

L.G.A. : NORTHERN BEACHES
 PARISH : NARRABEEN
 COUNTY : CUMBERLAND

| LEGEND | |
|----------------------|-------------------------------------|
| WATER MAIN | SEWER VENT |
| TELSTRA PILLAR | SEWER LAMP/POLE |
| TELSTRA MARKER POST | SEWER INSPECTION POINT |
| TELSTRA PIT | SUBSOIL DRAIN |
| TELEGRAPH POLE | STORMWATER PIT |
| POWER POLE | STORMWATER GRATE |
| ELECTRICAL PILLAR | SURFACE INLET PIT |
| POWER LIGHT POLE | INTEL-KERB INLET PIT |
| LIGHT POLE | INTEL-KERB INLET PIT WITH GRATE |
| HYDRANT | STORMWATER PIPE INCLUDING PIPE SIZE |
| RECYCLED WATER | HEADWALL |
| WATER METER | CLOTHES LINE |
| STOP VALVE | TREE: Ø DIAMETER S SPREAD H HEIGHT |
| WATER TAP | SEWER MANHOLE |
| GAS METER | STREET SIGN |
| GAS DIRECTION MARKER | PRAM CROSSING |
| GAS INSPECTION POINT | VEHICLE CROSSING |
| SEWER MANHOLE | E OVERHEAD ELECTRICITY LINE |
| STREET SIGN | T OVERHEAD TELECOM LINE |
| PRAM CROSSING | S SEWER LINE |
| VEHICLE CROSSING | |

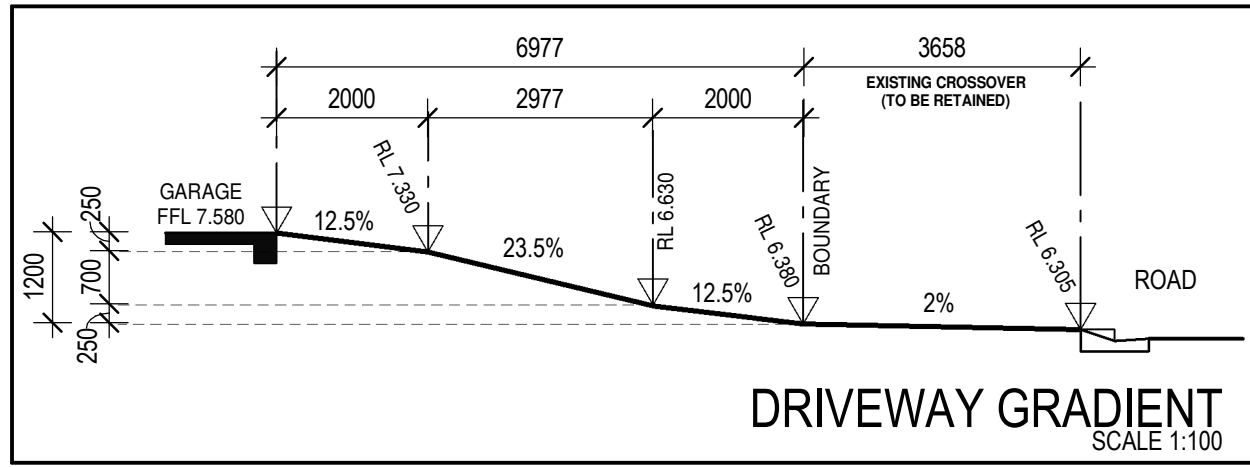
ORIGIN OF LEVELS:
 SSM 24845 RL=12.835 (AHD) FOUND NEAR THE INTERSECTION OF WARRIEWOOD ROAD & ALMEDA WAY.
 ACCURACY OF ORIGIN: ± 0.001m

(BE) ~ PROPOSED RESTRICTION ON LAND VIDE UNREGISTERED DP271139 (BUILDING ENVELOPE)
 (H) ~ PROPOSED EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE VIDE UNREGISTERED DP271139
 - PLEASE NOTE THAT BECAUSE THE DEPOSITED PLAN IS UNREGISTERED AND WE DO NOT HAVE A COPY OF THE LATEST 'DRAFT' 88B INSTRUMENT, THEREFORE THE SUBJECT LOT MAY BE AFFECTED BY ADDITIONAL RESTRICTION(S), POSITIVE COVENANT(S) OR EASEMENT(S) NOT NOTED ON THE 'DRAFT' LINEN PLAN.

SOLAR PANELS TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS AND GUIDELINES

MARINE CLASSIFICATION SL1

ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS



STORMWATER TO HYDRAULIC ENG'S DETAILS

SITE DETAILS
 LOT NUMBER: 13
 DP NUMBER: 271139

AREAS
 SITE AREA: 270.00m2

| | |
|--------------|-----------------------|
| GROUND FLOOR | 91.23 m ² |
| FIRST FLOOR | 77.44 m ² |
| GARAGE | 21.20 m ² |
| PORCH | 1.03 m ² |
| Grand total | 190.89 m ² |

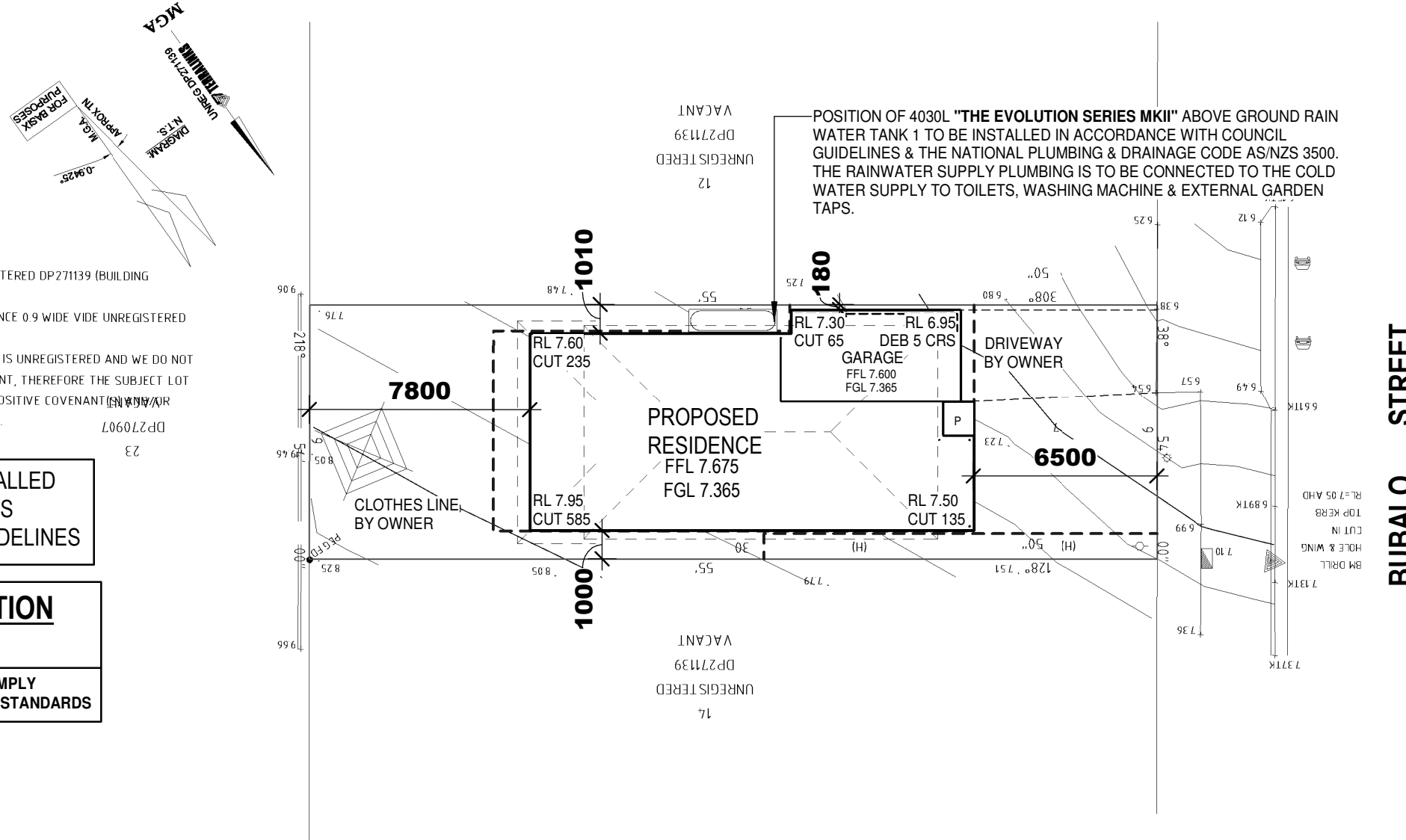
DRIVEWAY: 21.67m2

PRIVATE OPEN SPACE: 70.19m2
 LANDSCAPE AREA: 129.07 - 47.80%

PROJECT DETAILS:
 GROUND & FIRST FLOOR LIVING TOTAL: 217.08m2
 ROOF AREA: 189.58m2
 NO. OF BEDROOMS: 4

STORMWATER:
 RAINWATER TANK SIZE: = 4030litre
 -(ABOVE GROUND / UNDER GROUND)
 ROOF AREA CONNECTED TO RAINWATER TANK: (31) % MIN MIN- 60.00m2 (to eng's details)
 RAINWATER USES: GARDEN/TOILET/LAUNDRY

SITE NOTES & CONDITIONS:
 -HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.
 -EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER
 -EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION AND TO REMAIN OUTSIDE OF BUILDING PLATFORM.
 -EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.
 -WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.
 -DIMENSIONS SHOWN ARE TO FRAME, UNDERSIDE OF ROOF TRUSSES AND FROM WINCREST FFL (CONCRETE) TO UNDERSIDE OF FLOOR JOIST
 -FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY AND WILL VARY ON SITE
 -ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER
 - ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS



SITE PLAN

| ISSUE | AMENDMENT | DATE |
|-------|--------------|----------|
| A | PFD (EC) | 17.08.18 |
| B | VARY B (EB) | 27.09.18 |
| C | VARY D (EB) | 07.03.19 |
| D | VARY CS (EB) | 08.04.19 |
| E | VARY F (EC) | 31.07.19 |
| F | FFD (EB) | 09.08.19 |

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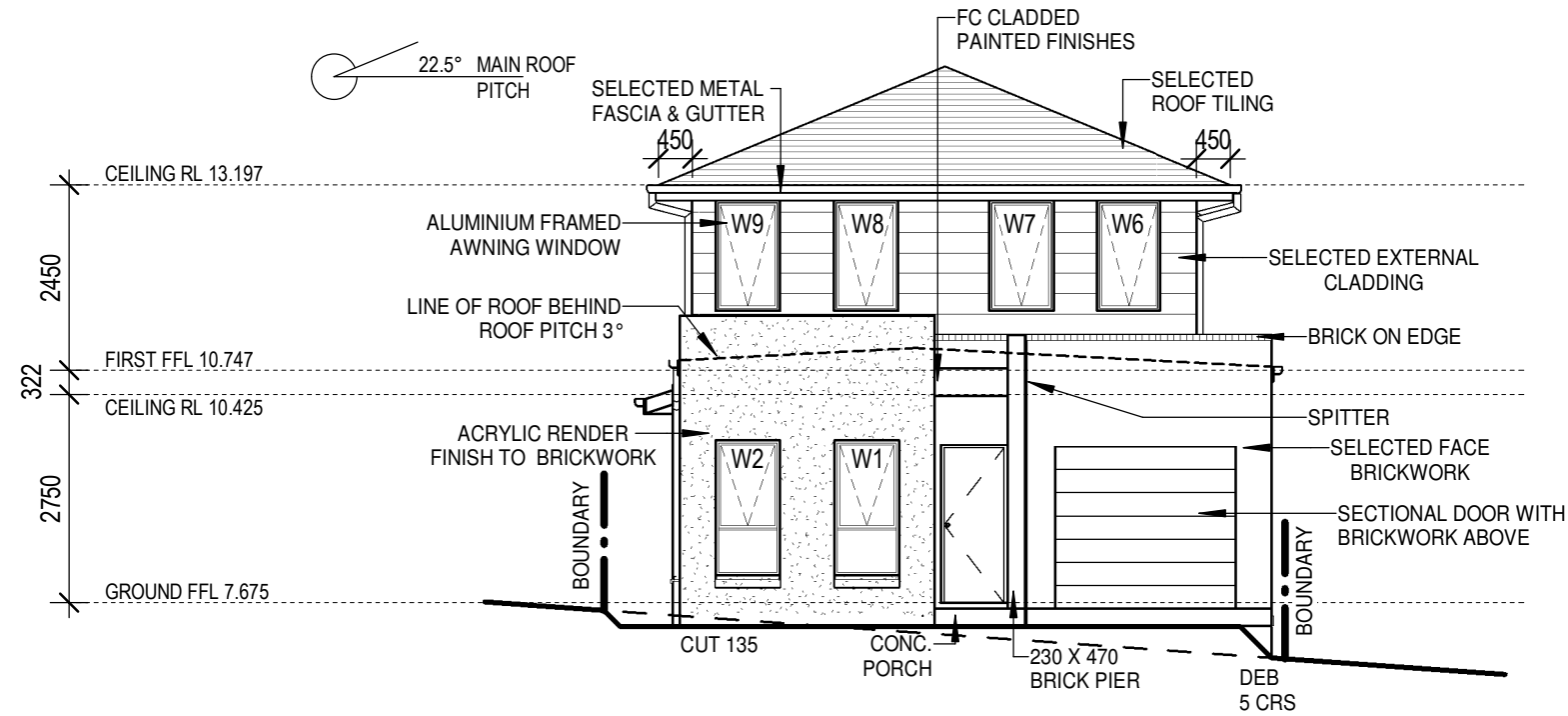
WINCREST
 BESPOKE
 Wincrest Group Pty Ltd.
 ACN 135 562 873
 Builders License No. 213 442C
 18 Pitt St, Paramatta NSW 2150
 Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:
 CLIENT: MR & MRS POWER
 ADDRESS:
 LOT 13 BUBALO STREET
 WARRIEWOOD
 NORTHERN BEACHES COUNCIL

| AFFINITY INCLUSIONS | |
|--------------------------------|----------------|
| JOB NO: 17264 | DATE: 31.07.19 |
| DRAWN: EC | CHECKED: |
| SCALE: As indicated | SHEET NO: 01 |
| PLEASE DISCARD ALL OTHER PLANS | |
| DO NOT SCALE DRAWING | |

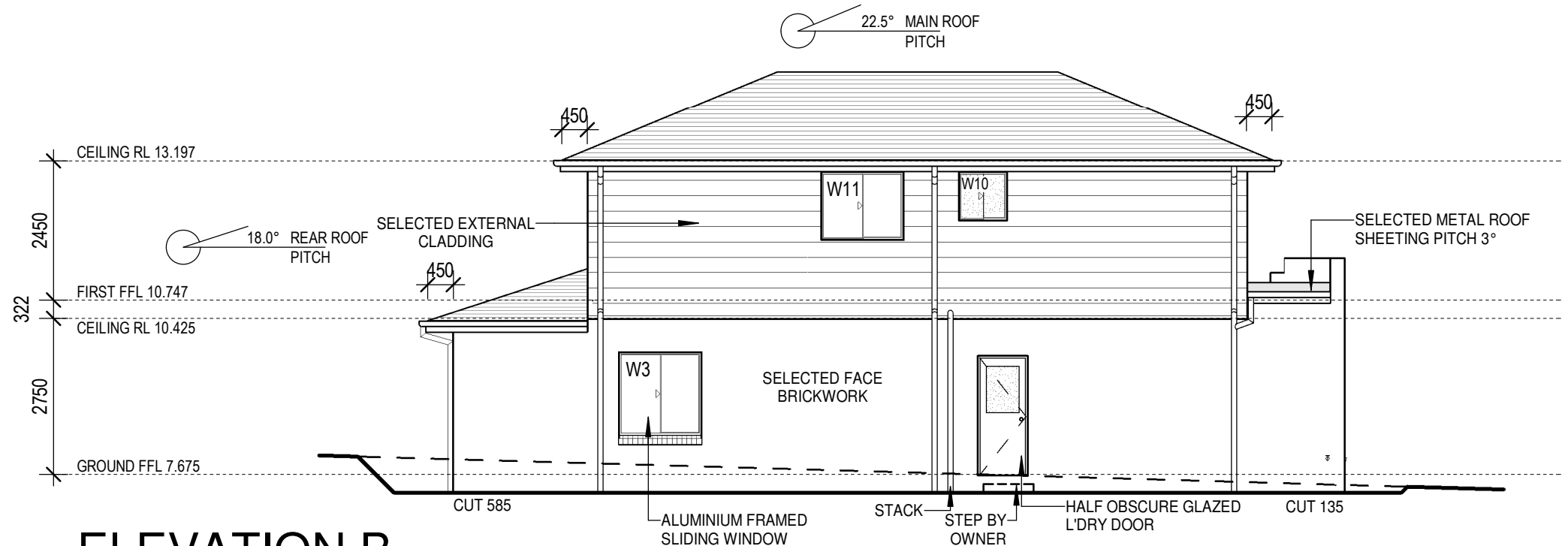
NOTE:

- FIRST FLOOR WINDOW HEADS TO BE PLACED DIRECTLY UNDER EAVES OR AT EQUAL HEIGHT
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL TO U/S STEEL ARCH BAR EXCEPT W5 TO BE PLACED AT HEAD HEIGHT 2400
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.



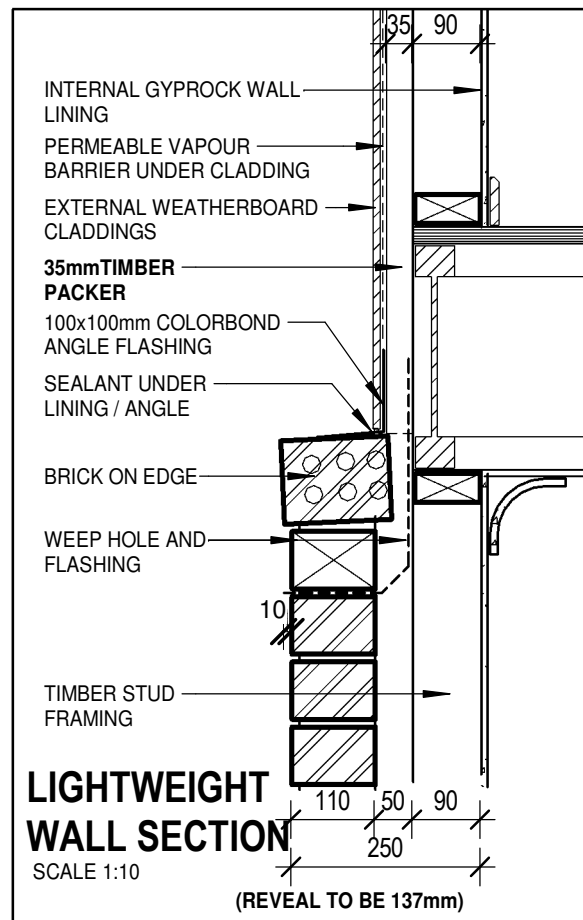
ELEVATION A

1 : 100



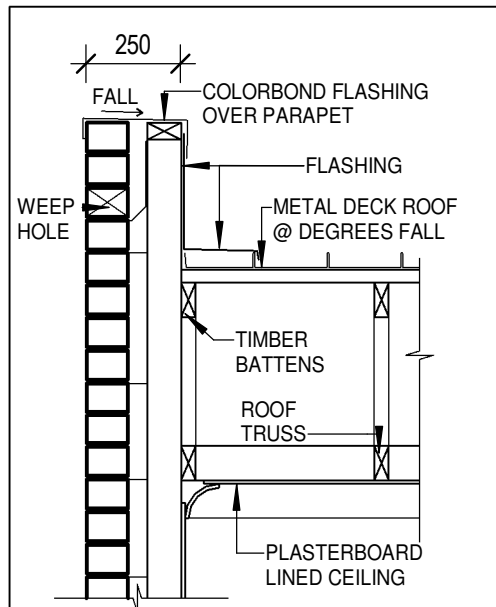
ELEVATION B

1 : 100



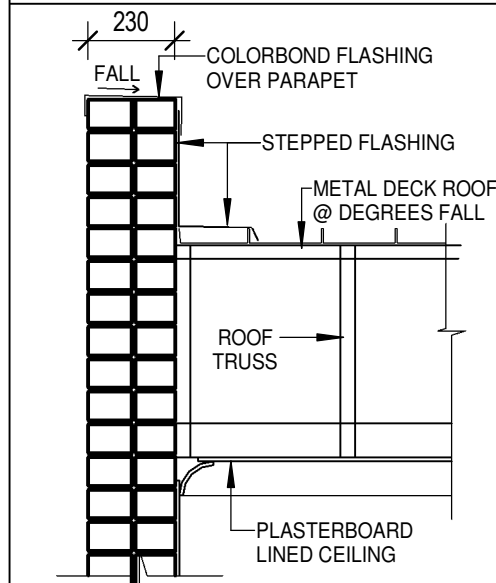
ELEVATIONS

| ISSUE | AMENDMENT | DATE | <p>Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.</p> |  <p>BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</p> | PROPOSED RESIDENCE FOR: | AFFINITY INCLUSIONS | |
|-------|--------------|----------|--|--|---|--------------------------------|----------------|
| A | PFD (EC) | 17.08.18 | | | CLIENT: MR & MRS POWER | JOB NO: 17264 | DATE: 31.07.19 |
| B | VARY B (EB) | 27.09.18 | | | <p>ADDRESS: LOT 13 BUBALO STREET WARRIEWOOD NORTHERN BEACHES COUNCIL</p> | DRAWN: EC | CHECKED: |
| C | VARY D (EB) | 07.03.19 | | | | SCALE: As indicated | SHEET NO: 04 |
| D | VARY CS (EB) | 08.04.19 | | | | PLEASE DISCARD ALL OTHER PLANS | |
| E | VARY F (EC) | 31.07.19 | | | | DO NOT SCALE DRAWING | |
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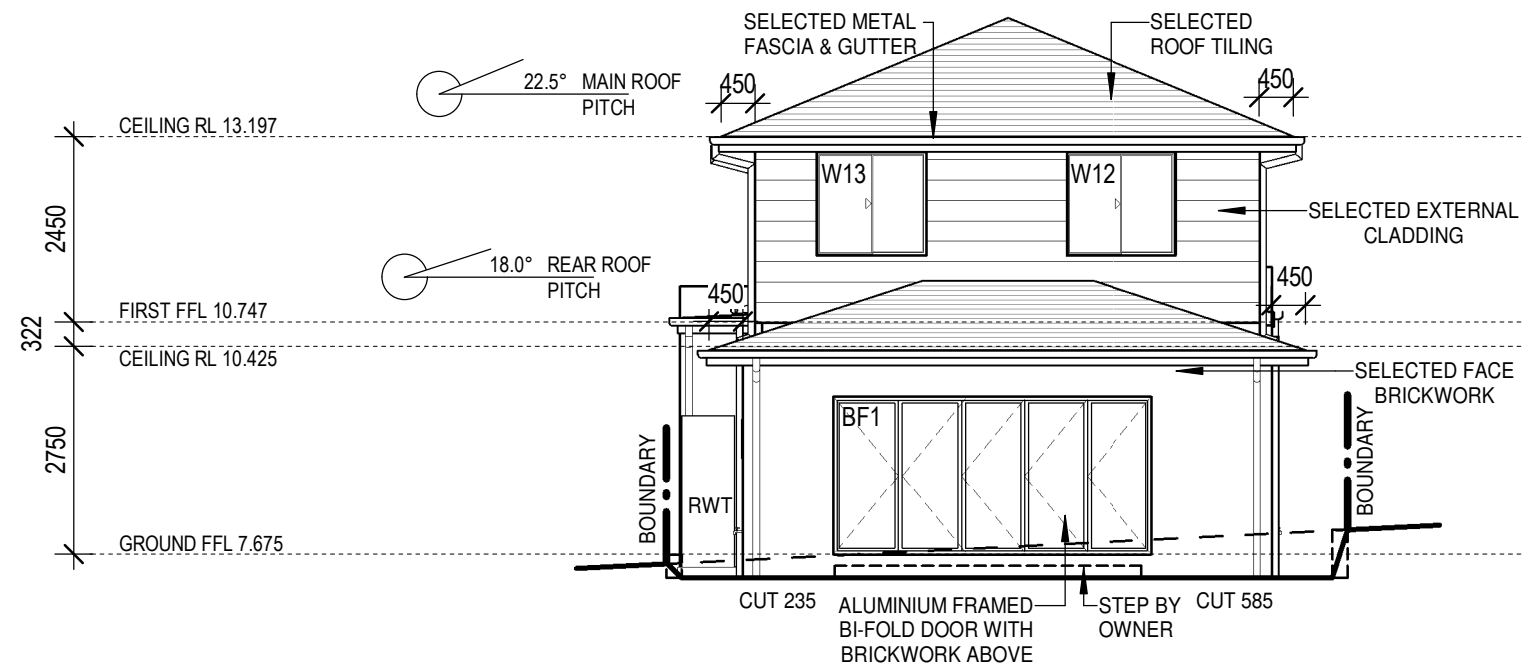
BRICK VENEER PARAPET DETAIL

SCALE 1:20



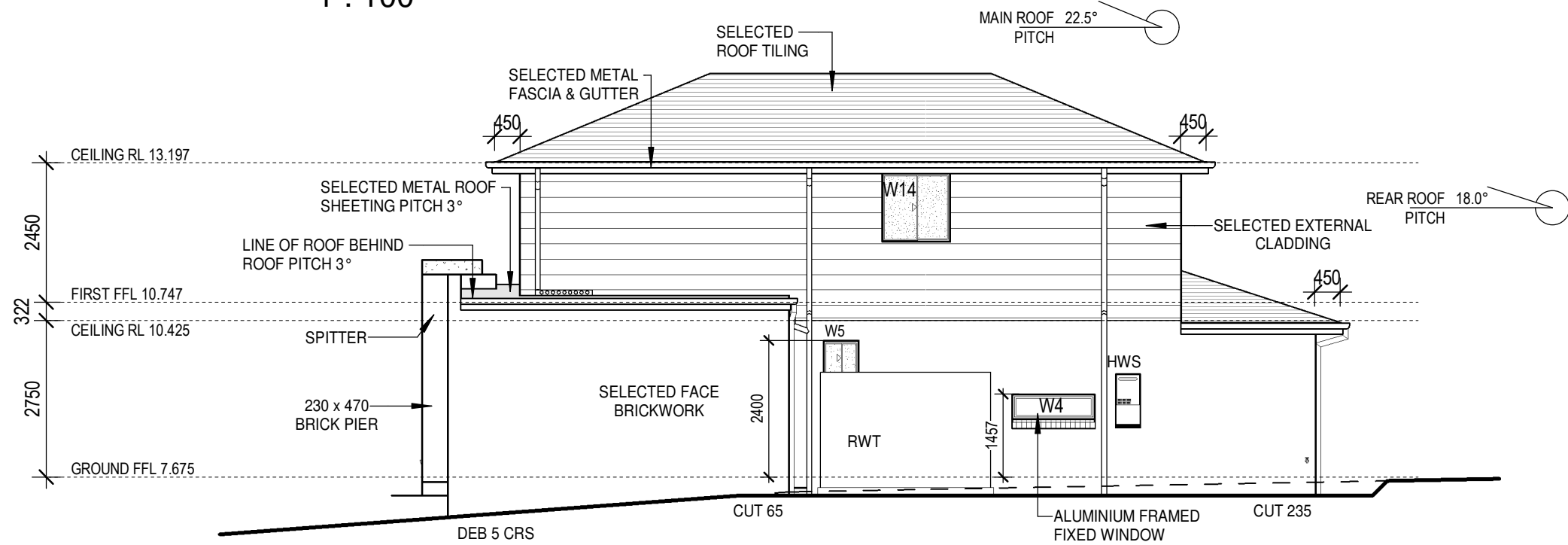
230mm BRICK PARAPET DETAIL

SCALE 1:20



ELEVATION C

1 : 100



ELEVATION D

1 : 100

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CLIENT: MR & MRS POWER

ADDRESS:
LOT 13 BUBALO STREET
WARRIEWOOD
NORTHERN BEACHES COUNCIL

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|--------------------------------|----------------|
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| DRAWN: EC | CHECKED: |
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| DO NOT SCALE DRAWING | |

LOCATION: T:\First draft\17264_POWER\Drawings\17264_POWER.rvt