

SITE RATIOS - EXISTING:		
SITE AREA	701.90m <sup>2</sup>	
BUILDING FOOTPRINT	155.34m <sup>2</sup>	
CARPORT	29.88m <sup>2</sup>	
FRONT PORCH	4.14m <sup>2</sup>	
SHED	2.67m <sup>2</sup>	
PAVED AREAS AND DRIVEWAY	95.79m <sup>2</sup>	
AREAS UNDER 2m WIDE	17.70m <sup>2</sup>	
SUM TOTAL	305.52m <sup>2</sup>	
EXISTING LANDSCAPED AREA	396.38m <sup>2</sup>	56.5%

SITE RATIOS - PROPOSED:		
SITE AREA	701.90m <sup>2</sup>	
BUILDING FOOTPRINT	155.34m <sup>2</sup>	
GARAGE	32.51m <sup>2</sup>	
FRONT PORCH	4.14m <sup>2</sup>	
PAVED AREAS AND DRIVEWAY	93.16m <sup>2</sup>	
AREAS UNDER 2m WIDE	20.37m <sup>2</sup>	
SUM TOTAL	305.52m <sup>2</sup>	
EXISTING LANDSCAPED AREA	396.38m <sup>2</sup>	56.5%
REQUIRED LANDSCAPE SPACE	40%	

 **northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0806**

**NOTES**

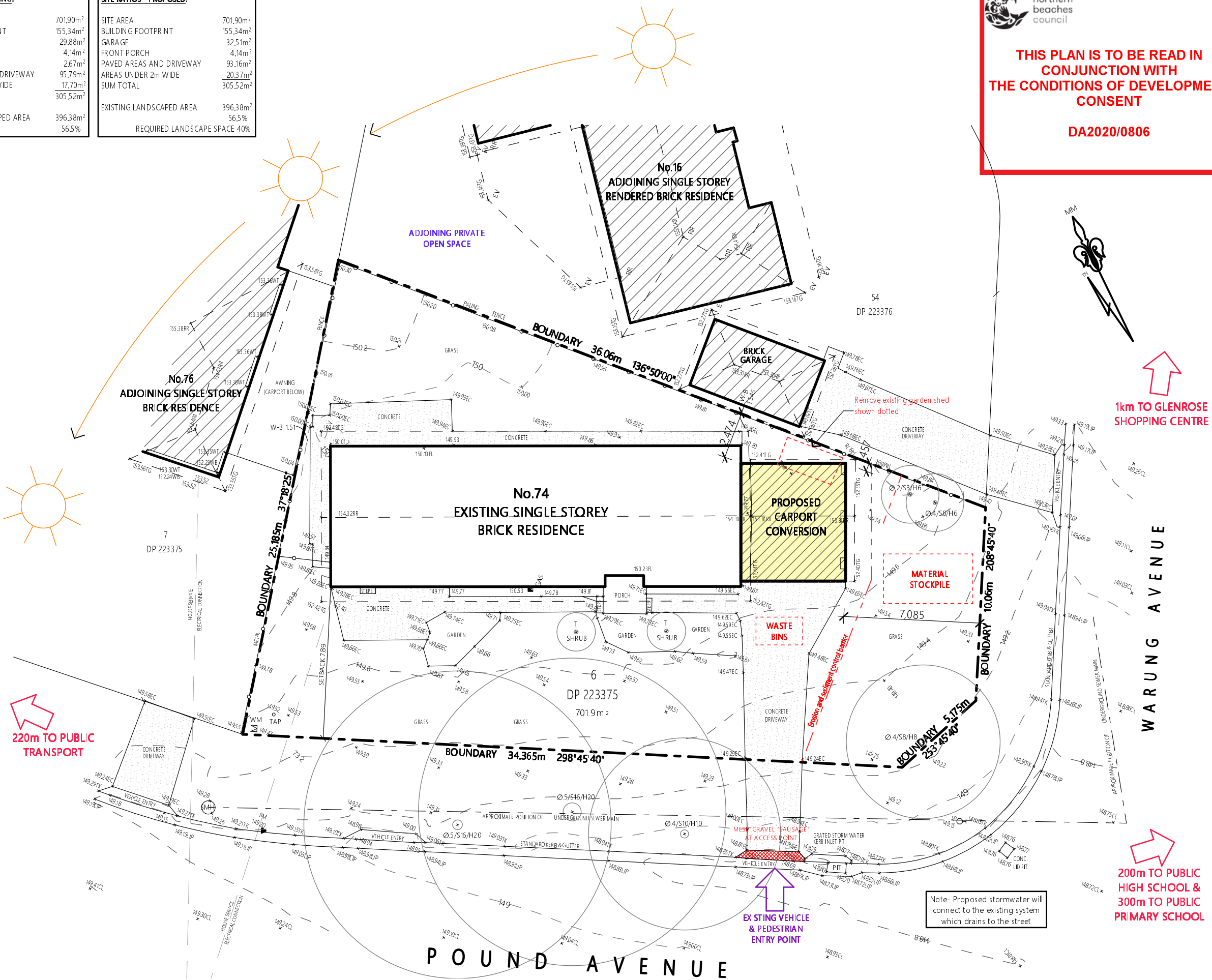
All work is to comply with the Building Code of Australia, the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.

Finished ground levels on the plan are subject to site conditions.

Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.

All figured dimensions to be checked on site.



**1 SITE PLAN 1:200**

**& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT**

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Client

**MR. & MRS. DAVIES**

Project Name

**PROPOSED ALTERATIONS + ADDITIONS**

**74 POUND AVENUE**

**LOT 6, DP 223375**

**FRENCHS FOREST NSW 2086**

**JAH**

**DESIGN SERVICES**

ABN 22 630 690 834

9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086

P.H. 0410 410 064 EMAIL: juke@jahdesigns.com.au

Drawing Title:

**SITE PLAN**

Scale: 1:200 @ A3 Date: JULY 2020

Status: DA submission Checked By: JAH

Project No: 2016 Drawing No.: DA01

Plot Date: 14/07/2020



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CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0806**

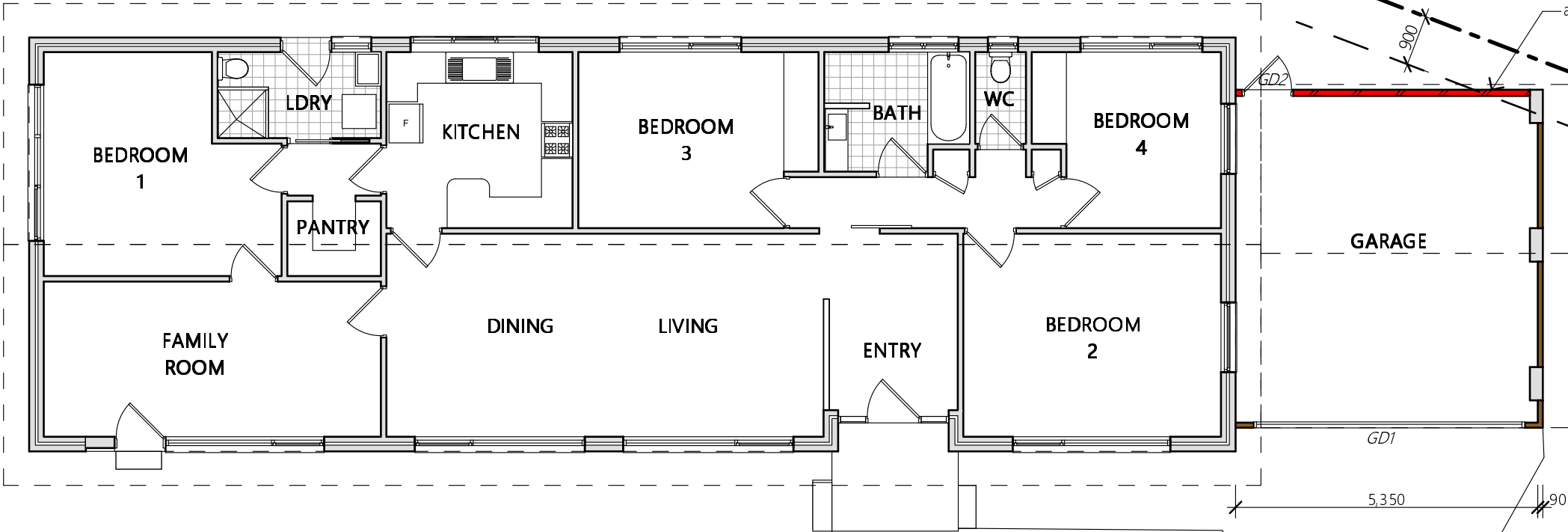
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**DOOR SCHEDULE**

GD 1 4800w x 2400h Selected Panel lift Garage Door  
GD 2 900w x 2100h Selected Timber Framed Solid Core Door

Note: The Builder shall check measure all windows and doors on site prior to ordering.



Walls within 900mm of the boundary to be constructed with an FRL 60/60/60 in accordance with the National Building Code



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Project Name

**PROPOSED ALTERATIONS + ADDITIONS  
74 POUND AVENUE  
LOT 6, DP 223375  
FRENCHS FOREST NSW 2086**



Drawing Title:

**PROPOSED FLOOR PLAN**

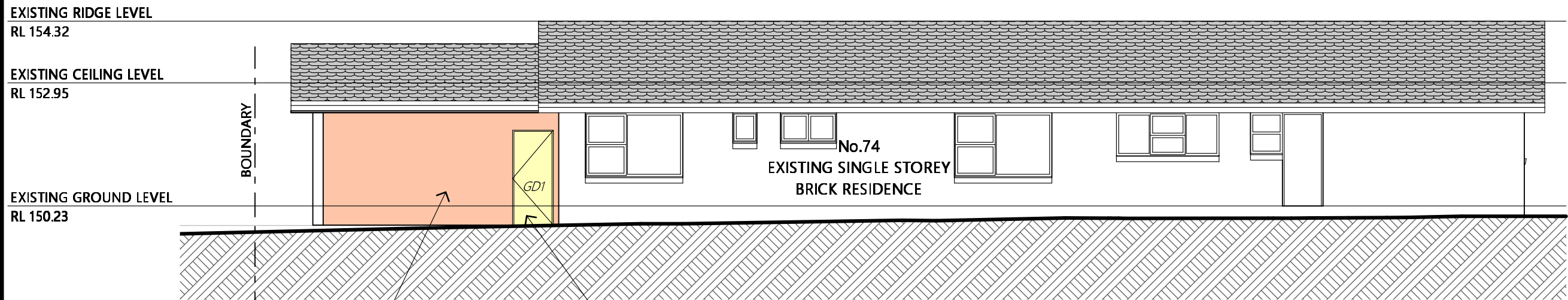
Scale: 1:100 @ A3	Date: JULY 2020
Status: DA submission	Checked By: JAH
Project No: 2016	Drawing No.: DA03

Plot Date: 14/07/2020

**1 PROPOSED FLOOR PLAN 1:100**



1 SOUTH ELEVATION 1:100



2 NORTH ELEVATION 1:100

#### NOTES

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#### Client

**MR. & MRS. DAVIES**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**74 POUND AVENUE**  
**LOT 6, DP 223375**  
**FRENCHS FOREST NSW 2086**



#### Drawing Title:

**NORTH & SOUTH ELEVATIONS**

Scale:	1:100 @ A3	Date:	JULY 2020
Status:	DA submission	Checked By:	JAH
Project No.:	2016	Drawing No.:	DA04

Plot Date: 14/07/2020

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CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0806**

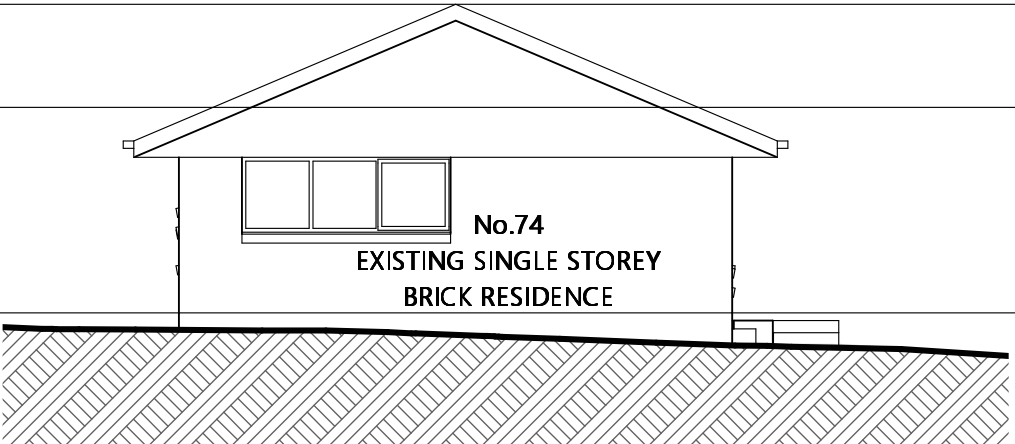
**NOTES**

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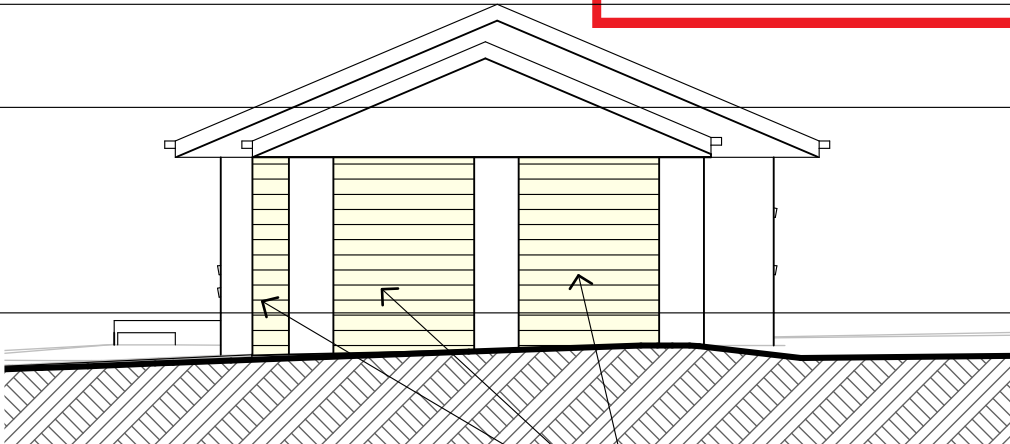
EXISTING RIDGE LEVEL  
RL 154.32

EXISTING CEILING LEVEL  
RL 152.95

EXISTING GROUND LEVEL  
RL 150.23



NO CHANGES TO EXISTING  
WEST ELEVATION



1

WEST ELEVATION

1:100

2

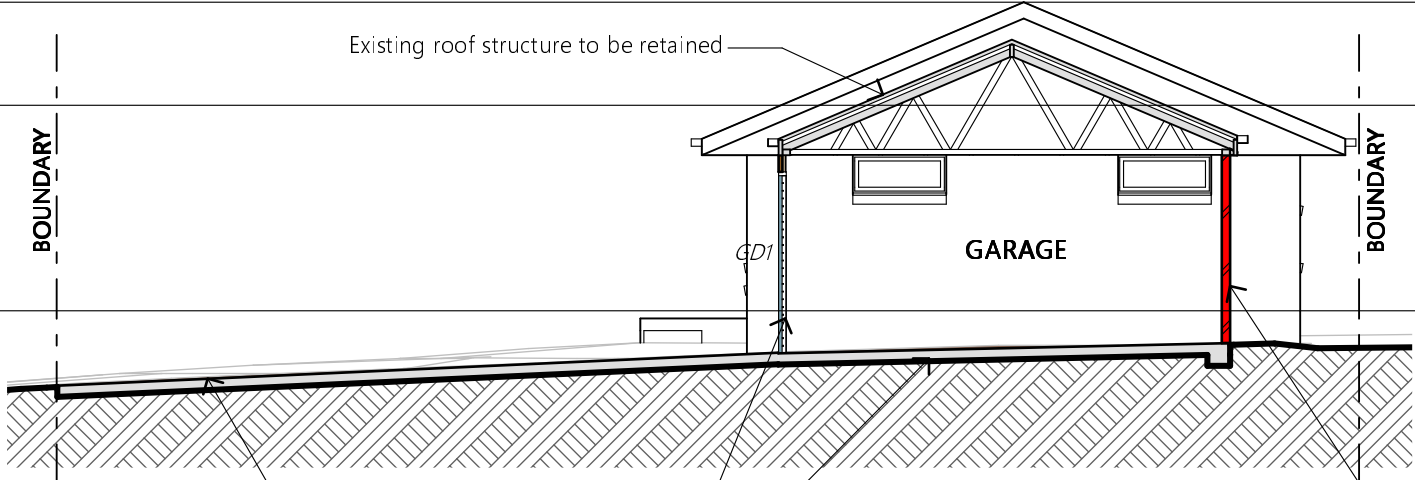
EAST ELEVATION

1:100

EXISTING RIDGE LEVEL  
RL 154.32

EXISTING CEILING LEVEL  
RL 152.95

EXISTING GROUND LEVEL  
RL 150.23



3

SECTION A-A

1:100

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Project Name

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**74 POUND AVENUE**

**LOT 6, DP 223375**

**FRENCHS FOREST NSW 2086**

**JAH**  
**DESIGN SERVICES**  
ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 0410 410 064 EMAIL: jule@jahdesigns.com.au

Drawing Title:

**ELEVATIONS & SECTION A-A**

Scale:

1:100 @ A3

Date:

JULY 2020

Status:

DA submission

Checked By:

JAH

Project No:

**2016**

Drawing No.:

**DA05**

Plot Date:

14/07/2020

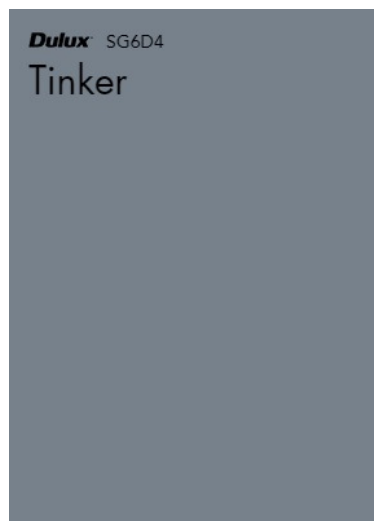


# SCHEDULE OF MATERIALS & FINISHES

**74 POUND AVENUE, FRENCHS FOREST**



COLORBOND "BASALT"  
Garage Door



DULUX "TINKER"  
Selected wall cladding