

 Denotes Pervious Area

ADJOINS TO DA1011

2

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO. RP0620HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE: SITE AND LOCATION
**Landscape Open Space
Plan Existing**

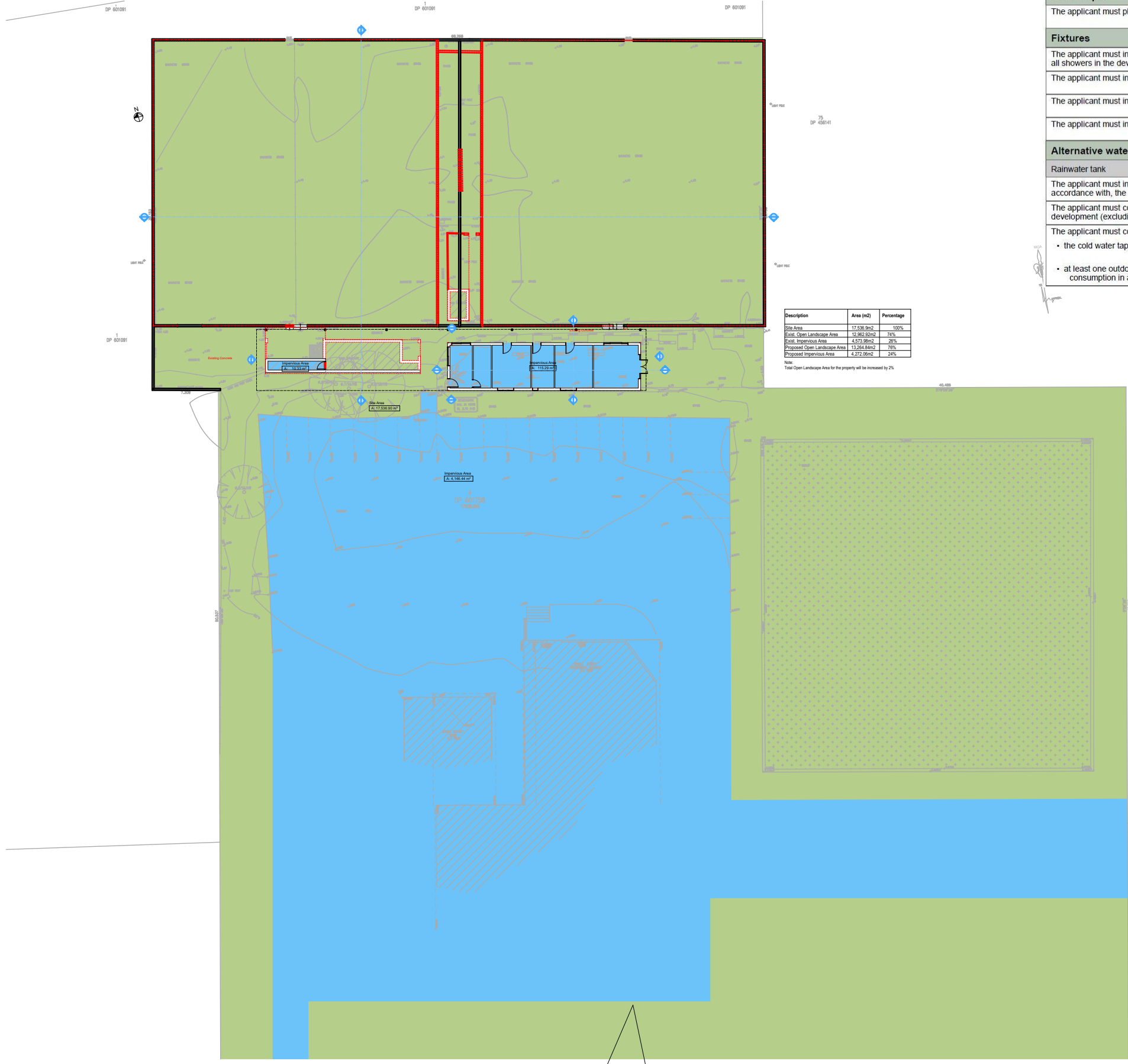
PROJECT NAME : **New Amenity Building & Additions**

REVISION NO.	DATE
-	1-10-2020

DRAWING NO.
DA1010

Plot Date: _____
Sheet Size: A3

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Excel file



Description	Area (m2)	Percentage
Site Area	17,536.9m2	100%
Exist. Open Landscape Area	12,951.92m2	73%
Exist. Impervious Area	4,573.98m2	26%
Proposed Open Landscape Area	12,254.84m2	70%
Proposed Impervious Area	4,272.06m2	24%

Note:
Total Open Landscape Area for the property will be increased by 2%

Water Commitments

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.

Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Denotes Impervious Area

Denotes Pervious Area

2 LANDSCAPE OPEN SPACE PROPOSED
1:500

ADJOINS TO DA1013

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DA1012

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
Cnr Bennett Street & Stirlings Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirlings Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction
Slab: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m2)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO0220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirlings Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020

DRAWING NO.
DA1012

Plot Date: 7/10/2020
Sheet Size: A3

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Page 30

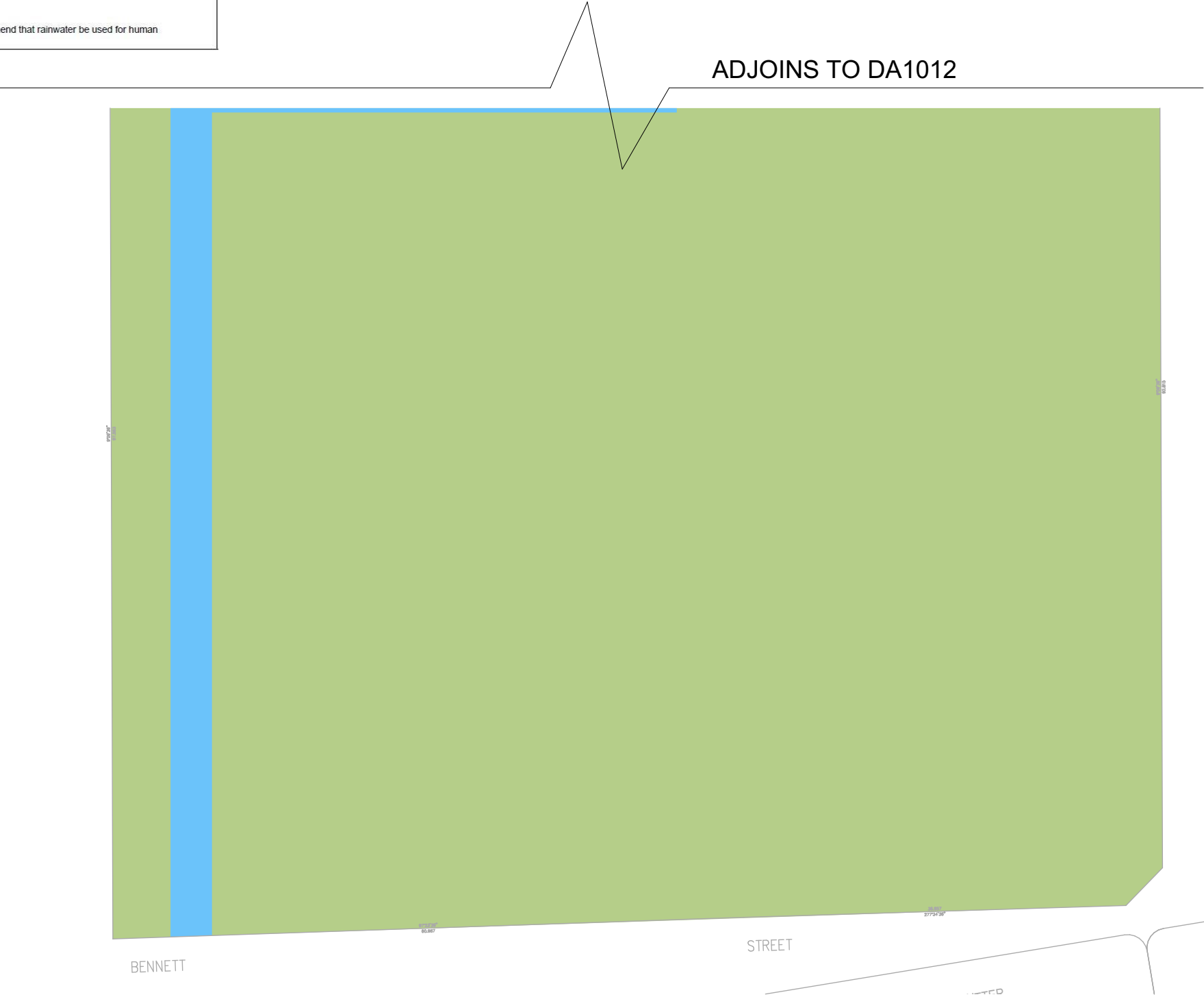
Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
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Alternative water
Rainwater tank
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Denotes Impervious Area



Denotes Pervious Area



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NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a Private Road in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Site: Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
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Site Information	Prop.	Comp.
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Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

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Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RP06220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

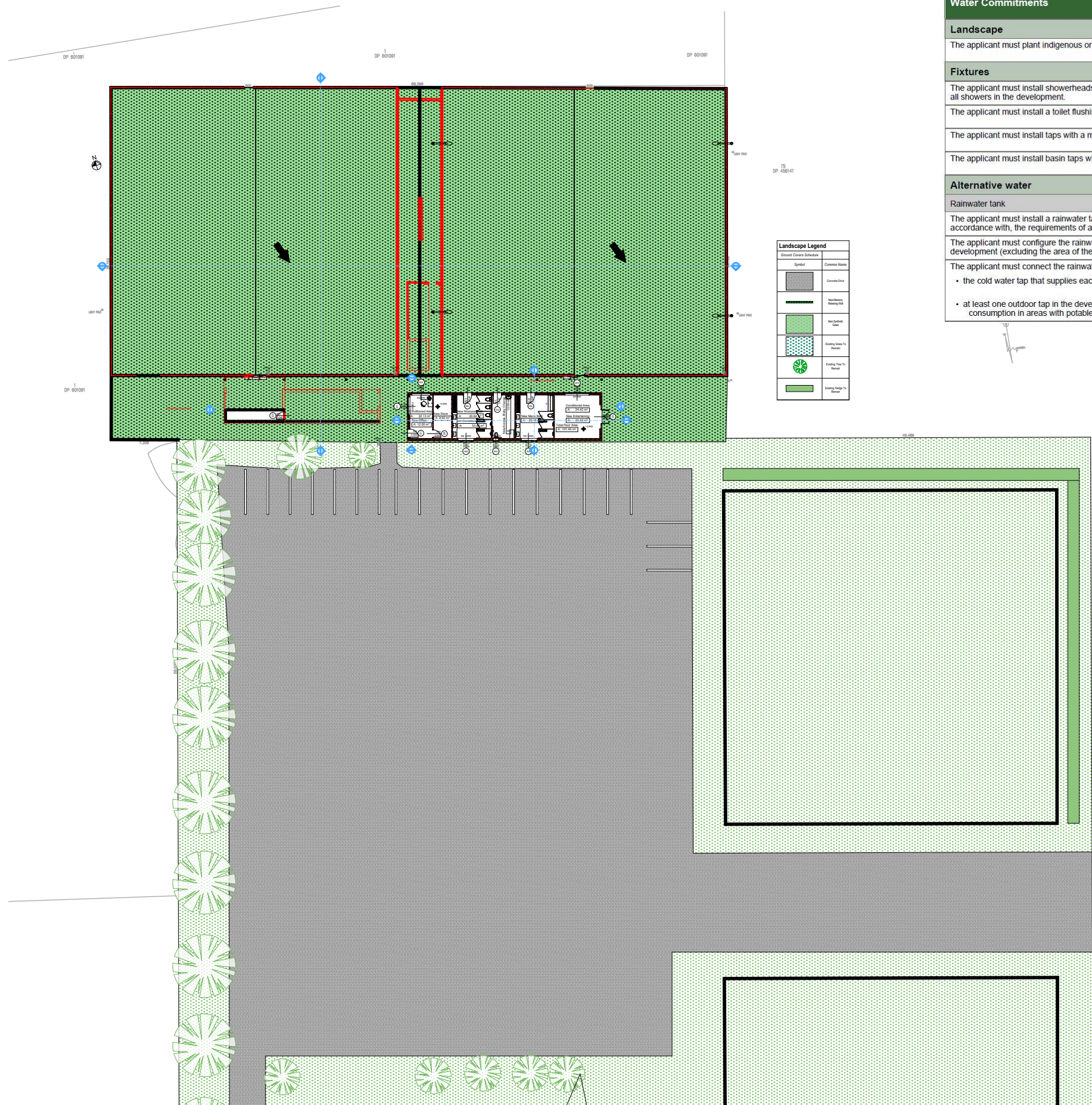
DRAWING TITLE SITE AND LOCATION
Landscape Open Space Proposed 2

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
- 1-10-2020

DRAWING NO.
DA1013

Plot Date: 7/10/2020
Sheet Size: A3



Water Commitments
Landscape
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Fixtures
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Project North

Drawn | Checked GBJ
Plot Date: 7/10/2020
Project NO.: RPO6220HAR
Project Status DA

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE :
SITE AND LOCATION
Landscape Plan

PROJECT NAME :
New Amenity Building & Additions

REVISION NO.	DATE
-	1-10-2020

DRAWING NO.
DA1014

Plot Date: 7/10/2020
Sheet Size: A3

2 LANDSCAPE PLAN 1:500

ADJOINS TO DA1015

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