

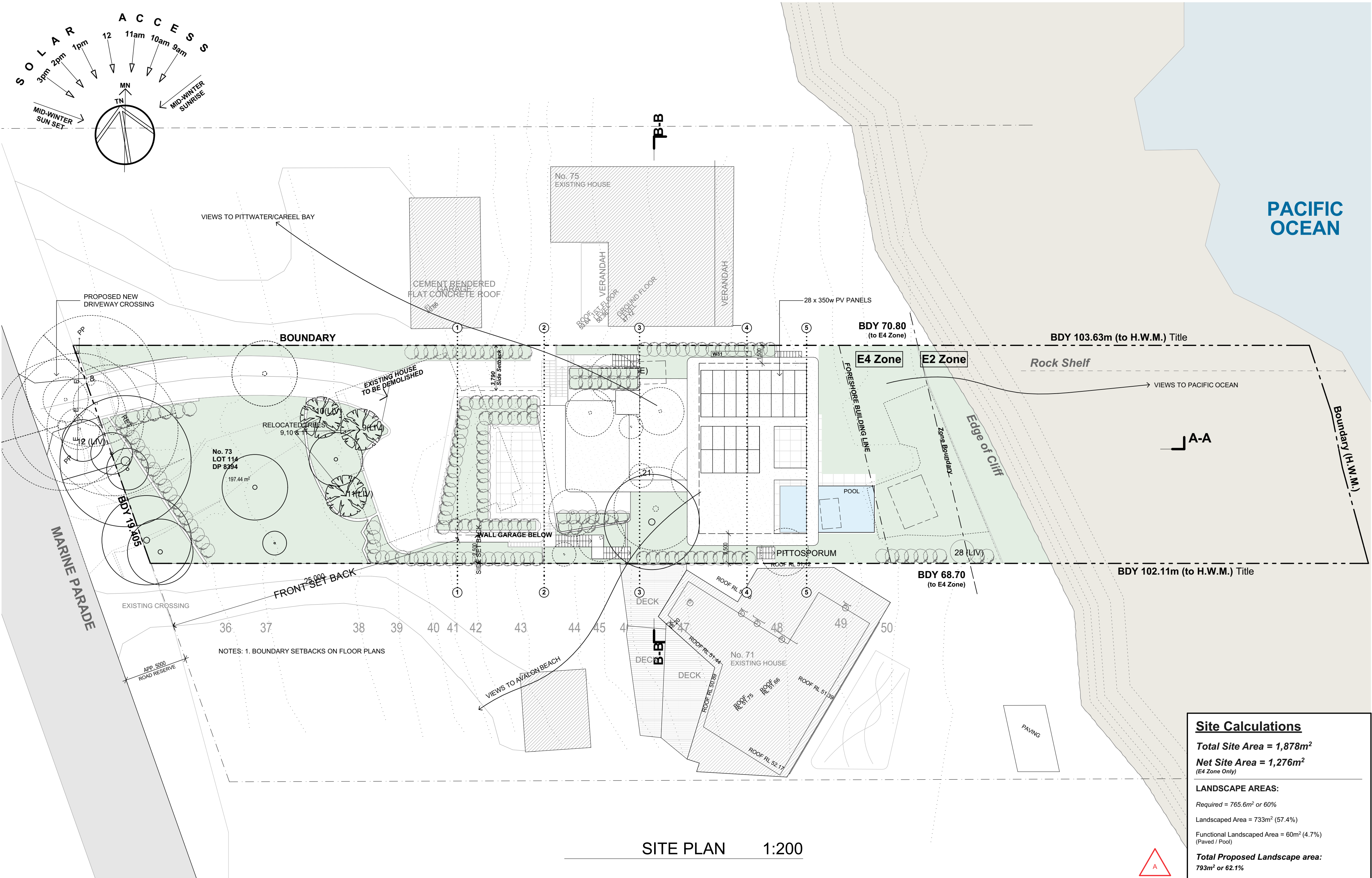
DEVELOPMENT APPLICATION

NEW HOUSE + POOL

73 MARINE PARADE, AVALON BEACH

DRAWING LIST	
DWG No:	Drawing Name
A-00	COVER SHEET
A-01	SITE PLAN + SITE ANALYSIS
A-02	GARAGE + ENTRY
A-03	LOWER LEVEL PLAN
A-04	MID LEVEL PLAN
A-05	UPPER LEVEL PLAN
A-06	NORTH + SOUTH ELEVATION
A-07	EAST + WEST ELEVATION
A-08	SECTIONS A + B
A-09	SHADOW DIAGRAMS





Site Calculations

Total Site Area = 1,878m²

Net Site Area = 1,276m²
(E4 Zone Only)

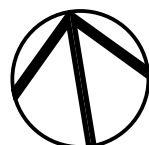
LANDSCAPE AREAS:

Required = 765.6m² or 60%

Landscaped Area = 733m² (57.4%)

Functional Landscaped Area = 60m² (4.7%)
(Paved / Pool)

Total Proposed Landscape area:
793m² or 62.1%



DATE	REV	DESCRIPTION
25/01/2022	A	DEVELOPMENT APPLICATION

PROJECT
NEW HOUSE
73 MARINE PARADE, AVALON BEACH
LOT 114, DP 8394

FOR COURTNEY FAMILY

DRAWING TITLE
SITE PLAN + SITE ANALYSIS

PROJECT NO.
2105

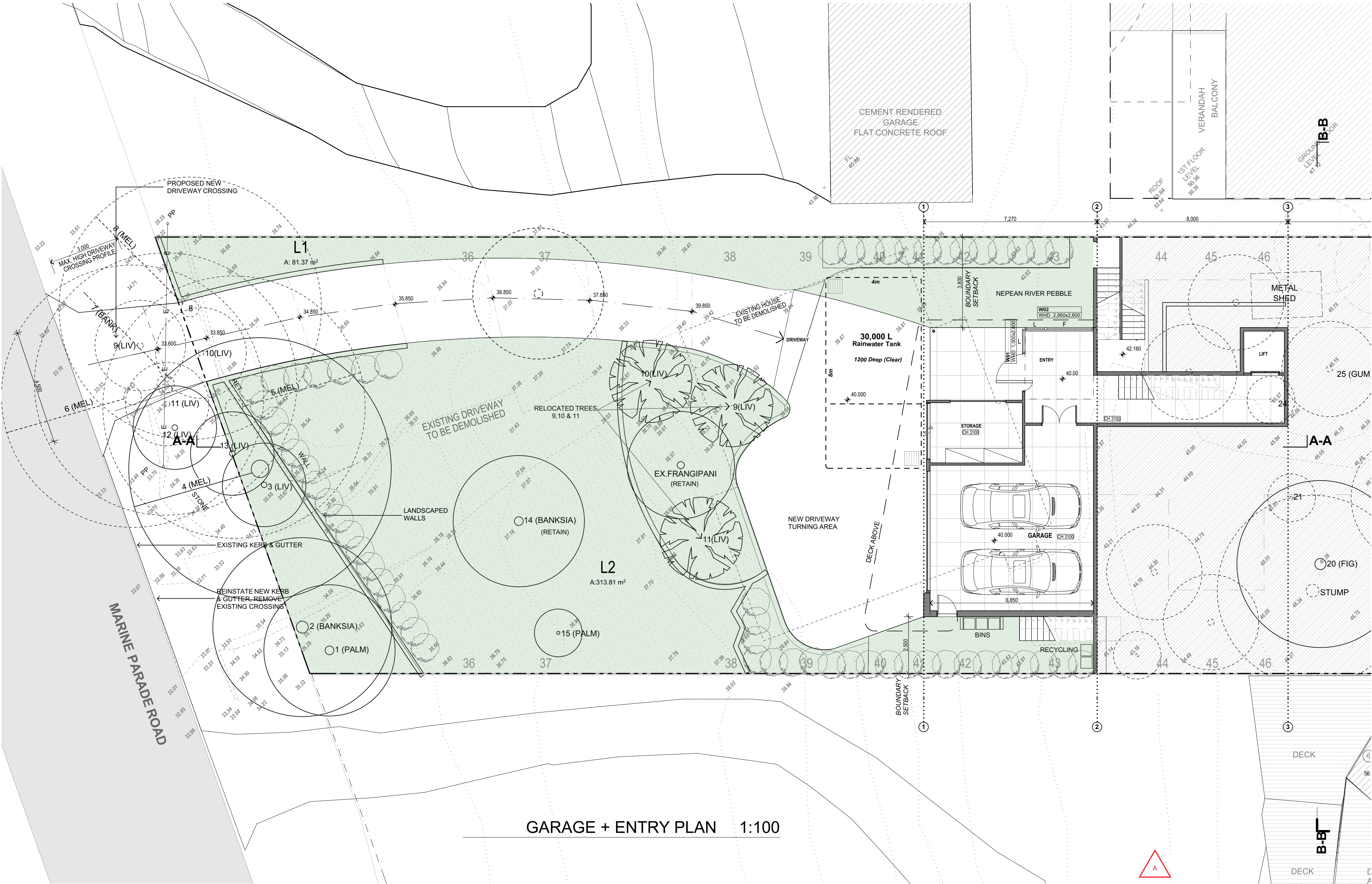
SCALE
1:200 @ A2

DRAWN BY
SG / AB

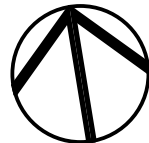
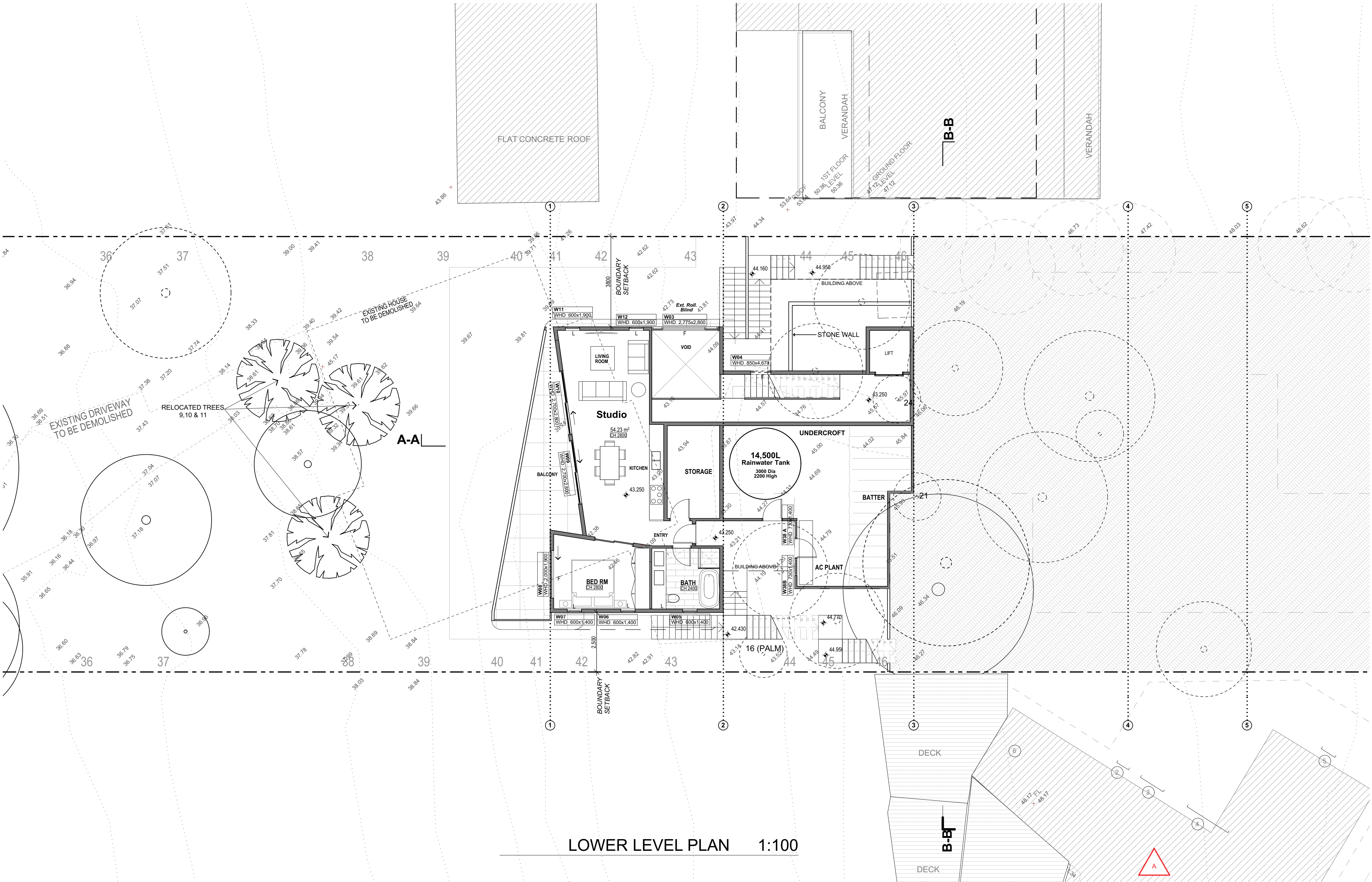
DRAWING NO.
A-01

PLOT DATE
25/01/2022

REVISION
A



GARAGE + ENTRY PLAN 1:100



DATE	REV	DESCRIPTION
25/01/2022	A	DEVELOPMENT APPLICATION

PROJECT
NEW HOUSE
73 MARINE PARADE, AVALON BEACH
LOT 114, DP 8394

FOR COURTNEY FAMILY

DRAWING TITLE
LOWER LEVEL PLAN

PROJECT NO.
2105

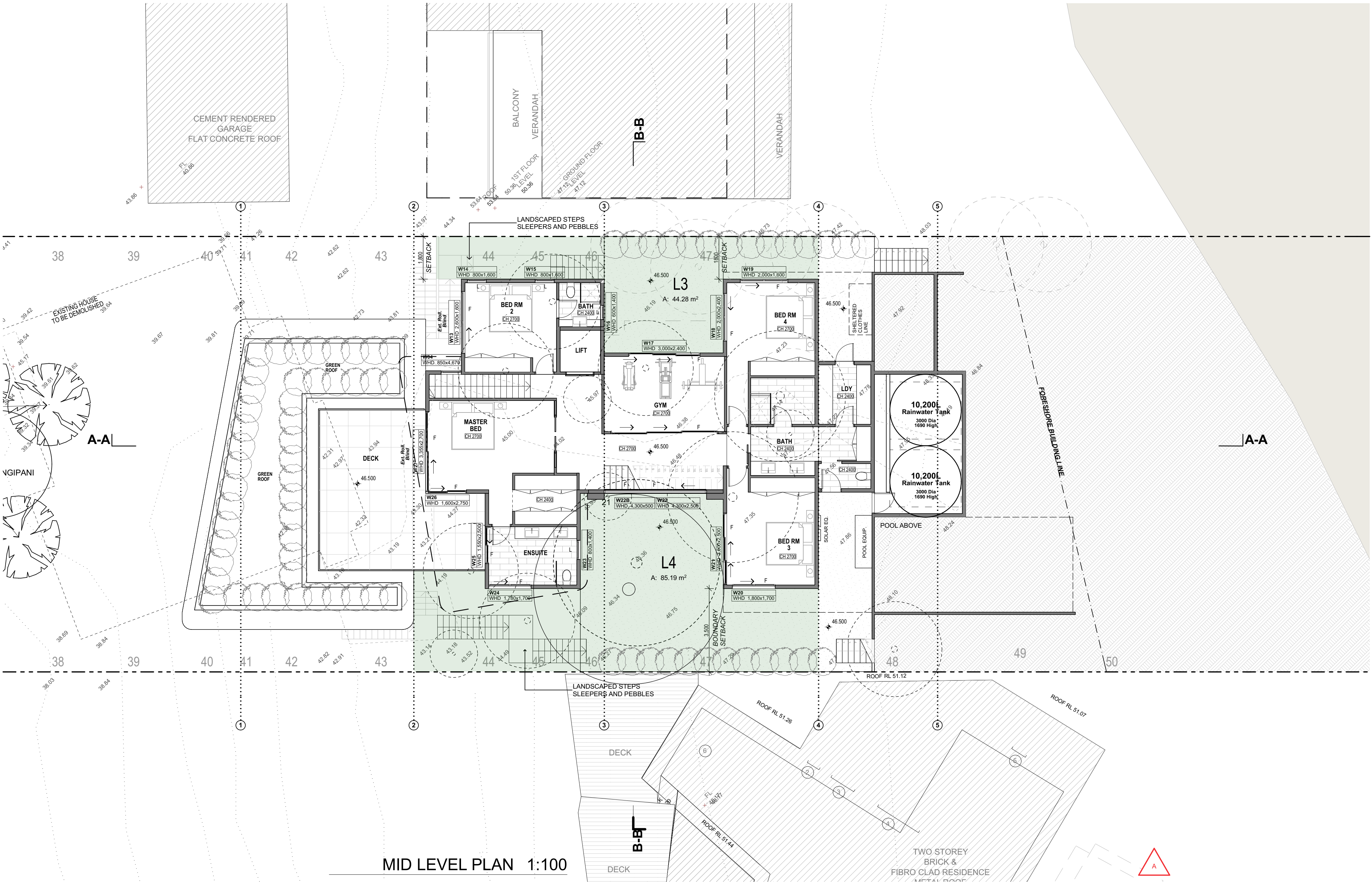
SCALE
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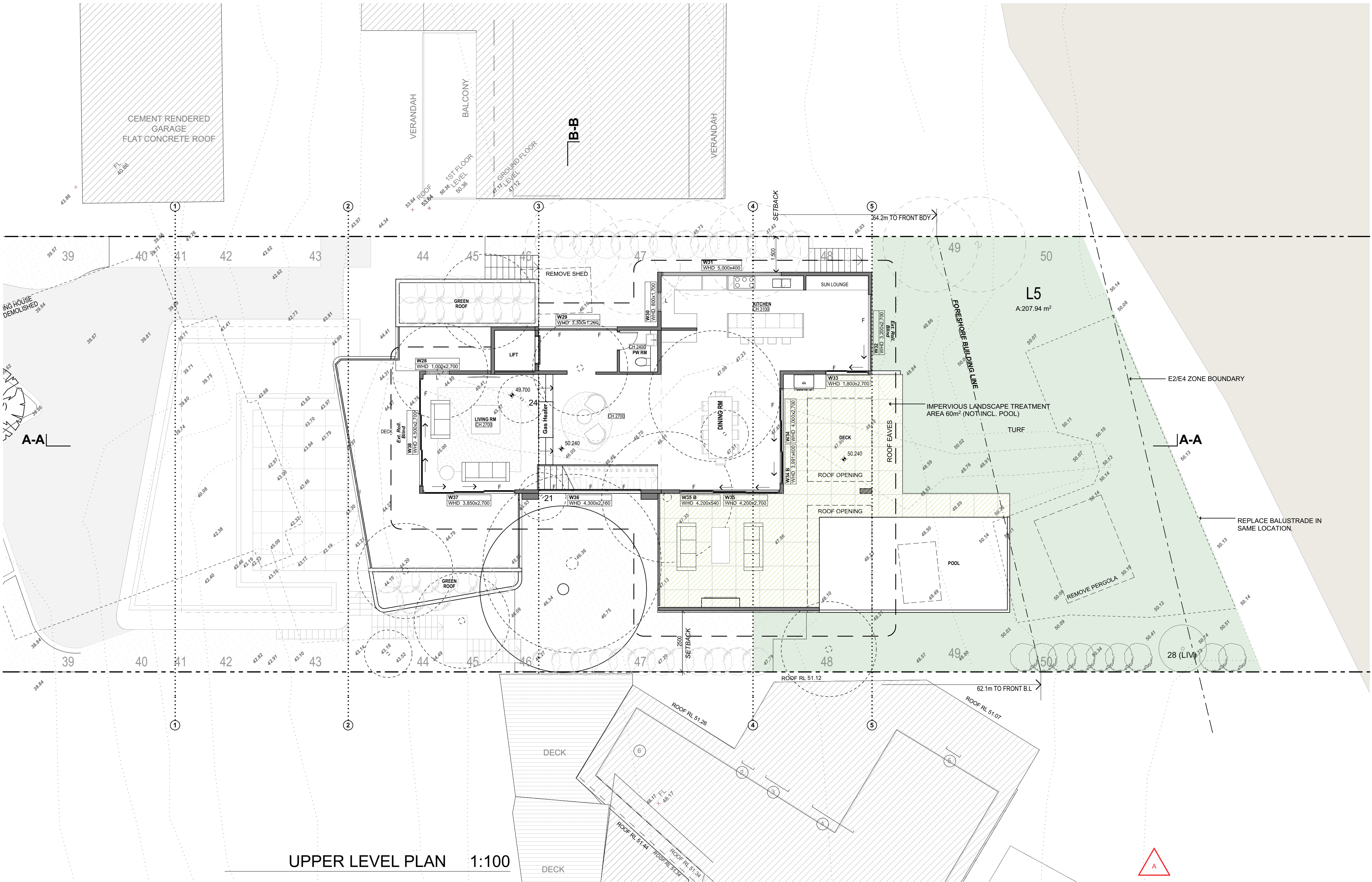
DRAWN BY
SG / AB

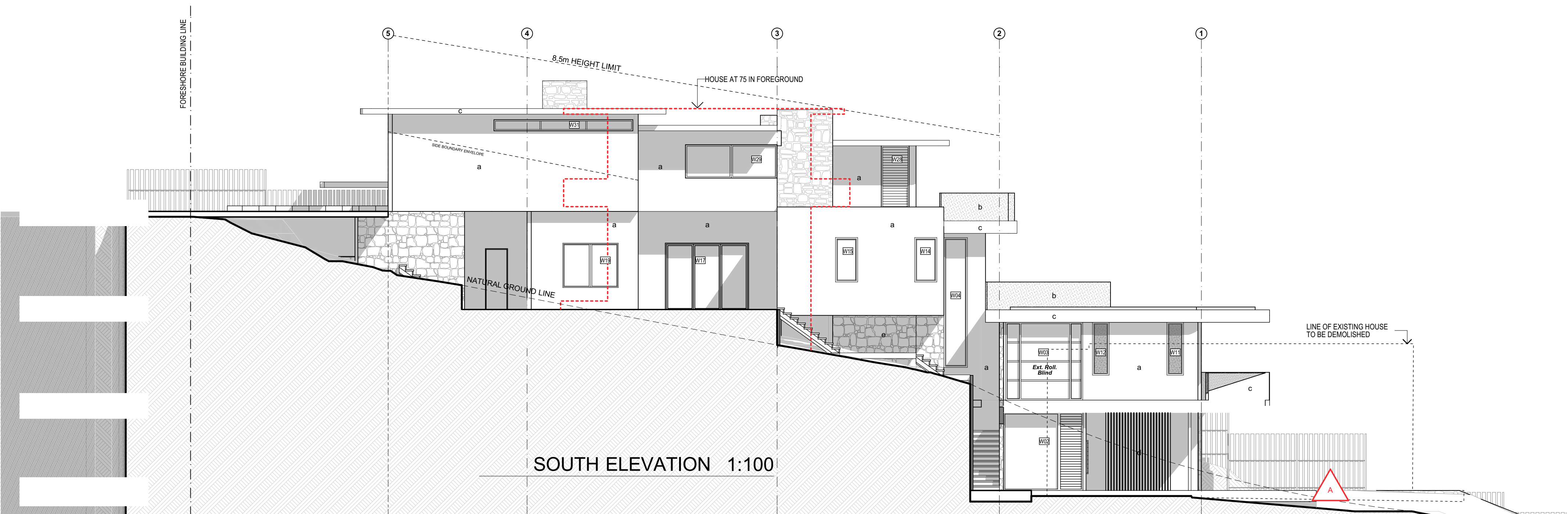
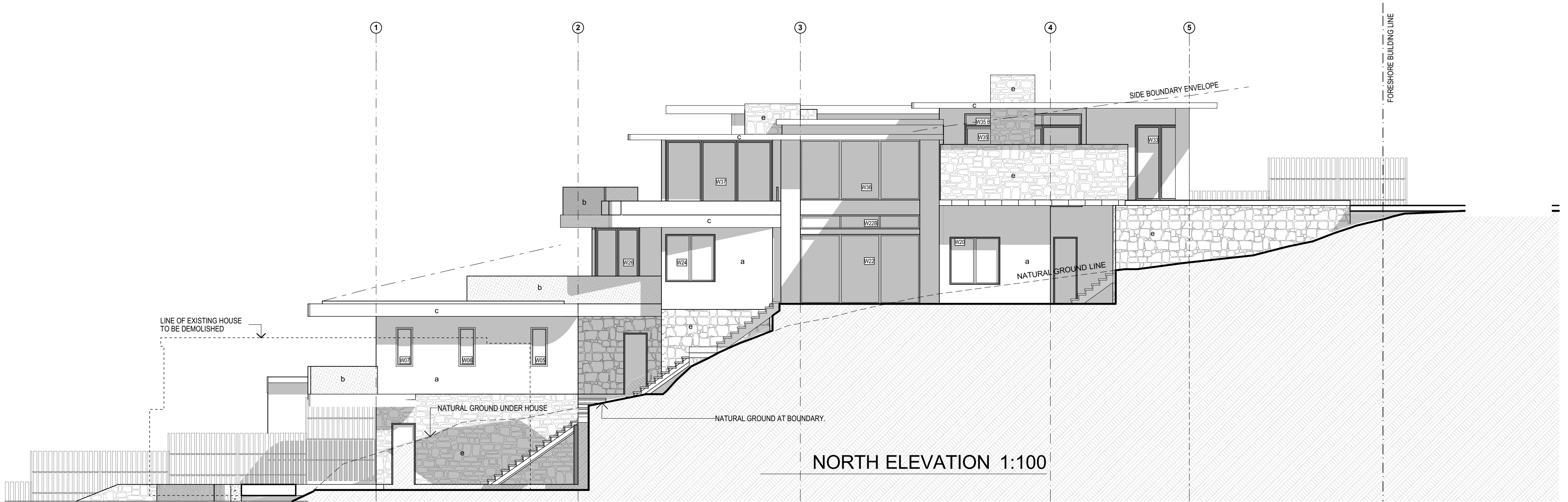
DRAWING NO.
A-03

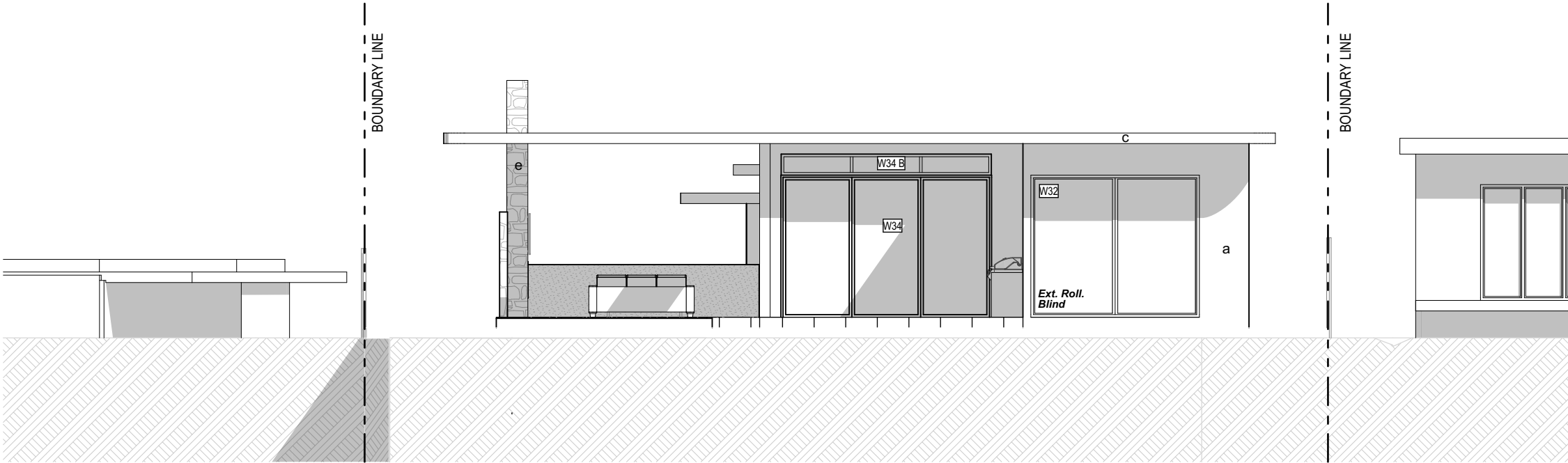
PLOT DATE
25/01/2022

REVISION
A

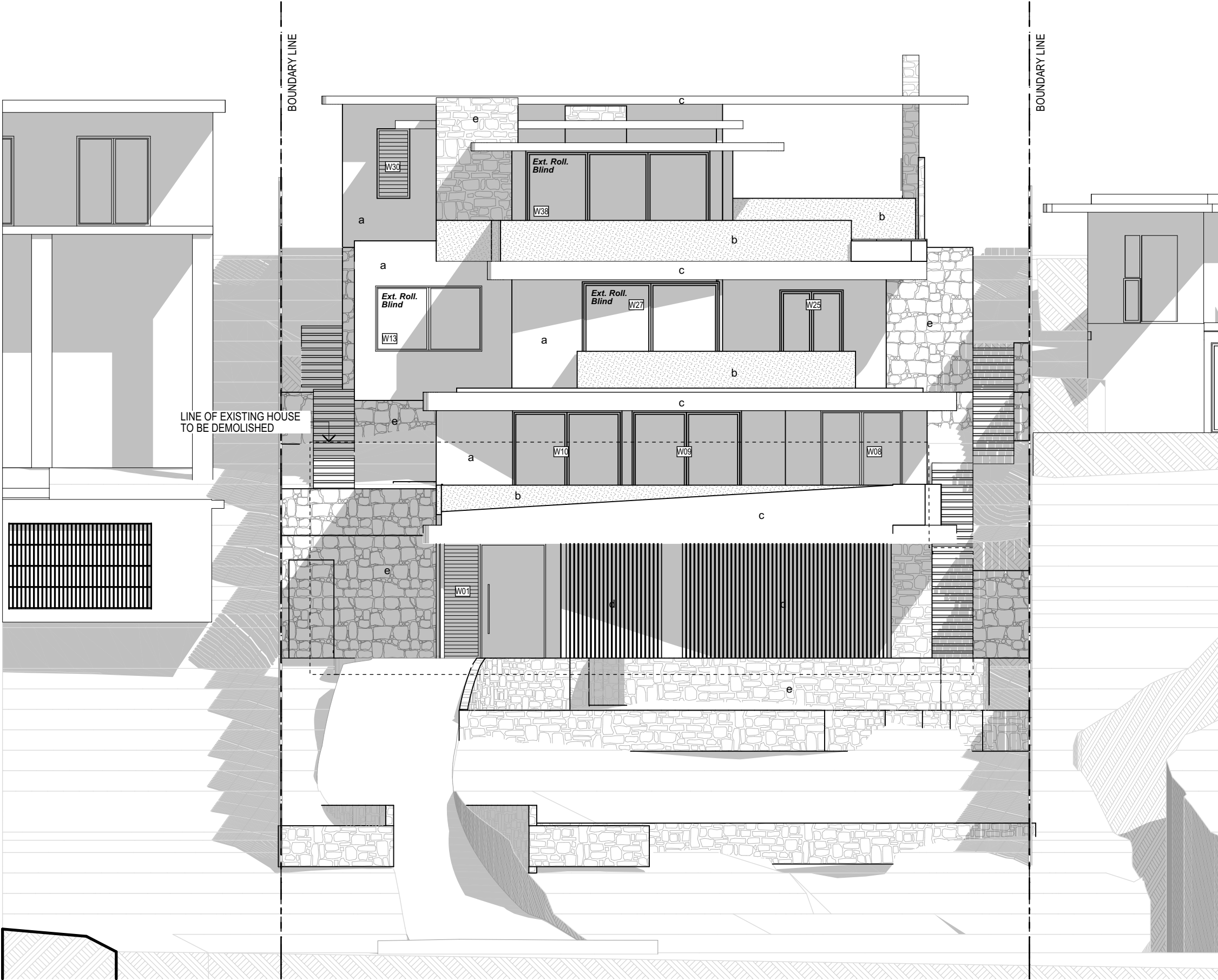




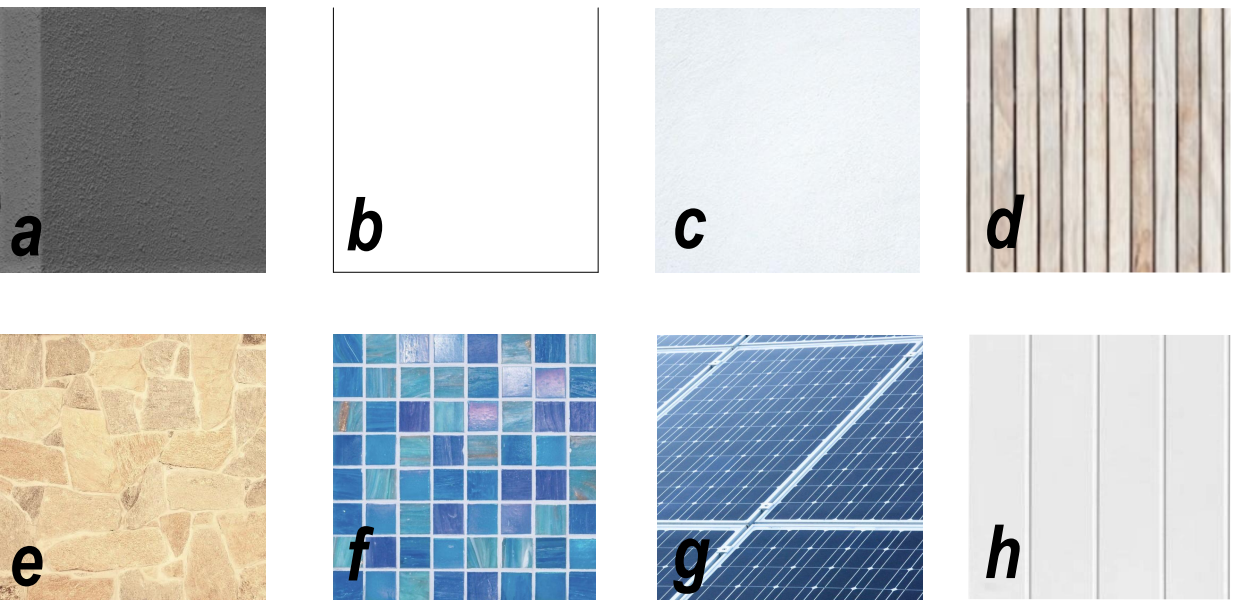




EAST ELEVATION 1:100



WEST ELEVATION 1:100

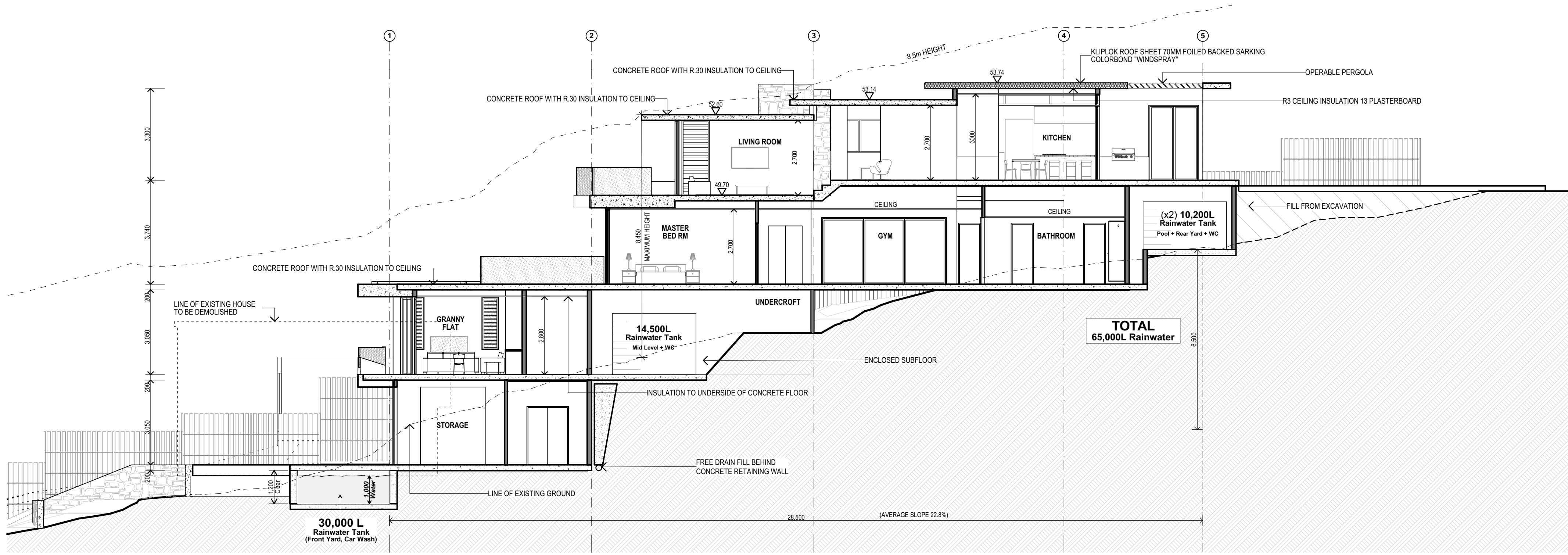


- EXTERIOR FINISHES LEGEND**
- a TEXTURED RENDER WITH PAINT FINISH - EQUAL TO RESENE DOUBLE GRAVEL
 - b GLASS BALUSTRADE
 - c OFF FORM CONCRETE BALUSTRADE - RESENE 'GLISTENING WHITE' PAINT FINISH
 - d HORIZONTAL TIMBER "THIN" CLADDING TO BALCONY SOFFIT - NATURAL CLEAR FINISH
 - e 'BODEGA' NATURAL STONE WALL CLADDING
 - f GLAZED MOSAIC TILES TO POOL
 - g SOLAR PANELS TO ROOF
 - h V JOINT FIBRE CEMENT SOFFIT - WHITE PAINT FINISH

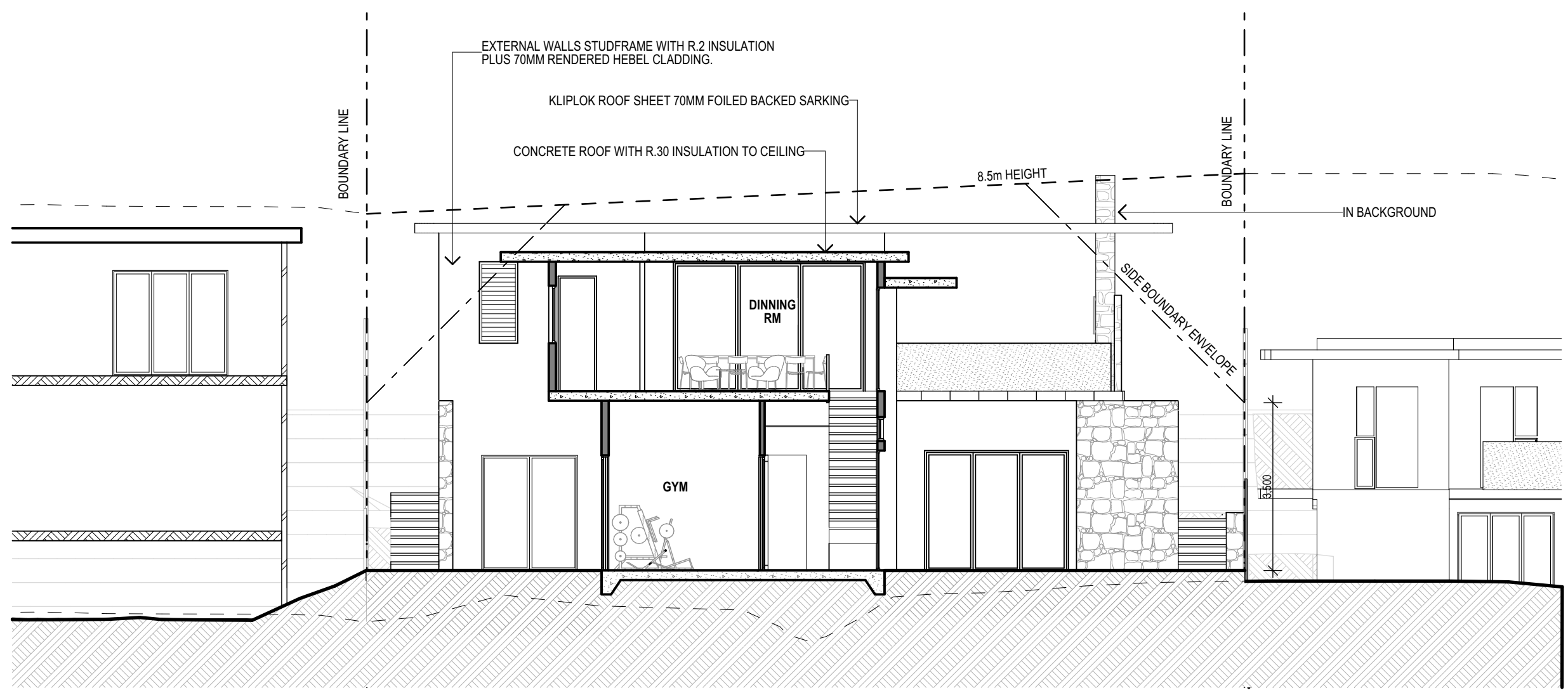


DATE	REV	DESCRIPTION
25/01/2022	A	DEVELOPMENT APPLICATION

PROJECT NEW HOUSE 73 MARINE PARADE, AVALON BEACH LOT 114, DP 8394	DRAWING TITLE EAST + WEST ELEVATION	PLOT DATE 25/01/2022
FOR COURTNEY FAMILY	PROJECT NO. 2105	REVISION A
	SCALE 1:100 @ A2	DRAWN BY SG / AB
		DRAWING NO. A-07



SECTION A 1:100



SECTION B 1:100

- Basix Notes**
- Metal roof with 70mm foil lined blanket (roof a medium colour)
 - R3.0 insulation batts to all ceilings adjacent to metal & concrete roof
 - 250mm concrete slabs all levels
 - R3.0 insulation under concrete slabs adjacent to outdoor air and subfloor
 - R2.0 insulation under slabs adjacent to ground (except garage)
 - R3.0 insulation to garage ceiling
 - Garage/subfloor external walls concrete block/stone clad
 - All other external walls 70mm hebel cladding/framed & to include R2.5 insulation
 - R2.5 insulation to all internal walls
 - All louvre windows aluminium framed/SG U=5.4 SHGC=0.58 (+/-10%)
 - All other windows & glass doors double glazed U=3.6 SHGC=0.54 (+/-10%)
 - External blinds to W03, W13, W27, W32 & W38
 - All windows/doors are weather sealed
 - All exhaust fans sealed
 - All recessed downlights sealed and to allow for uninterrupted ceiling insulation
 - Ceiling fans to all bedrooms (minimum 1200mm diameter)





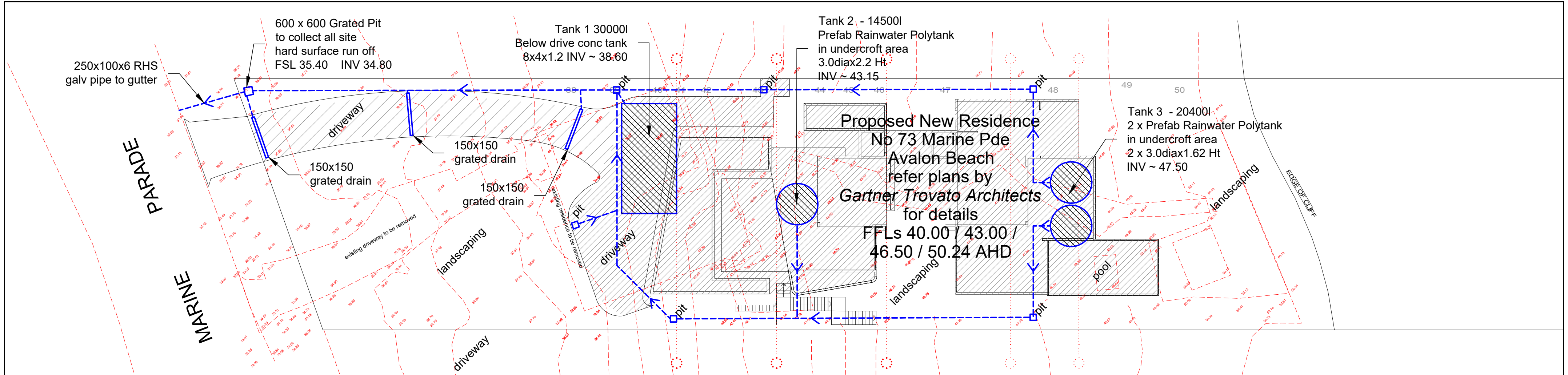
PROPOSED HOUSE 9:00 AM



PROPOSED HOUSE 12:00 PM



PROPOSED HOUSE 3:00 PM



STORMWATER MANAGEMENT PLAN

~ 1:200

Proposed new residence refer to plans by Gartner Trovato Architects for details. Site Area - 1878m²

System as per Northern Beaches Councils Water Management for Development Policy

Section 9.0 On Site Stormwater Management Section 9.3.1 Onsite Stormwater Disposal Requirements Region 1 - Northern Catchments.

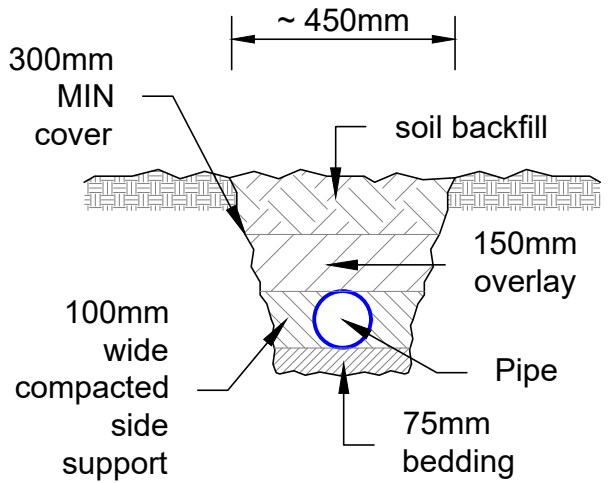
Independent assessment of the water management and OSD requirements through an OSD Assessment Report to be submitted with

the Water Management Plan. Calculated 15000l OSD storage requirement (refer DRAINS model for details).

60000l BASIX/rainwater tank specified and therefore 25% (15000l) allowable offset to OSD storage requirement.

Trunk drainage lines shown above to be 150 dia uPVC, Pits to be 450x450 uPVC.

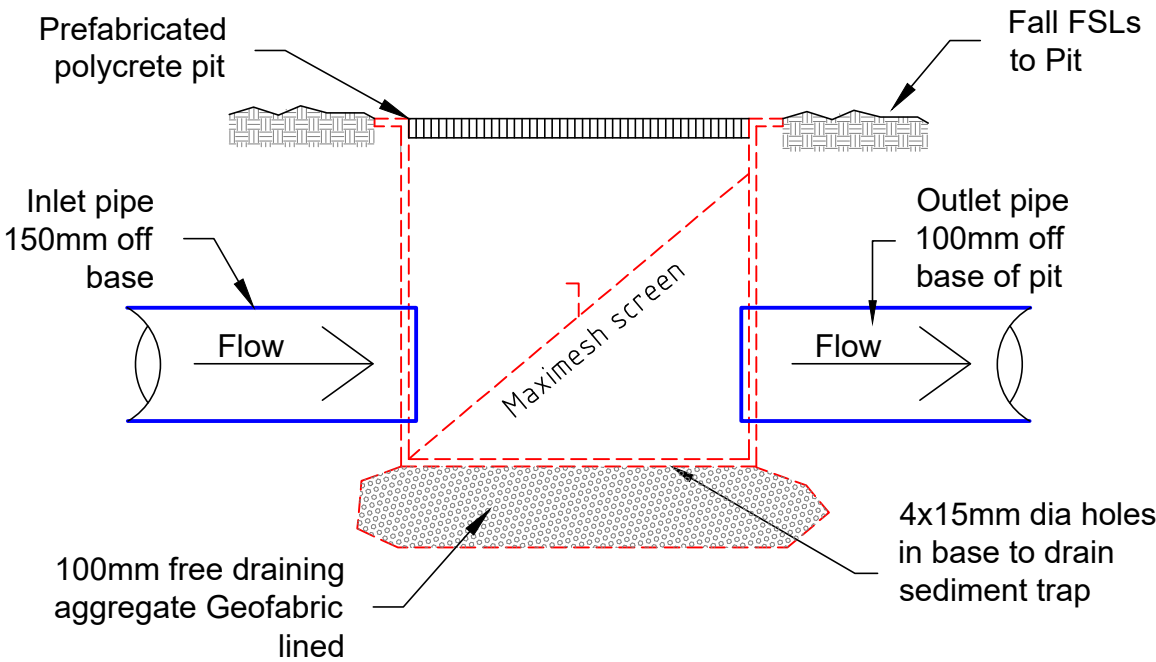
Complete system design (inc roof drainage) to be detailed in Construction Certificate documentation.



TYPICAL PIPE
& TRENCH DETAIL

~ 1 : 20

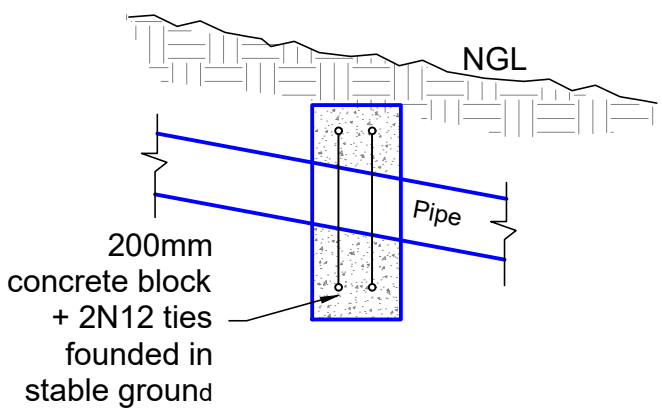
Note -
Bedding / overlay to be -
a) sand, free from rock, hard or sharp objects
b) max 14mm crushed rock or gravel
c) the excavated material free of rock, hard or sharp objects and broken up with no soil lumps > 75mm dia



TYPICAL STORMWATER FILTRATION
DEVICE / POLLUTANT / SEDIMENT
CONTROL PIT DETAIL

NTS

NOTE - 100mm Sediment trap and maximesh screen to collect organic matter and coarse sediments



ANCHOR BLOCK
DETAIL

TO BE INSTALLED AT 6m CTS
IF PIPE SLOPE > 1V TO 5H

OSD ASSESSMENT REPORT
(DRAINS ANALYSIS)

Site area	- 1878m ²
Existing impervious area	- 203m ²
Proposed impervious area	- 550 m ²
Detention Volume modeled	- 15000l
Existing Site Discharge	
5yr ARI Storm	- 84 l/s
100yr ARI Storm	- 134 l/s
Post Development Site Discharge	
5yr ARI Storm	- 51 l/s
	(29 controlled / 0 overflow / 22 uncontrolled)
100yr ARI Storm	- 127 l/s
	30 controlled / 61 overflow / 36 uncontrolled)

ISSUE:		
14. 12. 2021	Prelim	issued for comment
16. 12. 2021	Prelim	issued for DA submission

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PROJECT:
PROPOSED
NEW RESIDENCE
73 MARINE PDE
AVALON BEACH
for ~ COURTNEY FAMILY

DRAWING :
SITE STORMWATER
MANAGEMENT PLAN

Job No : 211105	Drawing No : SW1 _{DA}
Document Certification Barrenjoey Consulting Engineers Pty Ltd per Lucas Molloy MIEA CPEng NER Director	

A2

DEC '21