

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2025/0048

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	

NOTES

1132 Pittwater Road is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1132 Pittwater Road is not considered a heritage item

Construction

Concrete Floor, Masonry Walls
Roof Sheet Metal Roof to have N/A Insulation
Insulation to External Masonry Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1780067
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that: a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall/Floor



Denotes New Masonry Wall



Denotes Existing Wall



Denotes Demolished Item

1
Site Plan
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



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Builder to Check and Confirm all
Measurements Prior to
Commencement



Project North



Client
Garry Silk
Project Name
Alterations & Additions
1132 Pittwater Road, Collaroy
2097

Lot 5 D.P.10757
Drawing Title:
Site Plans - Site Plan
Site Plan

Scale: A3 as noted
Status: DA
Project No.
RP0813SIL

Date: 21-1-2025
Checked By: GBJ
Drawing No.
DA1003

Plot Date:

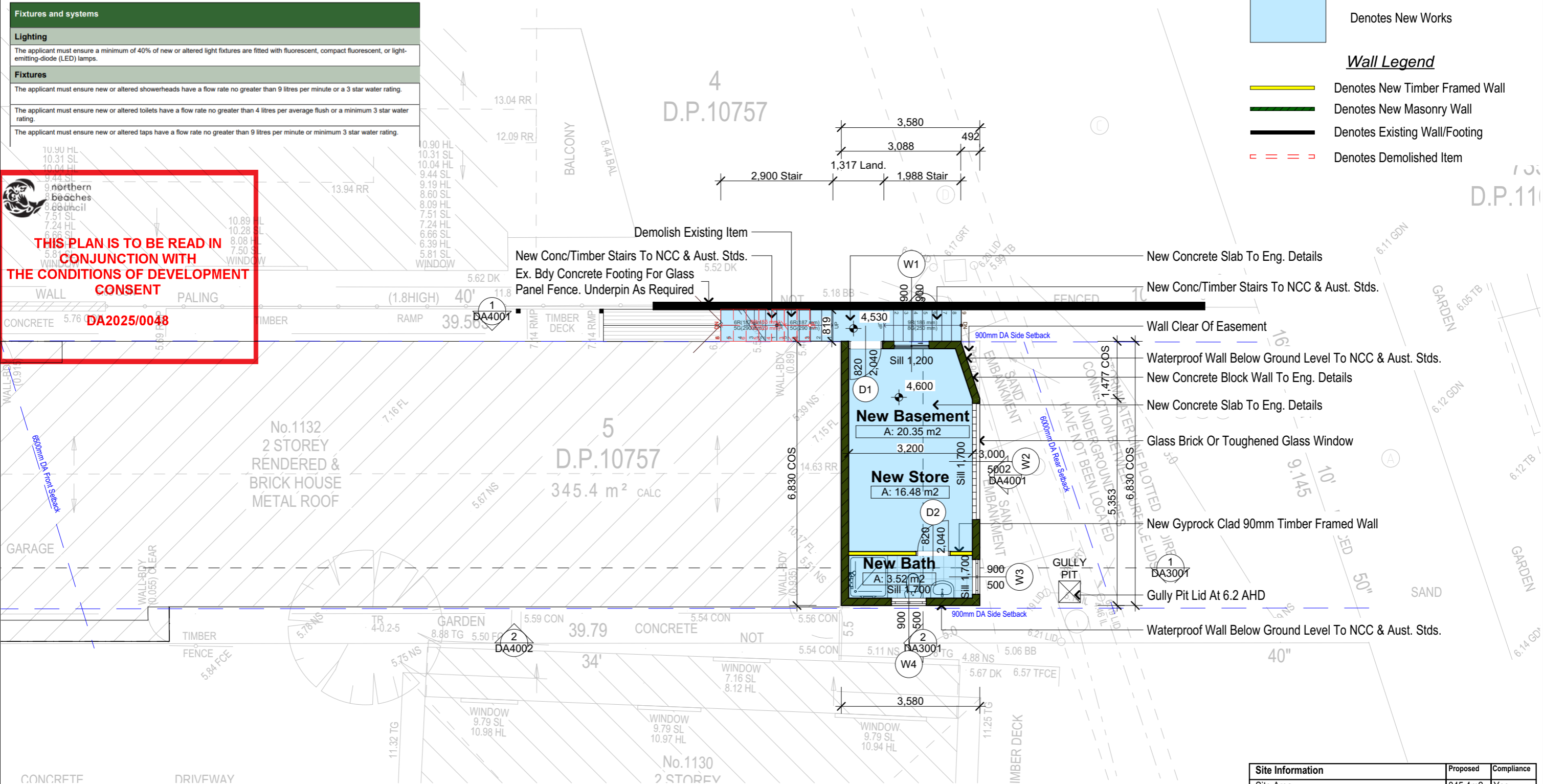
Garry Silk

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0048



1

Basement

1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/ plasterboard	R1.18 (or R1.70 including construction)	

NOTES
1132 Pittwater Road is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1132 Pittwater Road is not considered a heritage item

Construction
Concrete Floor, Masonry Walls
Roof Sheet Metal Roof to have N/A Insulation
Insulation to External Masonry Walls R1.7
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All work to Engineers Specification and BCA
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1780067
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Site Information	Proposed	Compliance
Site Area	345.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m2)	270.58m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes



Rapid Plans
Building Design and Architectural Drafting

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Builder to Check and Confirm all Measurements Prior to Commencement

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Project North

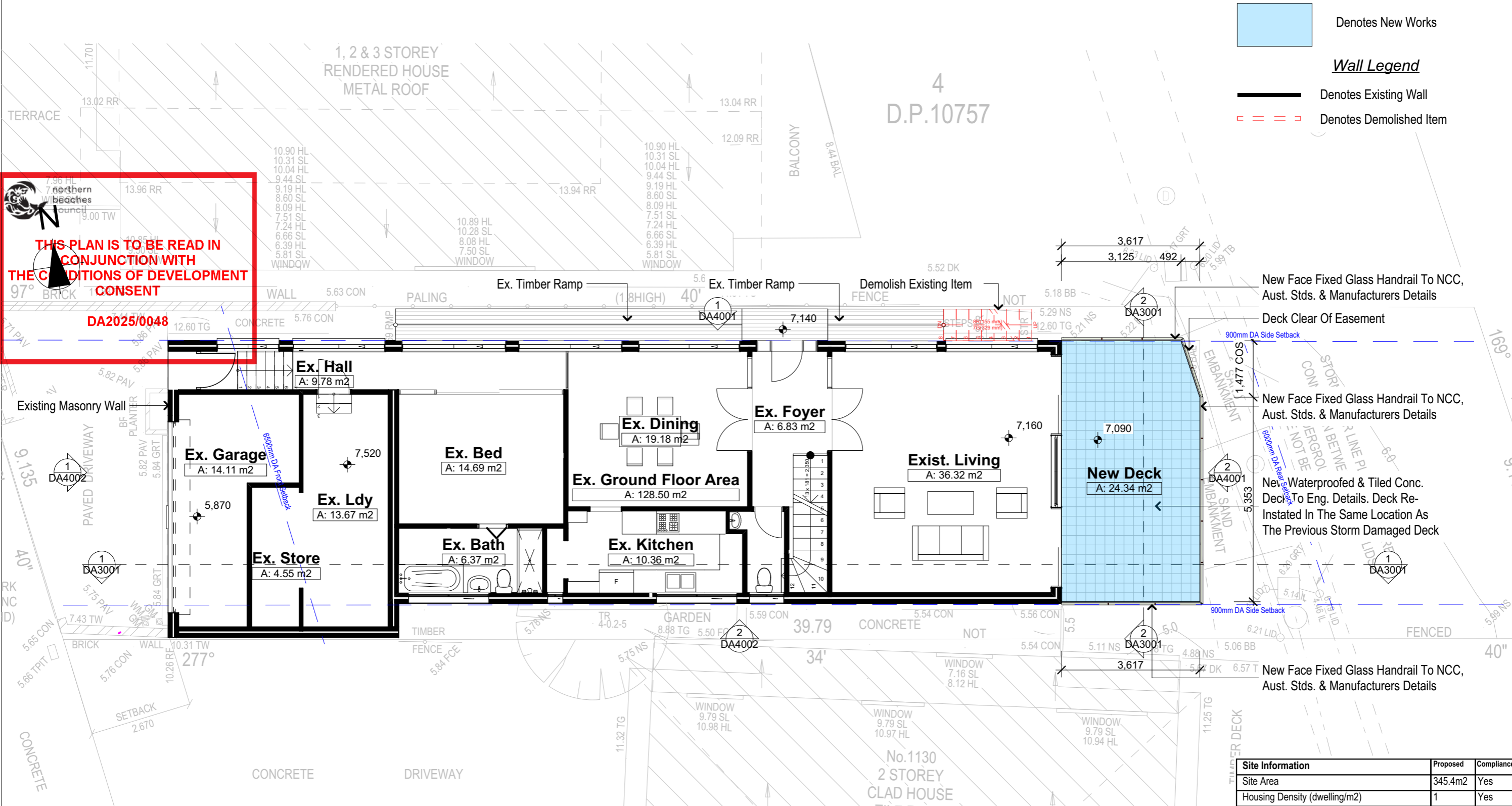


Client
Garry Silk
Project Name
Alterations & Additions
1132 Pittwater Road, Collaroy
2097

Lot 5 D.P.10757
Drawing Title:
Plans - Basement
Basement

Scale: **A3 as noted**
Status: **DA**
Project No.
RP0813SIL

Date: 21-1-2025
Checked By: GBJ
Drawing No.
DA2001



1 Ground Floor Plan 1:100

DA APPLICATION ONLY NOT FOR CONSTRUCTION



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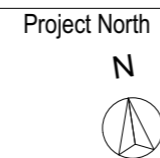
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Construction
Concrete Floor, Masonry Walls
Roof Sheet Metal Roof to have N/A Insulation
Insulation to External Masonry Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

NOTES
1132 Pittwater Road is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
1132 Pittwater Road is not considered a heritage item

Basix
Basix Certificate Number A1780067
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

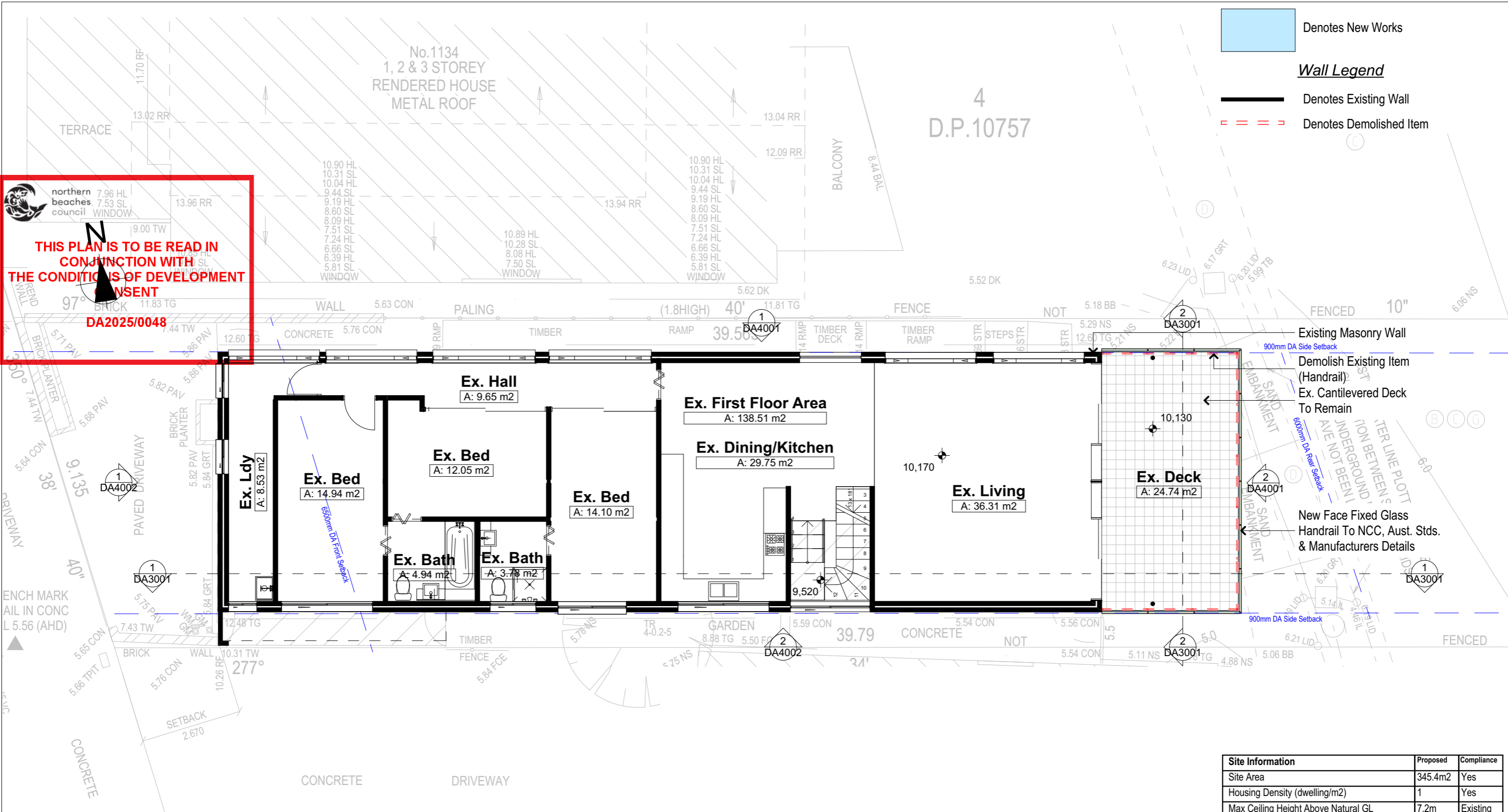


Client
Garry Silk
Project Name
Alterations & Additions
1132 Pittwater Road, Collaroy
2097

Lot 5 D.P.10757
Drawing Title:
Plans - Ground Floor Plan
Ground Floor Plan

Scale: A3 as noted
Status: DA
Project No.
RP0813SIL
Date: 21-1-2025
Checked By: GBJ
Drawing No.
DA2002

Site Information	Proposed	Compliance
Site Area	345.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m2)	270.58m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes



1 First Floor Plan 1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
1132 Pittwater Road is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1132 Pittwater Road is not considered a heritage item

Construction
Concrete Floor, Masonry Walls
Roof Sheet Metal Roof to have N/A Insulation
Insulation to External Masonry Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

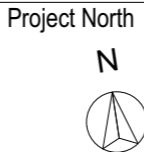
Basix
Basix Certificate Number A1780067
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	345.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope for DA Application	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m2)	270.58m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes



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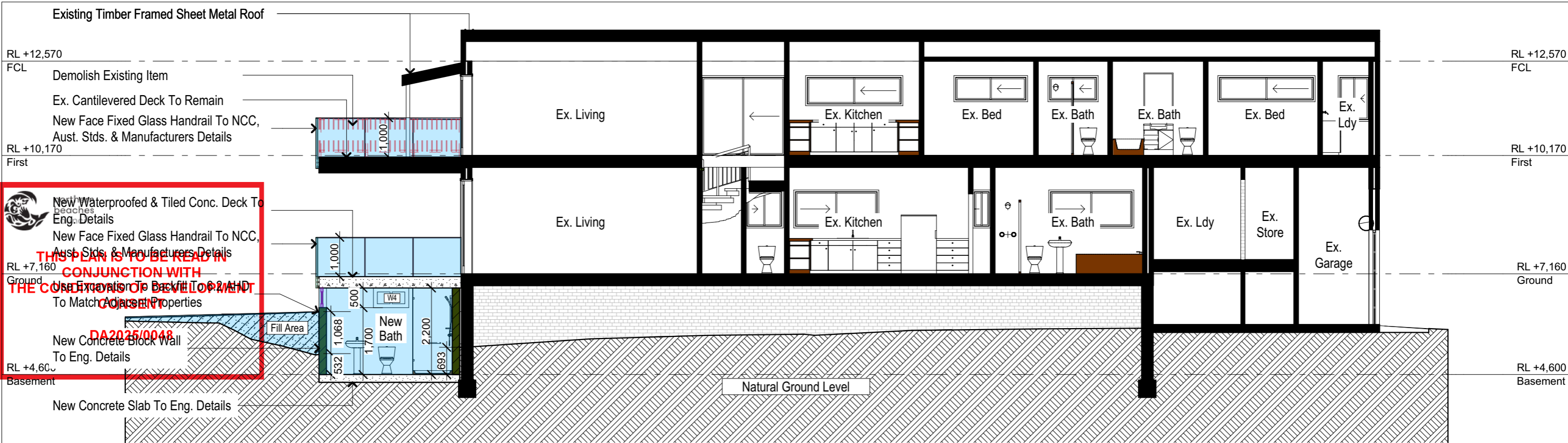


Client
Garry Silk
Project Name
Alterations & Additions
1132 Pittwater Road, Collaroy
2097

Lot 5 D.P.10757
Drawing Title:
Plans - First Floor Plan
First Floor Plan

Scale: A3 as noted
Status: DA
Project No.
RP0813SIL

Date: 21-1-2025
Checked By: GBJ
Drawing No.
DA2003



1

Section 1
1:100

RL +14,650
Roof

RL +14,650
Roof

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/ plasterboard	R1.18 (or R1.70 including construction)	

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Wall

Basix
Basix Certificate Number A1780067
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that: a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
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Site Information	Proposed	Compliance
Site Area	345.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m2)	270.58m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

2

Section 2
1:100

NOTES
1132 Pittwater Road is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1132 Pittwater Road is not considered a heritage item

Construction
Concrete Floor, Masonry Walls
Roof Sheet Metal Roof to have N/A Insulation
Insulation to External Masonry Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps



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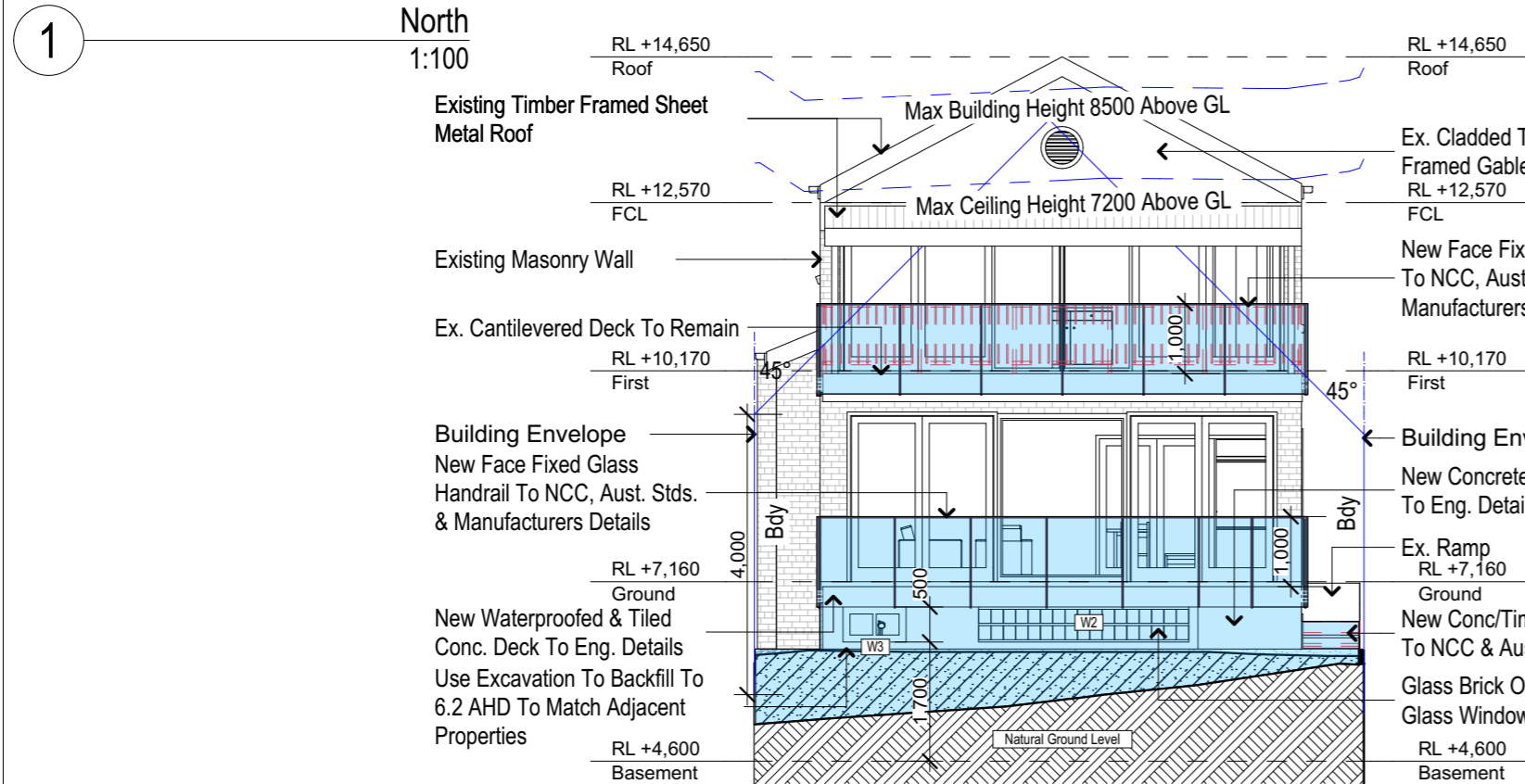
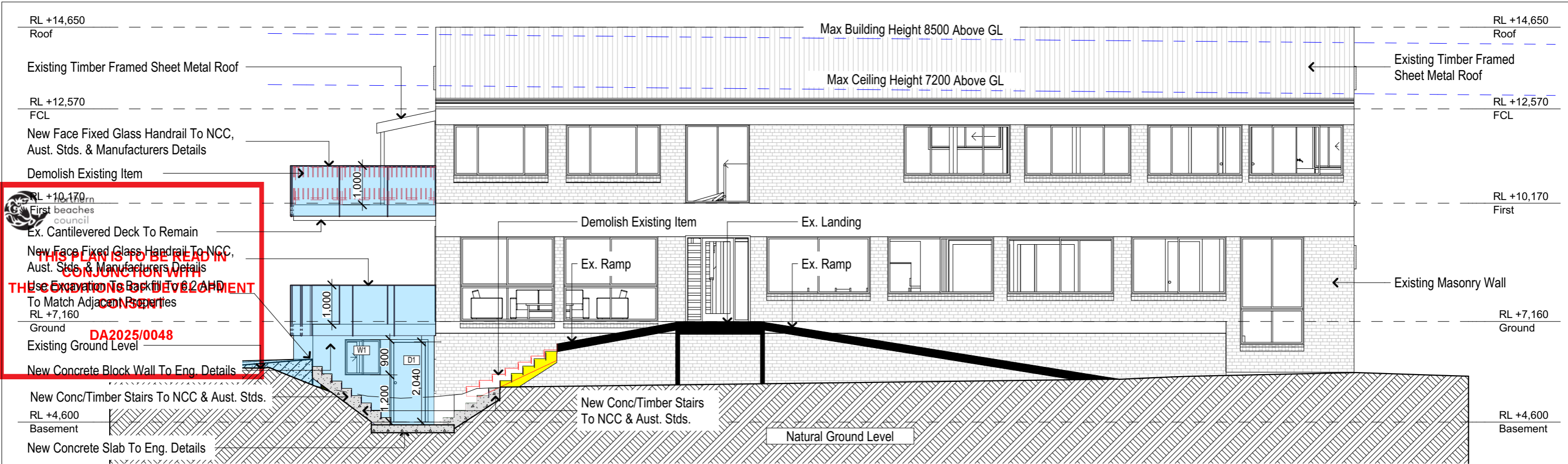


Client
Garry Silk
Project Name
Alterations & Additions
1132 Pittwater Road, Collaroy
2097

Lot 5 D.P.10757
Drawing Title:
Sections - Section 1
Section 1, Section 2

Scale: A3 as noted
Status: DA
Project No.
RP0813SIL

Date: 21-1-2025
Checked By: GBJ
Drawing No.
DA3001



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	N/A
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	

- Denotes New Works
- Denotes New Timber Framed Stair
- Denotes Demolished Item

Basix
Basix Certificate Number A1780067
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Site Information	Proposed	Compliance
Site Area	345.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Existing
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6.5m	Existing
Rear Setback (Min.)	6.0m	Existing
Minimum side boundary setback (Min.)	900mm	Existing
Building envelope	4m@45Deg	Existing
% of landscape open space (40% min)	Existing	Existing
Impervious area (m2)	270.58m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

2

East
1:100

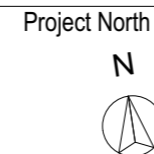
NOTES
1132 Pittwater Road is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1132 Pittwater Road is not considered a heritage item

Construction
Concrete Floor, Masonry Walls
Roof Sheet Metal Roof to have N/A Insulation
Insulation to External Masonry Walls R1.7
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps



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Client
Garry Silk
Project Name
Alterations & Additions
1132 Pittwater Road, Collaroy
2097

Lot 5 D.P.10757
Drawing Title:
Elevations - Elevation 1
North, East

Scale: A3 as noted
Status: DA
Project No.
RP0813SIL

Date: 21-1-2025
Checked By: GBJ
Drawing No.
DA4001



White Alloy Window To Match Existing (Typical). Owner To Confirm Type & Colour

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0048



Glass Brick Or Toughened Glass Window (Typical). Owner To Confirm Type & Colour

Tiled Deck (Typical). Owner To Confirm Type & Colour



Rendered Wall (Typical). Owner To Confirm Type & Colour

Face Fixed Glas Balustrade (Typical). Owner To Confirm Type & Colour



DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
1132 Pittwater Road is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
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Construction
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Max Building Height Above Natural GL	8.5m	Existing
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Rear Setback (Min.)	6.0m	Existing
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Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	1.1m	Yes
Number of car spaces provided	2	Yes