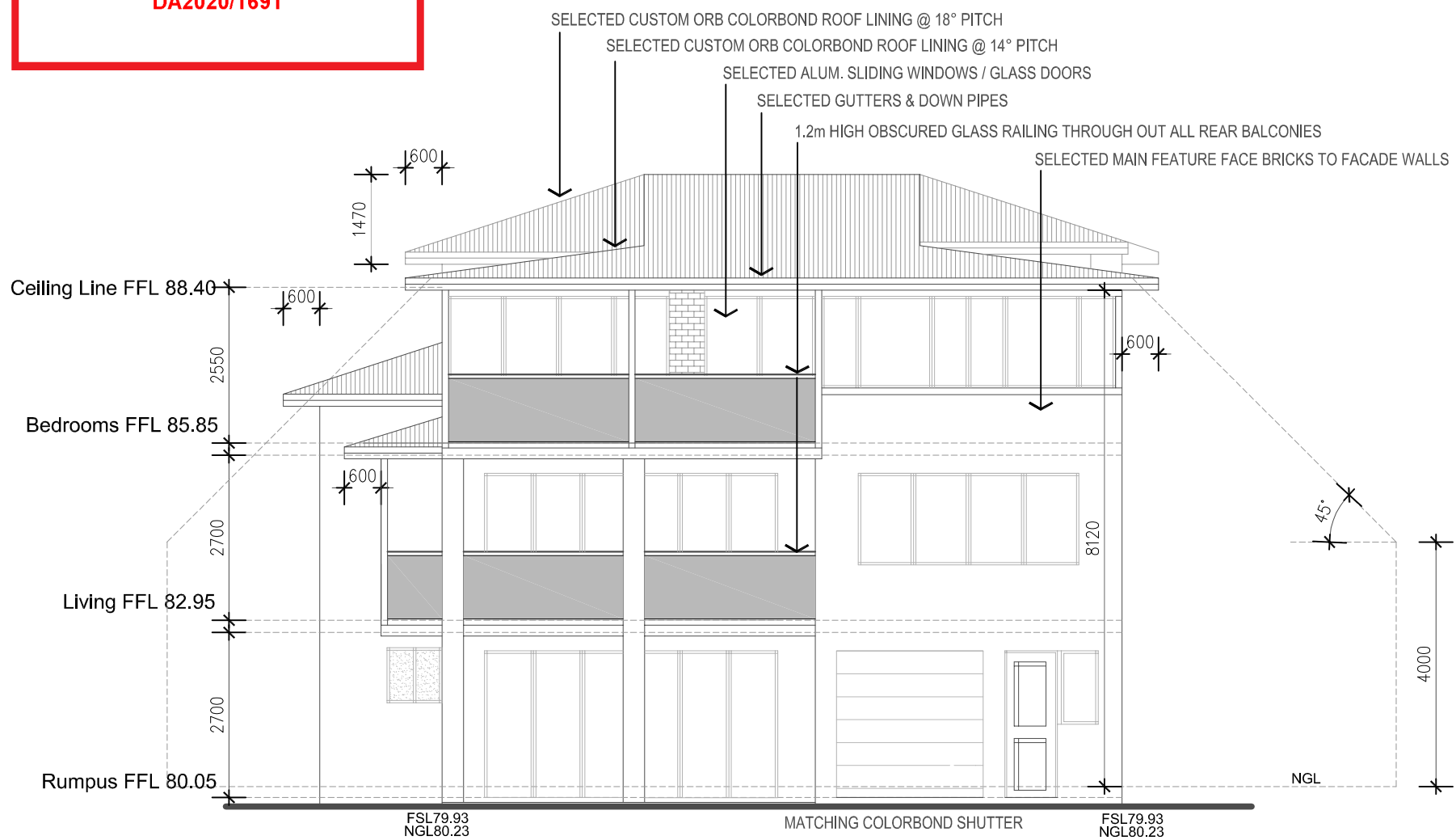


FRONT (WESTERN) ELEVATION



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REAR (EASTERN) ELEVATION

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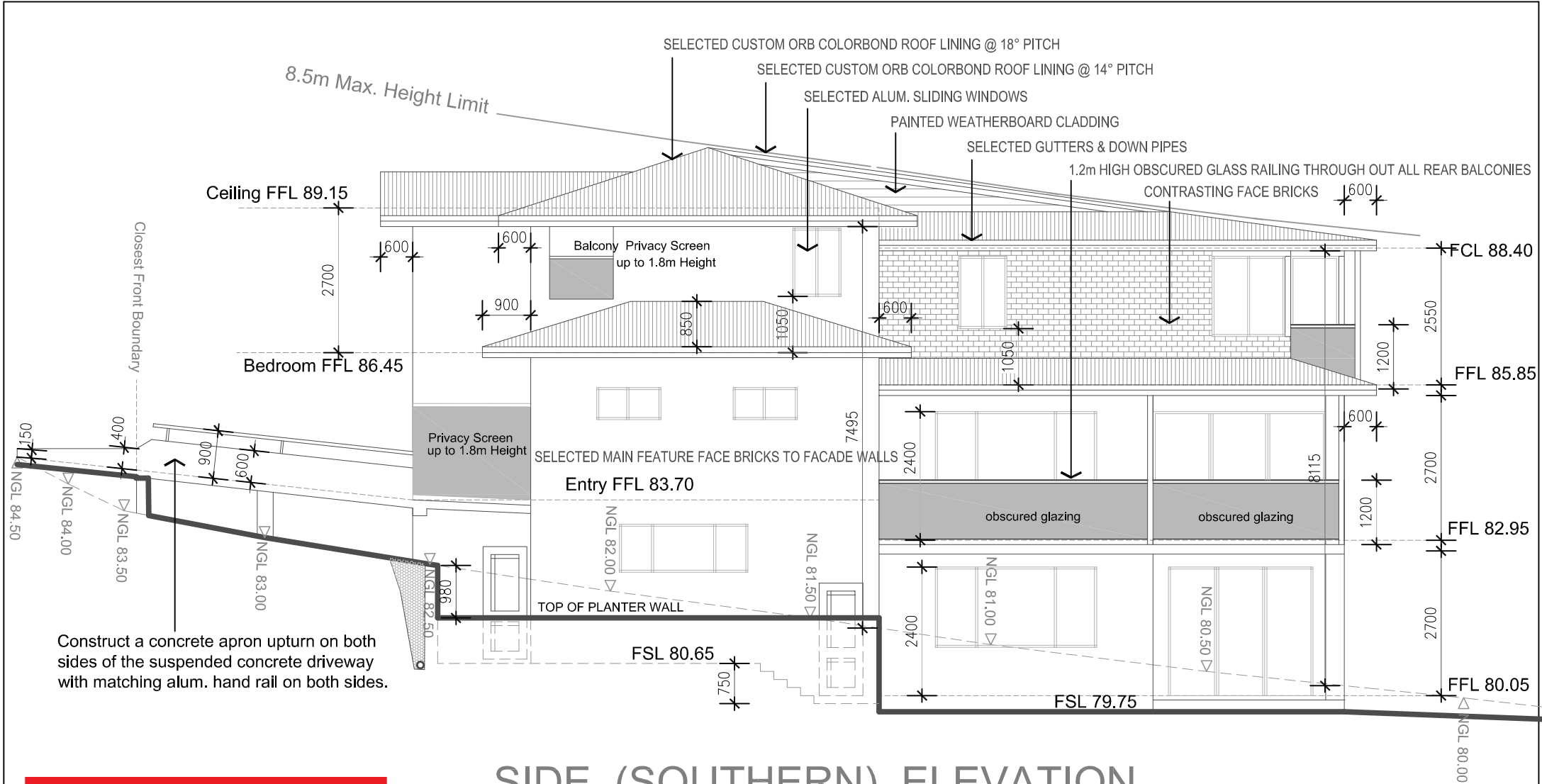
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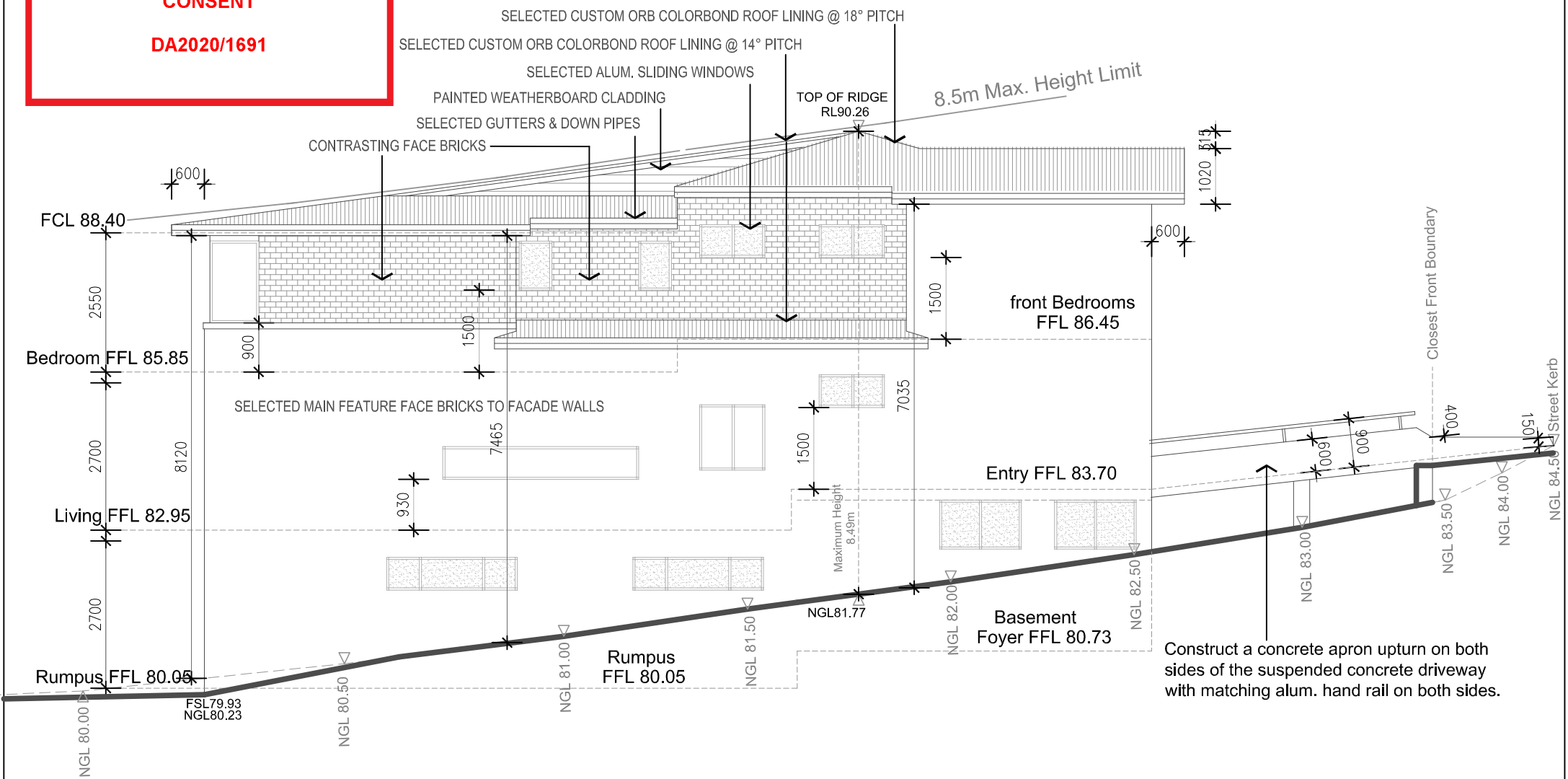


SIDE (SOUTHERN) ELEVATION

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SIDE (NORTHERN) ELEVATION

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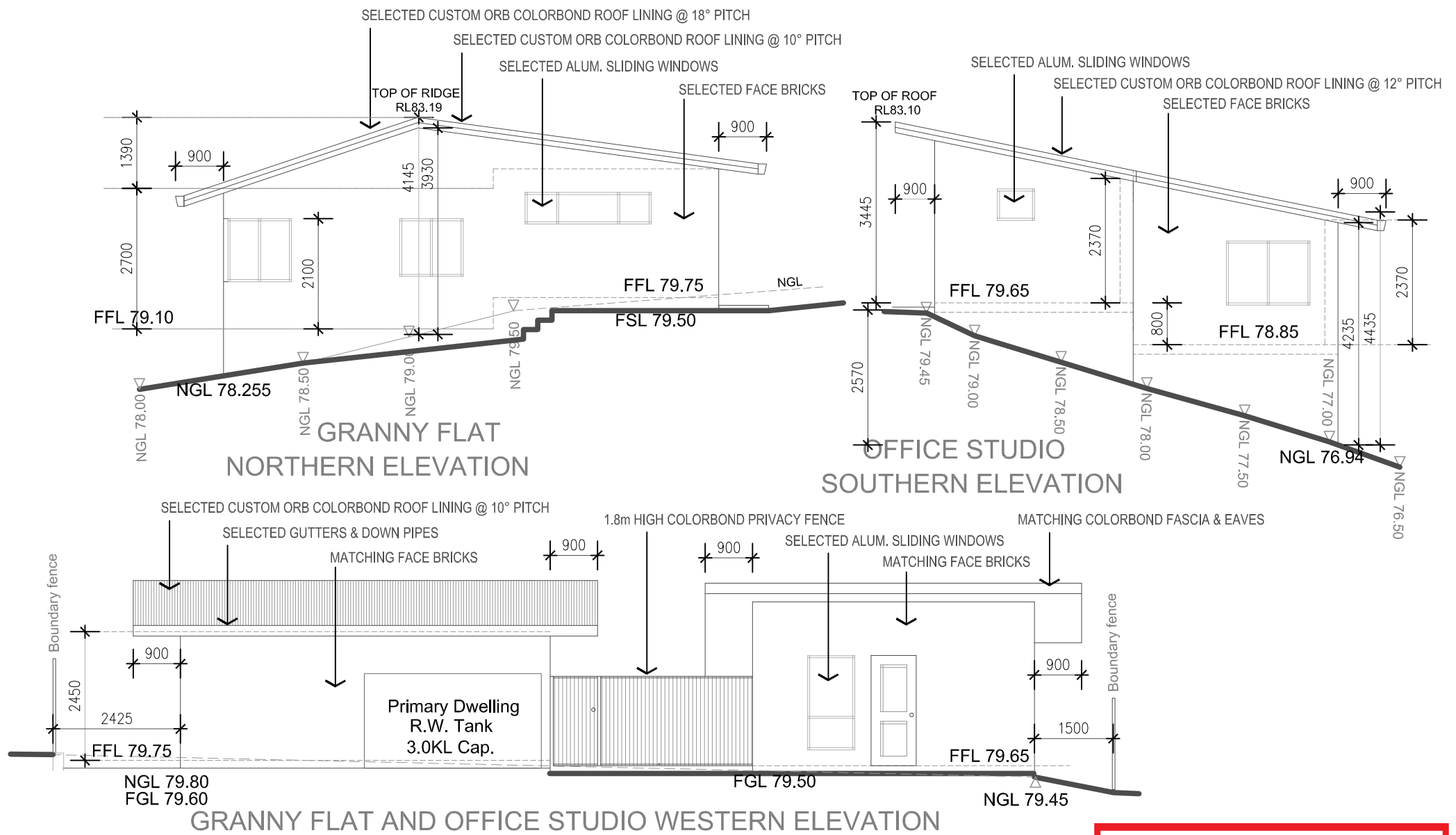
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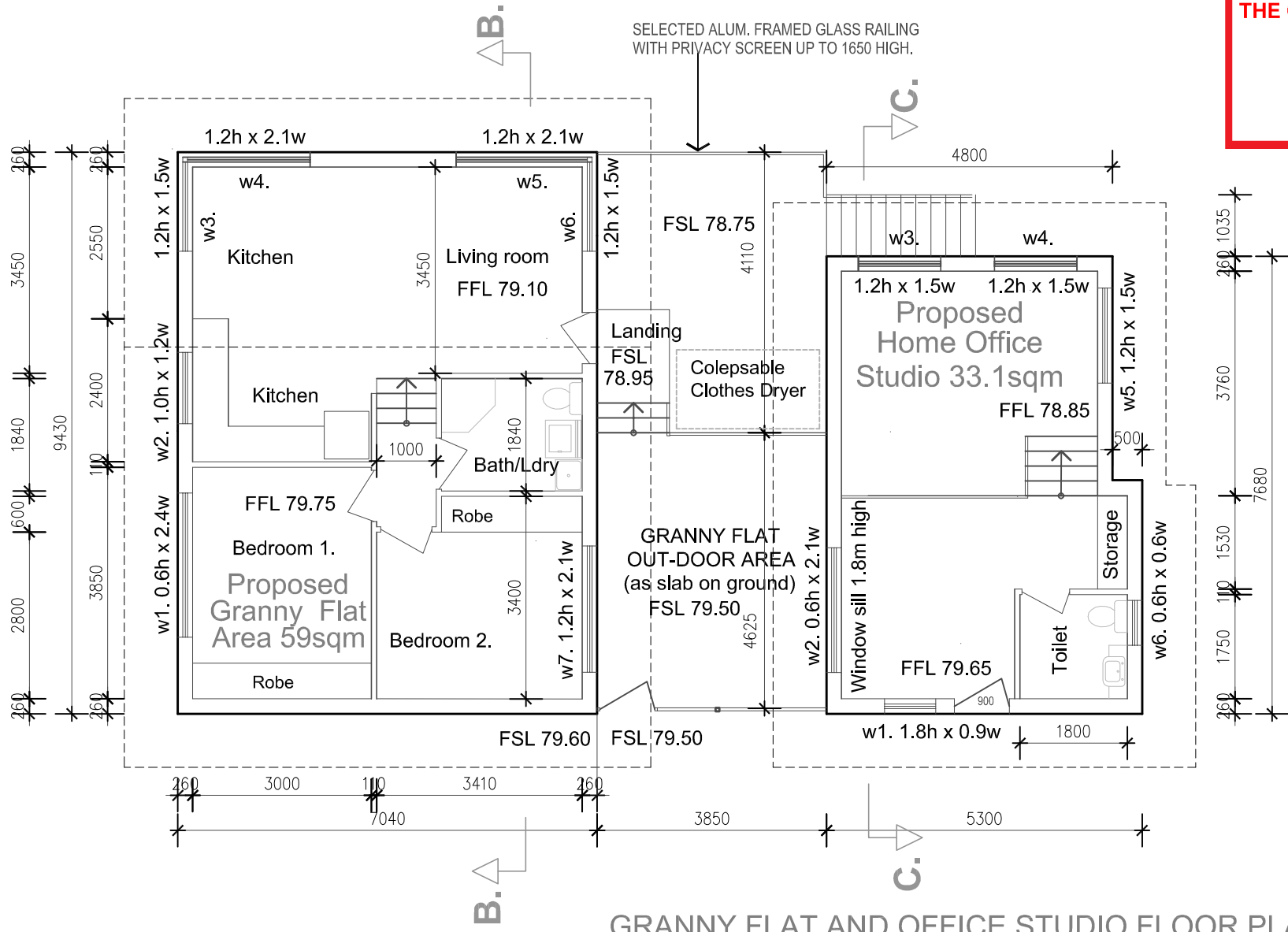
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GRANNY FLAT AND OFFICE STUDIO FLOOR PLAN

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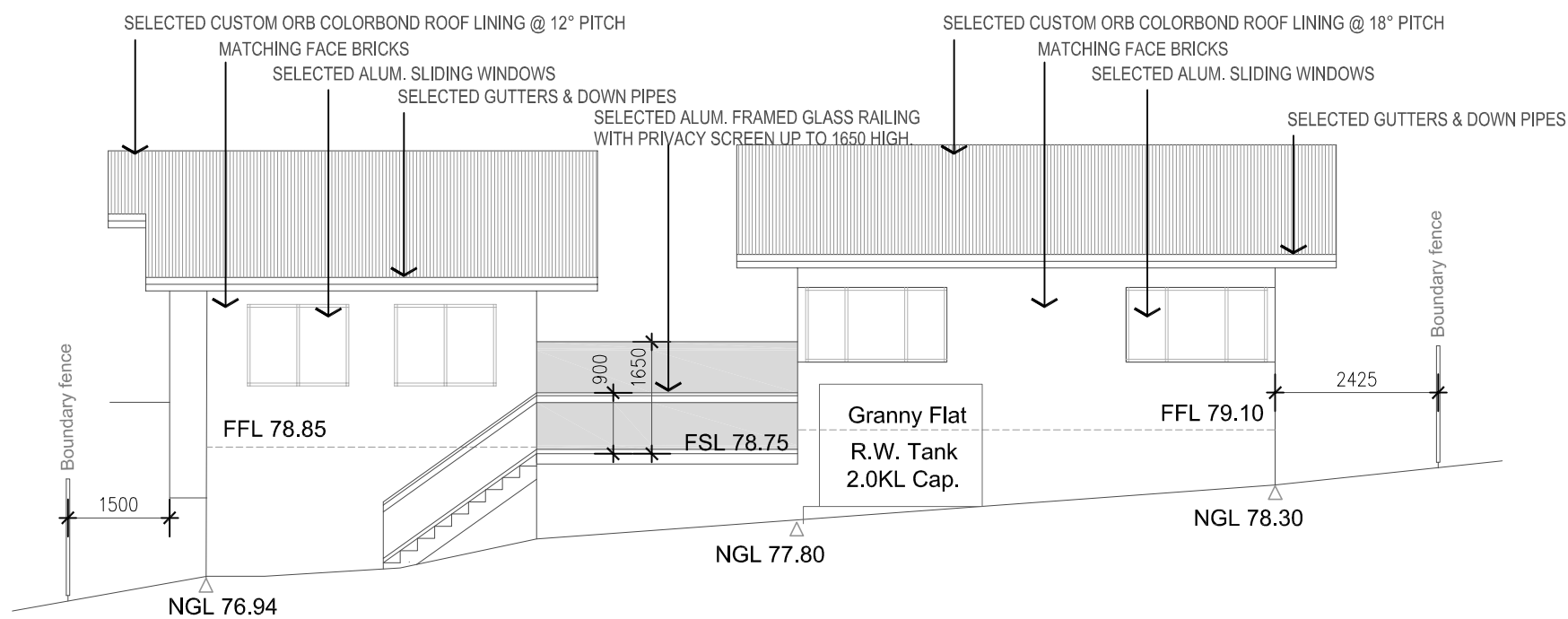
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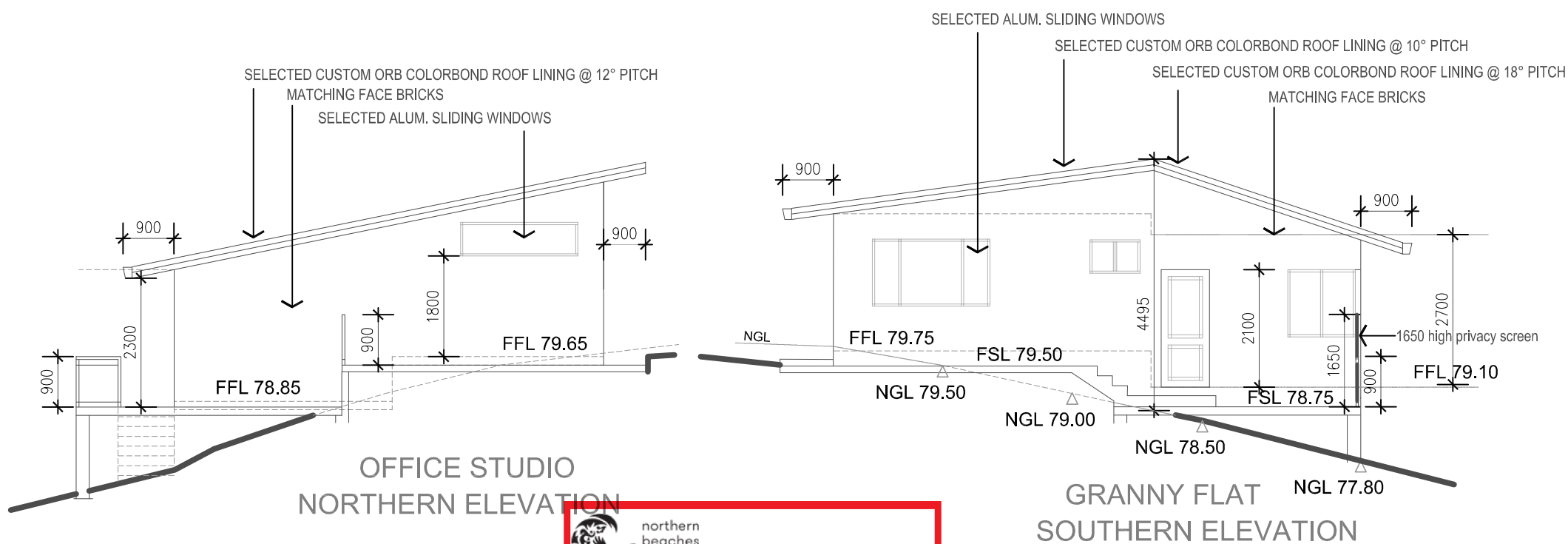
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OFFICE STUDIO AND GRANNY FLAT EASTERN ELEVATION



OFFICE STUDIO
NORTHERN ELEVATION

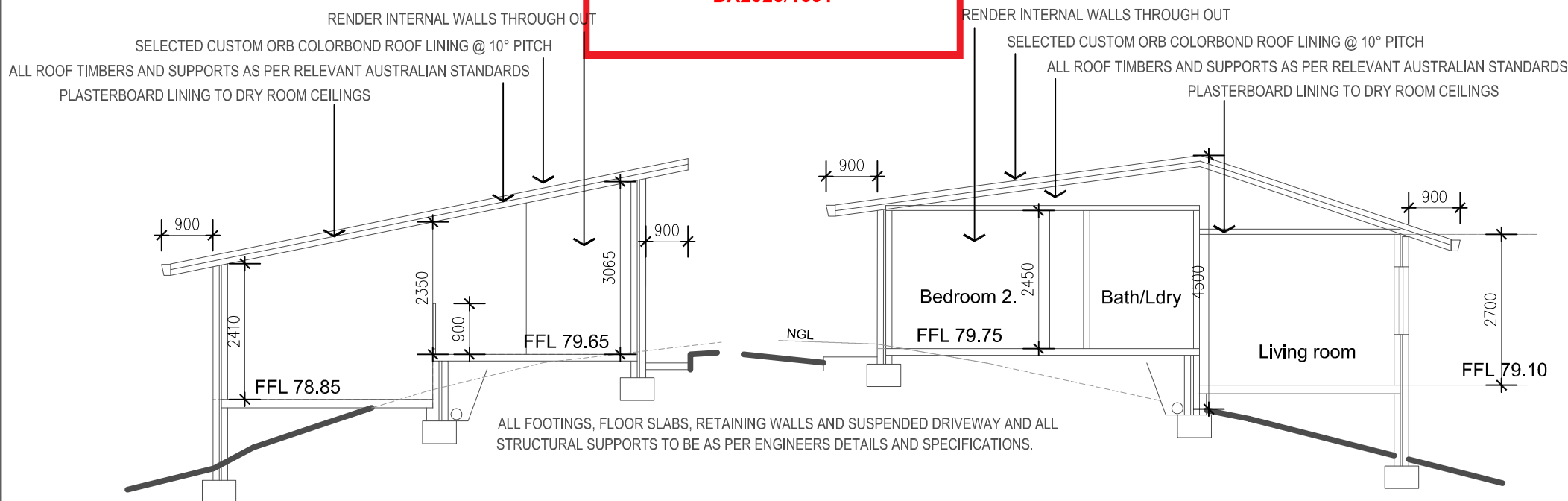
GRANNY FLAT
SOUTHERN ELEVATION



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OFFICE STUDIO
SECTION C - C

GRANNY FLAT
SECTION B - B

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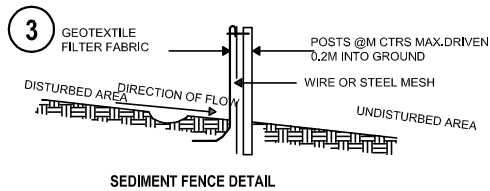
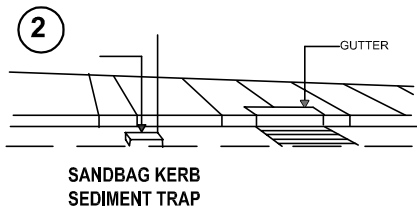
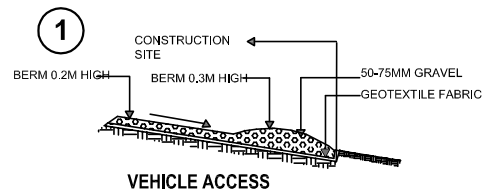
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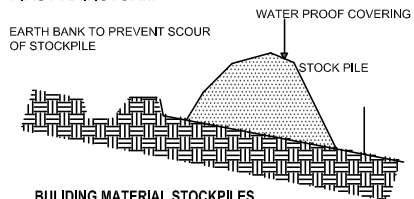
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EROSION AND SEDIMENT CONTROL DETAIL (NOT TO SCALE)

4 ALL STOCK PILES OF BUILDING MATERIALS SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



5 THE SITE IS TO BE SECURED WITH 1.8M HIGH CYCLON WIRE MESH WITH LOCKABLE GATES.

WORK METHOD STATEMENT:

THE SINGLE STOREY FIBRO AND METAL ROOF COTTAGE AND OTHER EXISTING STRUCTURES WILL BE DEMOLISHED MANUALLY AND REMOVED FROM THE SITE BY LICENCED PROFFESIONALS WHO WILLTRY TO MAXIMIZE SORTING AND RECYCLING ALL THE MATERIALS OF THE SITE. FOR MORE DETAILS SEE THE WASTE MANAGEMENT PLAN.

PROCEDURE OF DEMOLITION

The existing dwelling and all other existing structures will be demolished and removed from the site in accordance with the Council's Demolition Code and with AS 2601 - 2001

All the quantity of asbestos found on the site will be removed manually by wet method, as required under the Worker and Safety Regulations to Australian Standards2601-2001& EPA wrapped with thick plasticand placed in a dedicated bin. The bin will be securely sealed and tipped. The employees are required to wear protective garments and masks for hazardous materials.

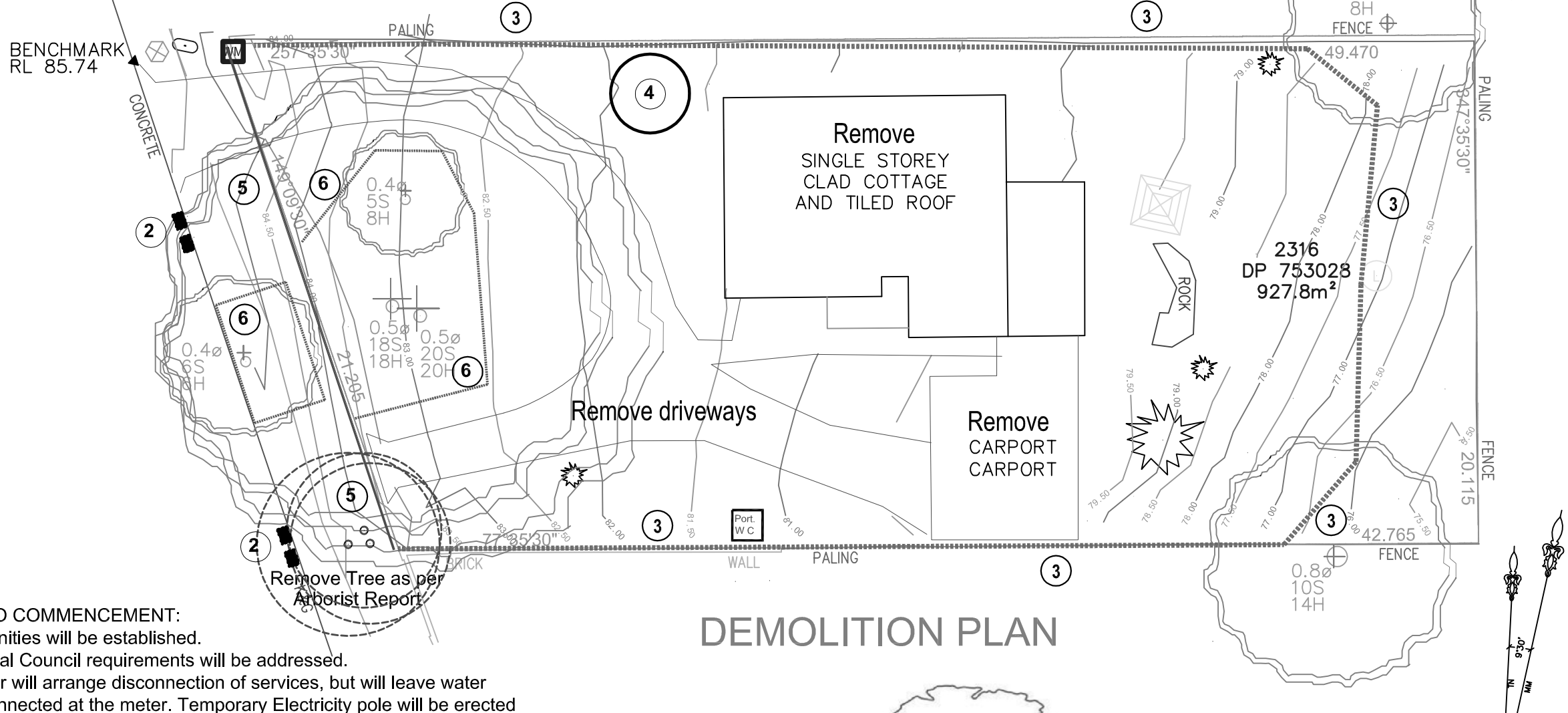
Employees shall be permitted to work only from a safe and serviceable platform.

The roof will be removed manually and action will be taken to prevent materials from falling from above.

Demolished materials will be removed progressively and shall not be allowed to accumulate and present a hazard to the public or the workers on the site.

The brick base will be loosened by a small 12 ton excavator and cleaned manually for reuse in the new development.

BENCHMARK
RL 85.74



DEMOLITION PLAN

Environmental Effects and Requirements;

All the work shall be supervised by a competent person.

Operation hours on weekdays 7.30am till 3.30pm

Saturdays 8.00am till 1.00 pm.

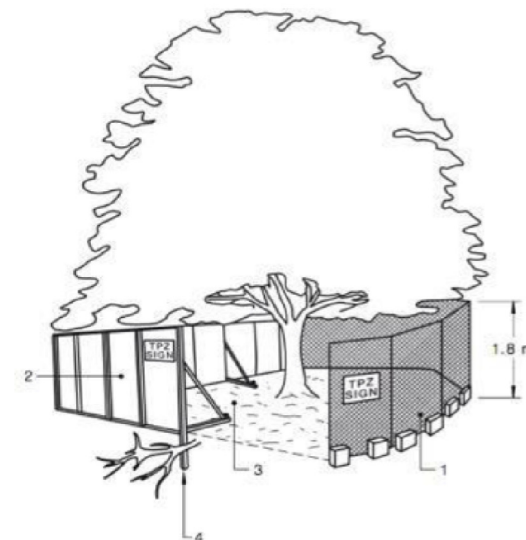
Safety fence with lockable gates and safety signs will be erected around the premises.

Dust will be minimized by the use of water spraying where and when necessary.

Noise will be minimized paricularly in the morning hours.

nose from the construction/ demolition associated with the development shall comply to the NSW Environmental operations act 1997.

Neighbours will be protected from any works associated with the demolition and or construction of the development.



6

TREE PROTECTION LEGEND:
1. CHAIN WIRE MESH HELD IN PLACE WITH CONCRETE FEET
2. ALTERNATIVE PLYWOOD PANELS CAN BE USED WITHIN THE TPZ
3. NO EXCAVATION, NO GRADE CHANGE OR STORAGE OF ANY KIND OF MATERIALS WITHIN THE TPZ.
4. BRACING IS PERMITTED WITHIN THE TPZ BUT SHOULD AVOID ANY ROOTS DAMAGE



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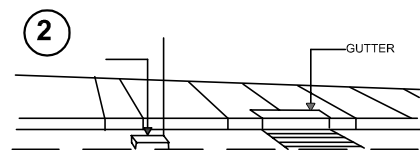
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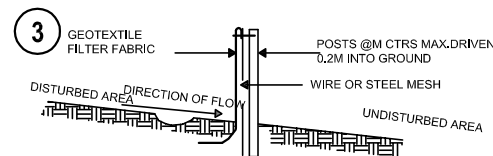
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**SANDBAG KERR
SEDIMENT TRAP**

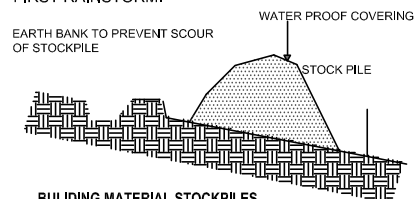


SEDIMENT FENCE DETAIL

EROSION AND SEDIMENT CONTROL DETAIL (NOT TO SCALE)

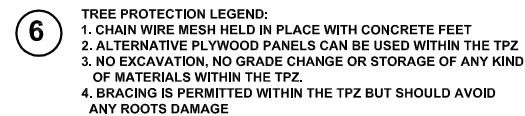
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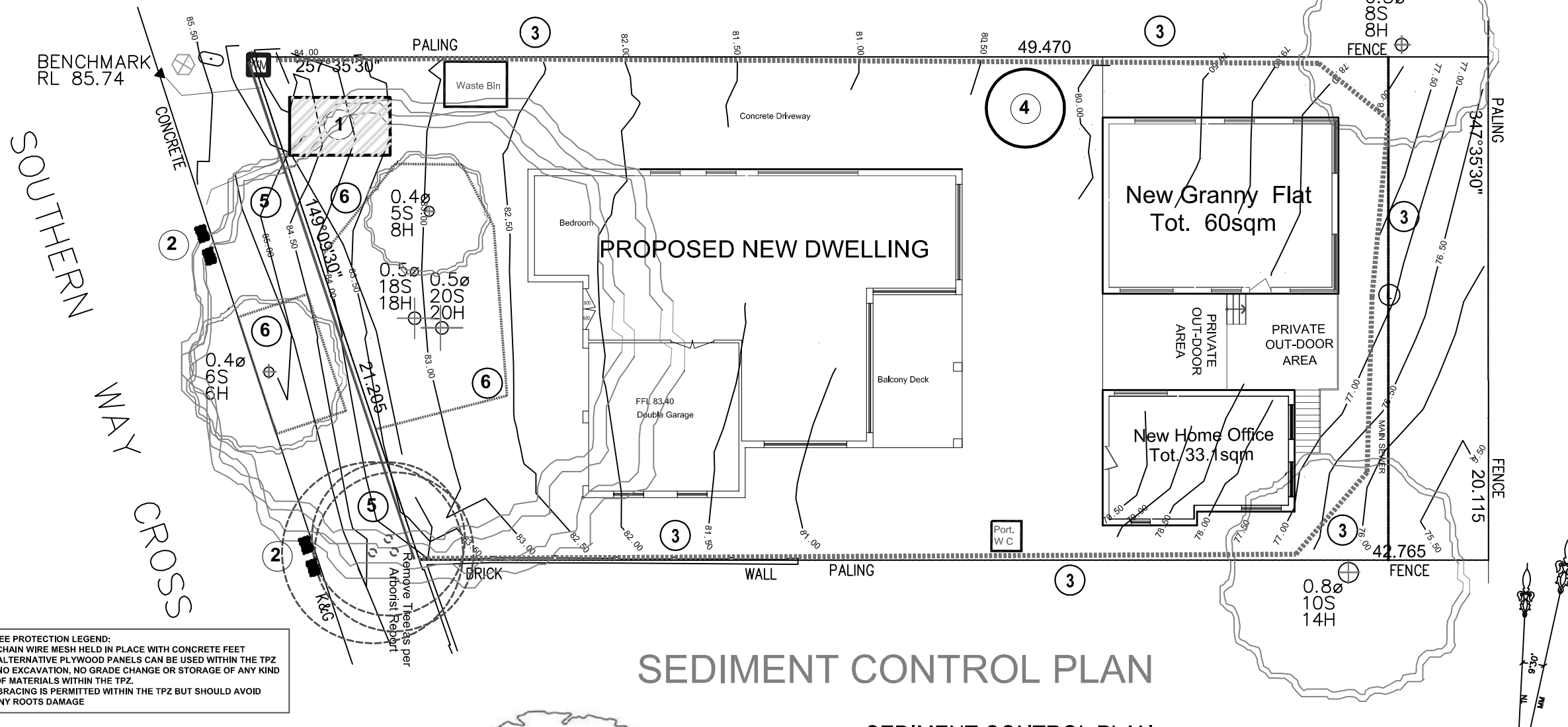


BUILDING MATERIAL STOCKPILES

- 5 THE SITE IS TO BE SECURED WITH 1.8M HIGH CYCLON WIRE MESH WITH LOCKABLE GATES.

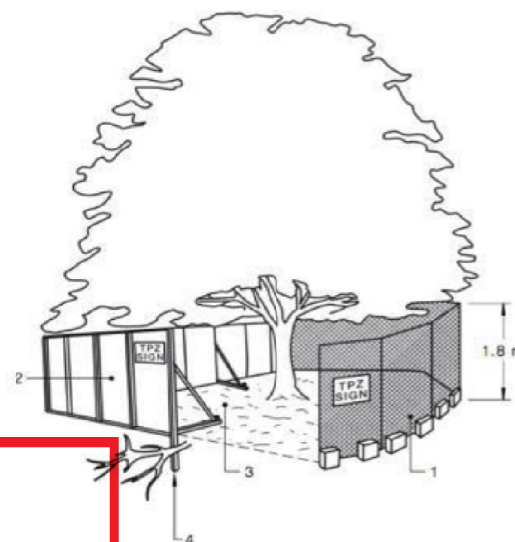


1. Retain all existing grass cover wherever possible.
2. It is the responsibility of the contractor to ensure that all measures are taken during the course of construction to prevent sediment erosion and pollution of the downstream system. Supervising engineer should be contacted if in doubt
3. Stockpiles of loose materials such as sand, soil, gravel must be covered with geotextile silt fence material. Plastic sheeting or membrane must not be used. Safety barricading should be used to isolate stockpiles of solid material such as steel, reinforcing, framework, scaffolding
4. All sediment deposited on the public way, including footpath reserve and road surface, is to be removed immediately
5. Waste material are to be stockpiled or loaded into skip bins located as shown on plan
6. Provide barriers around all construction works within the footpath to ensure safe access for pedestrians /where applicable/
7. Delivery vehicles must not stand within the public roadway for more than 20 minutes at the time
8. Any excavation work adjacent to adjoining properties or the public roadway is not to be commenced until the structural engineer is consulted and specific instructions received from the engineer.
9. Toilet facility must be a flushing or approved portable chemical closet. Chemical closets are to be maintained and serviced on a regular basis so that offensive odour is not emitted.



SEDIMENT CONTROL PLAN

1. The builder is at all times required to control erosion sediment and stormwater flows to the satisfaction of Local Shire Council & in accordance with council's soil and water management policy.
2. All erosion and sediment control measures are to be inspected & maintained daily by site manager especially cleaning debris / sediment off filter fence and sediment trap to soakage pit.
3. Minimise disturbed areas where possible.
4. All stockpiles to be clear of drains, gutters and footpaths.
5. Drainage is to be connected to stormwater system as soon as possible
6. Discharge of water from the site is to be in accordance with the council requirement



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1691

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.

ALL WORK TO BE DONE IN TRADESPERSON MANNER AND SHALL COMPLY IN ALL RESPECTS WITH LOCAL GOVERNMENT REQUIREMENTS, RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND INDUSTRY TRADE PRACTICE.

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PROJECT
Proposed Demolition of Existing Structures
and Erecting a New Dwelling, Granny Flat
and a Home Office Studio.

A	ISSUED FOR DA APPLICATION	OCT. 2022

ADDRESS
4 Southern Cress Way
Allambie Heights NSW

CLIENT
Mr. Chris....

DRAWN AJ	SCALE 1:200	DATE 2020101
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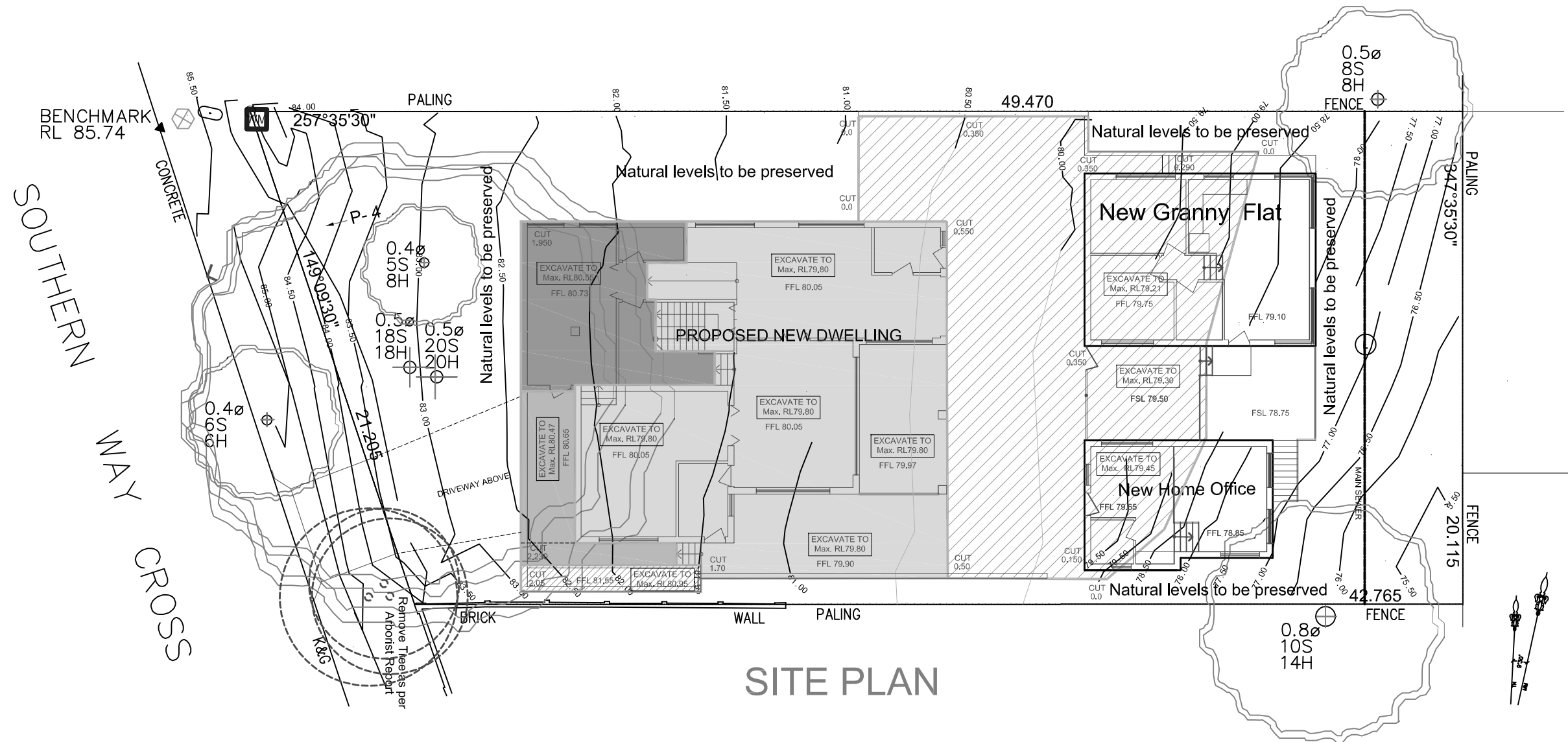
BUILDING DESIGNERS AND ENGINEERS

sabtonandson@gmail.com

sabton@optusnet.com.au

Mob: 0408 663 223

Tel: (612) 4567 2002



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1691

EXCAVATION AND FILL PLAN

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF THE WORKS.

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PROJECT
Proposed Demolition of Existing Structures and Erecting a New Dwelling, Granny Flat and a Home Office Studio.

A	Stormwater Concept Plan
	Oct. 20

ADDRESS
4 Southern Cross Way
Allambie Heights NSW

CLIENT
Mr. Chris Jaczak

DRAWN AJ	SCALE 1:200	DATE 20201010
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SABTON & SON

BUILDING DESIGNERS and STRUCTURAL & HYDRO ENGINEERS

sabton@optusnet.com.au
Mob: 0408 663 223
Tel: (612) 4567 2002

SCHEDULE OF FINISHES

Main Dwelling, Granny Flat & Studio

For: 4 Southern Cross Way Allambie Heights NSW

External Walls

Austral – Orpheus (or similar)



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT**

DA2020/1691

Windows and Sliding Doors

Aluminium frame- Mid Grey

Garage doors

Garage Doors- Surf Mist



Guttering & Down Pipes

Colorbond – Mid Grey

Driveway area

Stencil Crete - Dark Grey or Charcoal

Metal Roof

Custom Orb – Bushland Grey or Mid Grey



These materials and colours are to be constructed as specified or similar chosen by the client