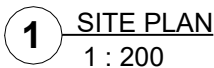


DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	11/07/2022	NF
B	CHANGES AS PER EMAIL 13/07/2022	21/4/07/2022	NF
C	DA SUBMISSION	09/08/2022	MO

- **FRONT SETBACK IS TO BE AT LEAST:
6.5 m**
- **SIDE SETBACK IS TO BE AT LEAST:
.9m TO ONE SIDE
.9m TO THE OTHER SIDE**
- **REAR SETBACK IS TO BE AT LEAST:
6m**



0m 1m 2m 3m 4m 5m 10m

SCALE BAR 1:200

CUSTOM DESIGN

© COPYRIGHT EXCLUSIVE
TO G.J. GARDNER HOMES

CLIENT: NEW DWELLING
ELENA KOROLKOVA

DRAWING TITLE:
SITE PLAN

SCALE: 1 : 200

e

WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

REFER TO SPECIFICATION FOR COLOUR SELECTION, FINAL LAYOUT & FINISHES OF BATHROOM AND LAUNDRY

WALL & ROOF CLADDING.

WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2019 Vol 2 Pt 3.5 OF THE BUILDING CODE OF AUSTRALIA PARTICULARLY WITH RESPECT TO THE REFERENCING ACCEPTABLE CONSTRUCTION PRACTICE AS DETAILED IN THE BCA FOR PRODUCT MATERIALS AND INSTALLATION.

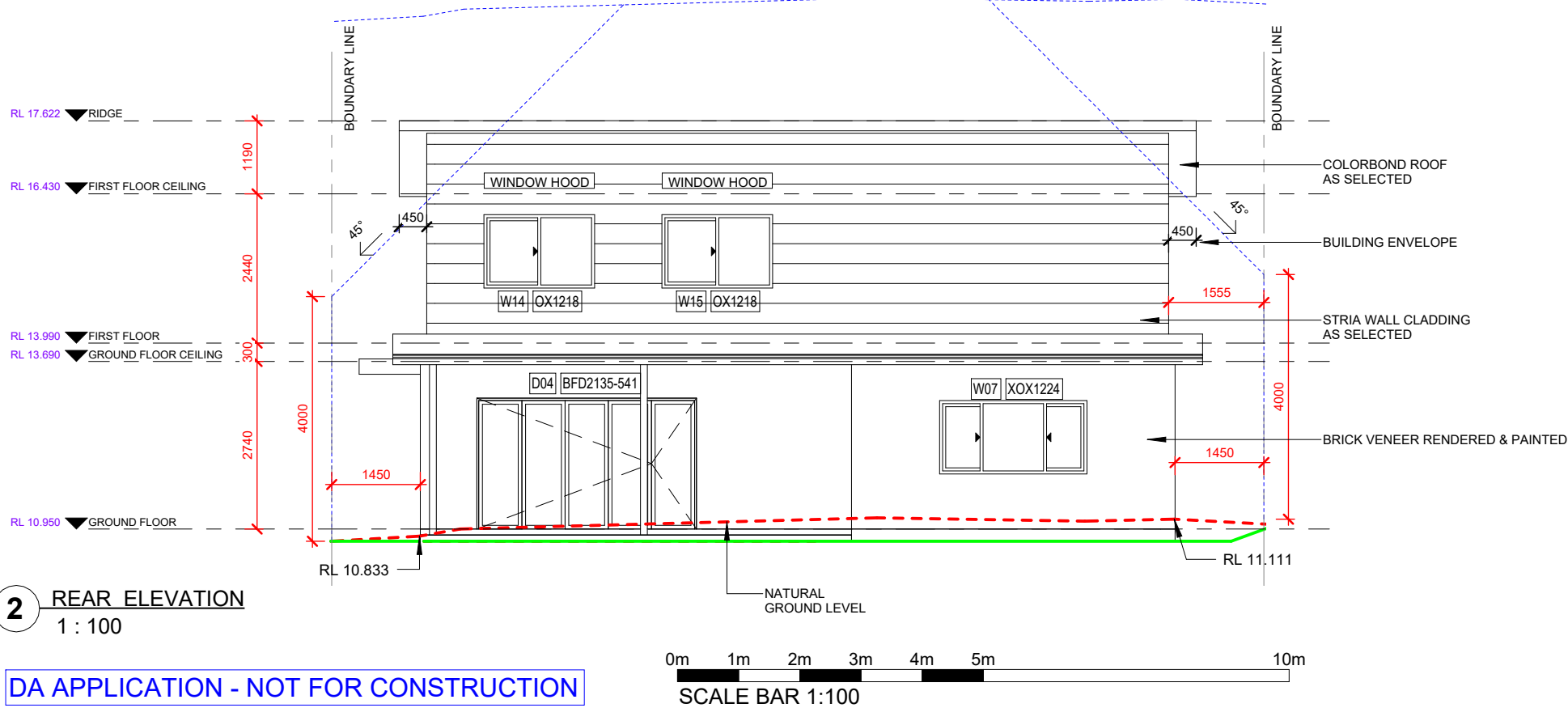
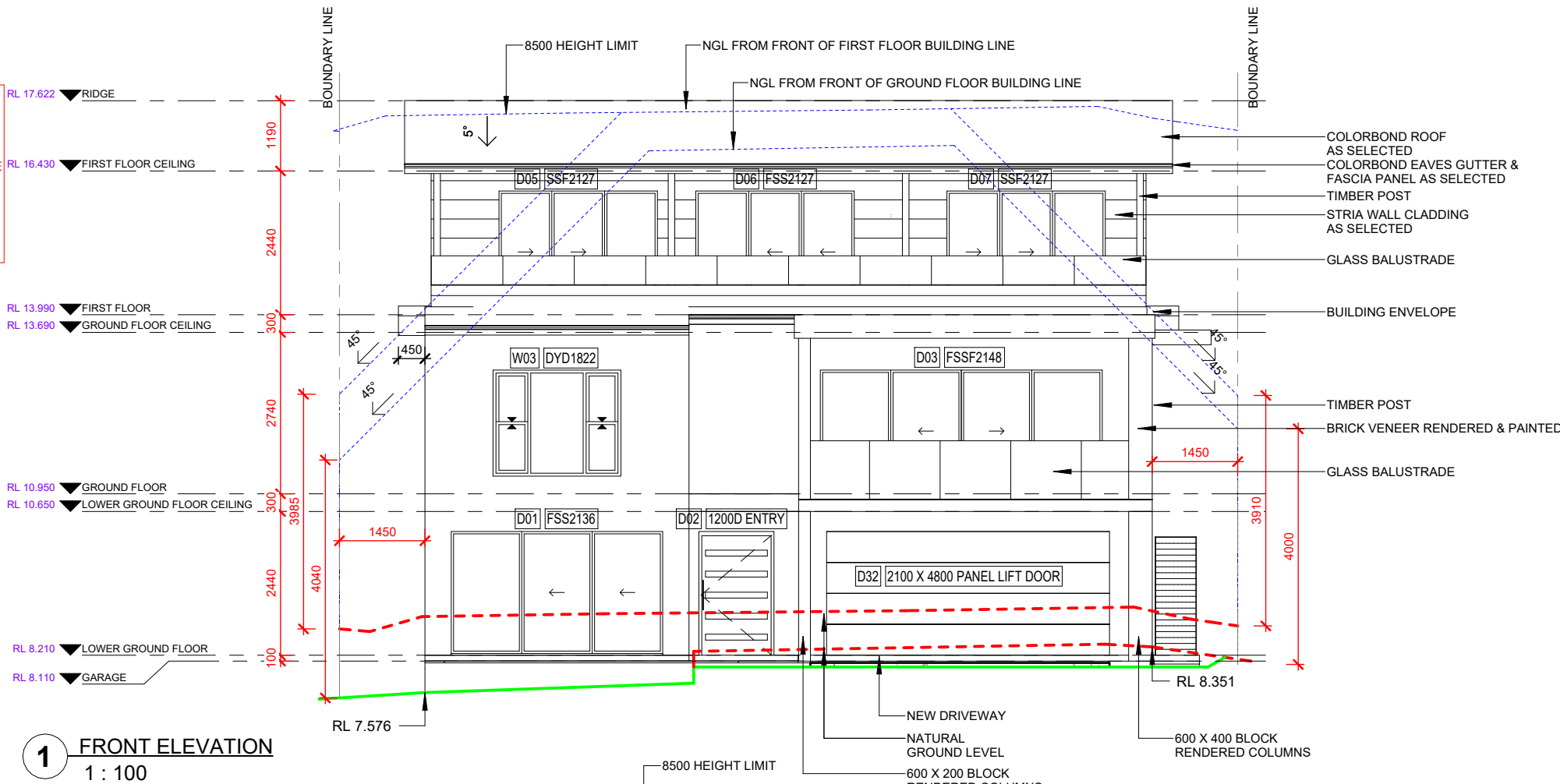
IMPORTANT NOTE:
ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE PCA FOR CONCURRENCE.

BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS MORE THAN 4 METRES.

WINDOWS

PROVIDE 1.7m SILL HEIGHT OR CHILD SAFE LOCKS / SCREENS TO COMPLY WITH NCC/BCA Part 3.9.2



DA APPLICATION - NOT FOR CONSTRUCTION



DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	11/07/2022	NF
B	CHANGES AS PER EMAIL 13/07/2022	21/07/2022	NF
C	DA SUBMISSION	09/08/2022	MO

DOOR SCHEDULE		
MARK	WIDTH	HEAD HT
D01	3588	2130
D02	1200	2100
D03	4784	2130
D04	3590	2140
D05	2688	2130
D06	2688	2130
D07	2688	2130
Grand Total: 7		

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	HEAD HT
W01	1810	860	2100
W02	850	400	2100
W03	2170	1800	2100
W04	2650	1200	2100
W05	2650	1200	2100
W06	2650	1200	2100
W07	2410	1200	2100
W08	610	1200	2100
W09	850	1200	2100
W10	2410	1200	2100
W11	610	860	2100
W12	610	860	2100
W13	2410	1030	2100
W14	1810	1200	2100
W15	1810	1200	2100
W16	1210	1030	2100
W17	610	1030	2100
Grand Total: 17			

PROPOSED FLOOR SPACES		
AREA NAME	AREA	%

LOWER GROUND FLOOR		
GARAGE	35 m ²	8%
HABITABLE AREA	63 m ²	14%
PORCH	10 m ²	2%

GROUND FLOOR		
ALFRESCO	23 m ²	5%
BALCONY	18 m ²	4%
HABITABLE AREA	169 m ²	37%
VOID	8 m ²	2%

FIRST FLOOR		
BALCONY	17 m ²	4%
HABITABLE AREA	111 m ²	24%
VOID	4 m ²	1%
TOTAL AREAS	457 m ²	100%

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G.J. Gardner. HOMES
Builders Details

CUSTOM DESIGN
© COPYRIGHT EXCLUSIVE
TO G.J. GARDNER HOMES

DRAFTERS:
KJR
SUIITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: NEW DWELLING
ELENA KOROLKOVA
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
**891 PITTWATER ROAD
COLLARROY NSW 2097**

SHEET SIZE: **A3** SHEET No: **A08** REVISION: **C**
DATE: **09/08/2022**
JOB NO: 230370 STAGE: DA
DRAWN: NF GJGN197

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:

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BALUSTRADES - NCC/BCA Part 3.9

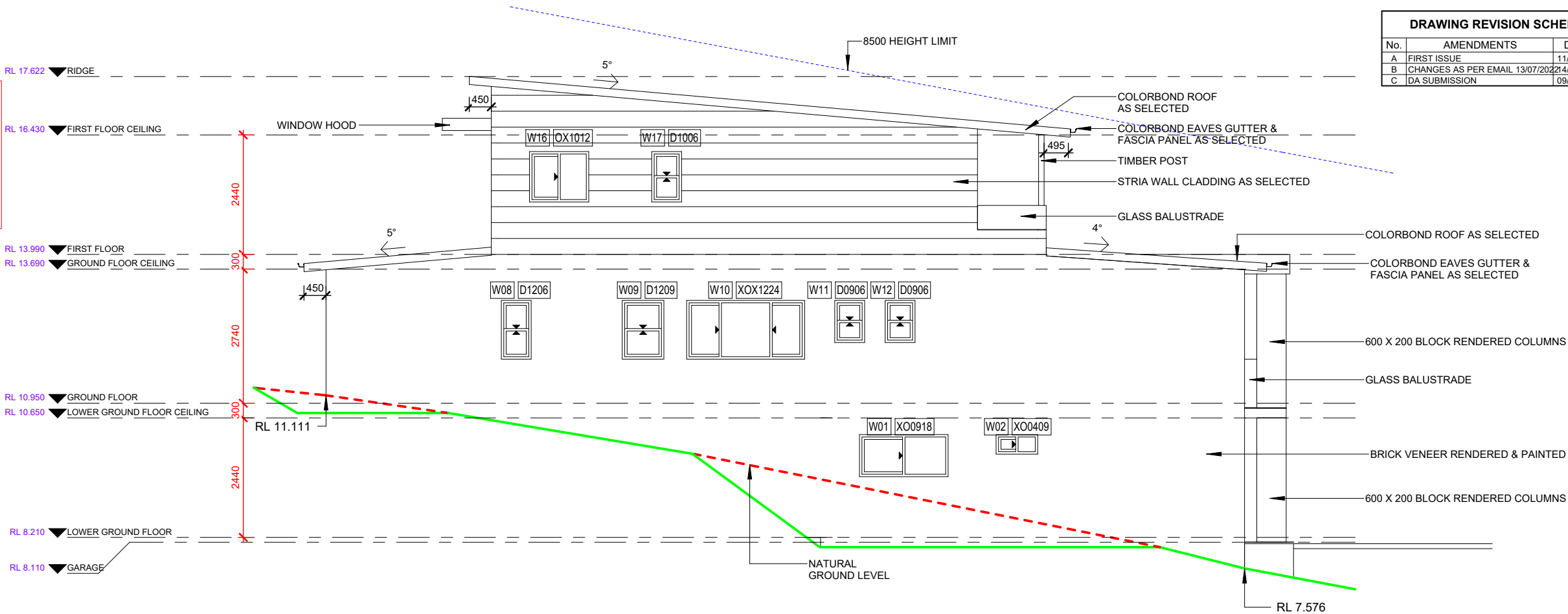
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WINDOWS

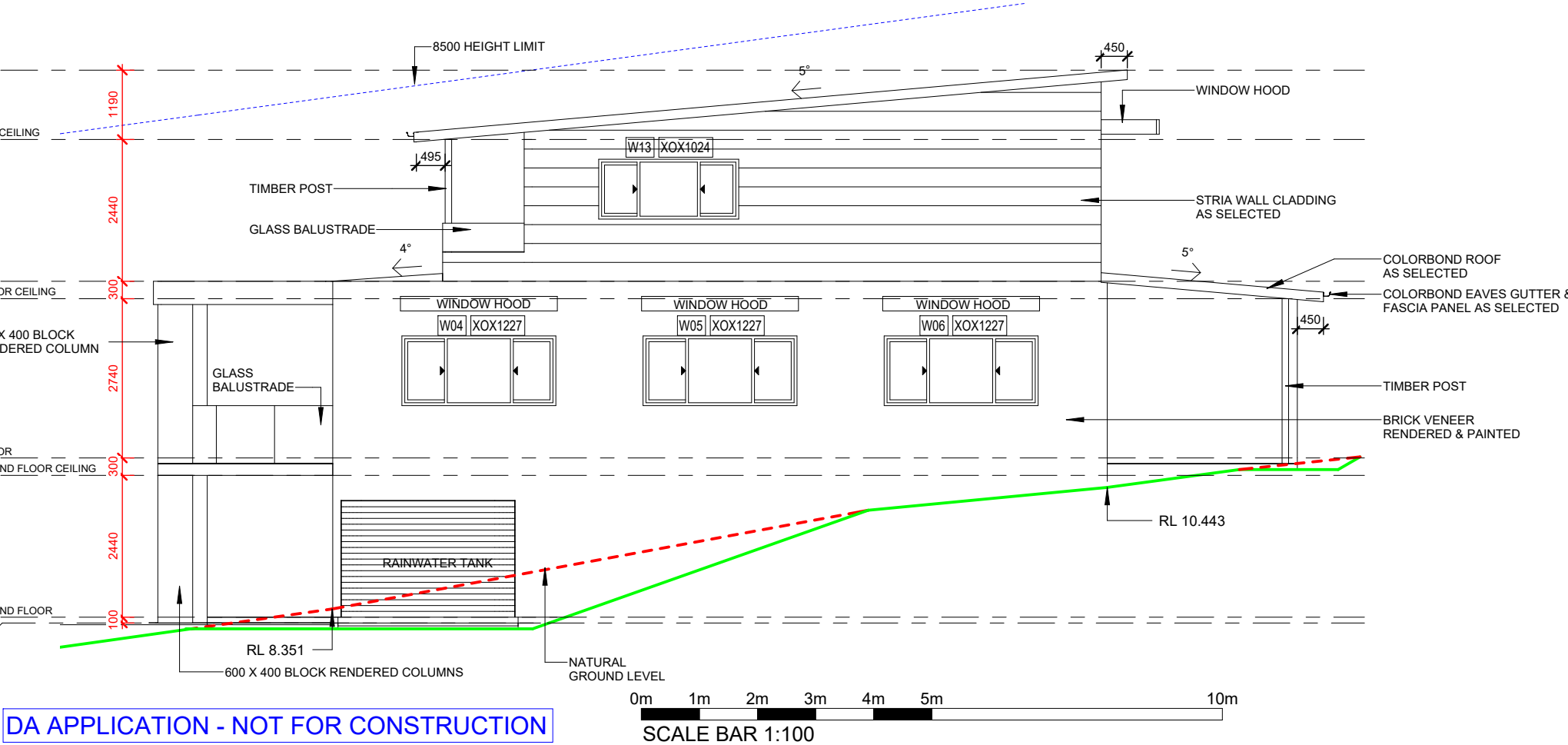
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DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	11/07/2022	NF
B	CHANGES AS PER EMAIL 13/07/2022	24/07/2022	NF
C	DA SUBMISSION	09/08/2022	MO

1 SIDE ELEVATION 1
1 : 100



2 SIDE ELEVATION 2
1 : 100



PROPOSED FLOOR SPACES		
AREA NAME	AREA	%

LOWER GROUND FLOOR		
GARAGE	35 m ²	8%
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PORCH	10 m ²	2%

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ALFRESCO	23 m ²	5%
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BALCONY	17 m ²	4%
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DA APPLICATION - NOT FOR CONSTRUCTION

SCALE BAR 1:100