

NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

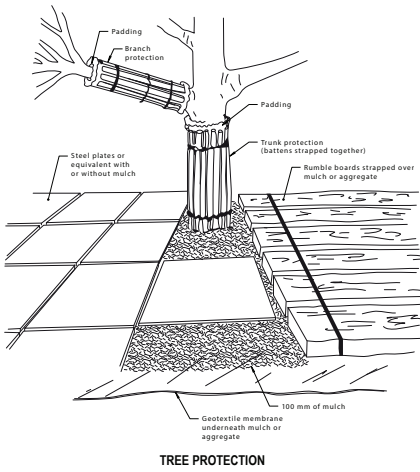
DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



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DA2021/2268

1 SITE/ ROOF/ SEDIMENT EROSION/ STORMWATER CONCEPT/ WASTE MANAGEMENT PLAN 1:200

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LEGEND
EXISTING
PROPOSED
DEMOLISHED

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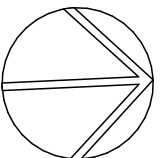
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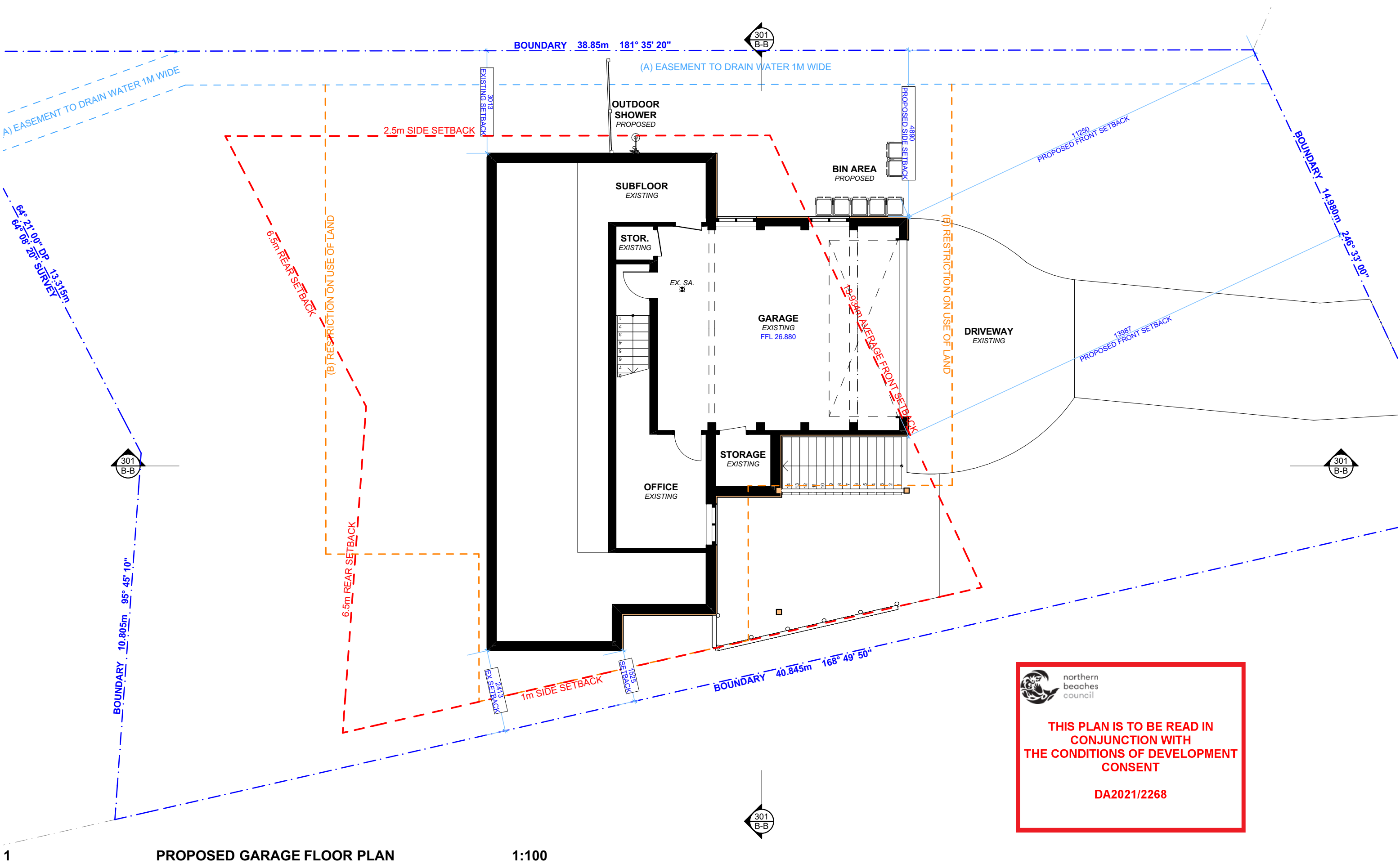
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DA04

DATE
Thursday, 18
November 2021

DRAWING NAME
SITE / ROOF / SEDIMENT EROSION /
WASTE MANAGEMENT /
STORMWATER CONCEPT PLAN

SCALE
1:200 @A3





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DA08

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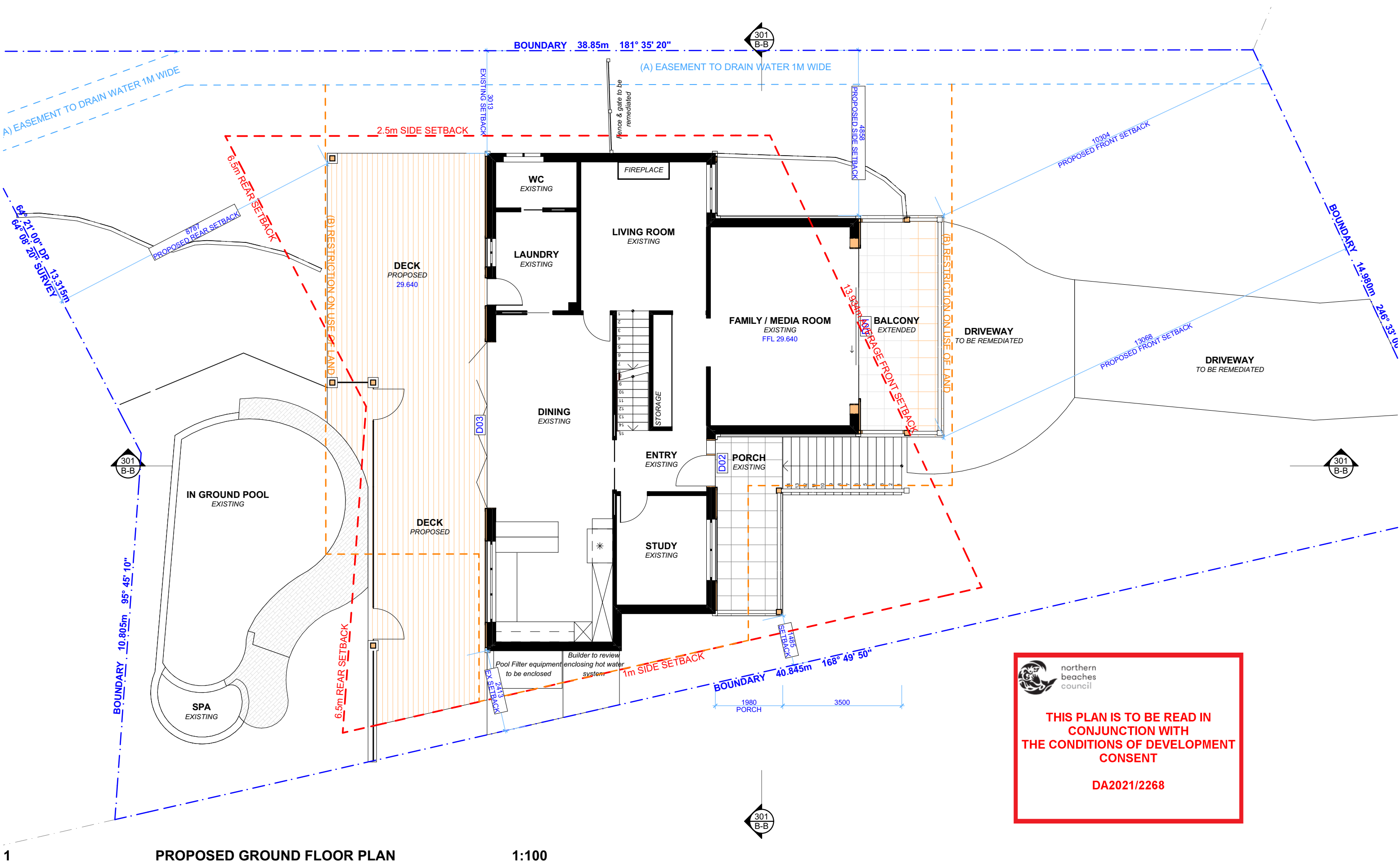
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PROPOSED GARAGE FLOOR PLAN

SCALE

1:100 @A3



1 PROPOSED GROUND FLOOR PLAN 1:100



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LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED

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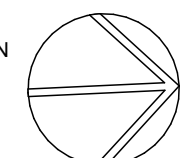
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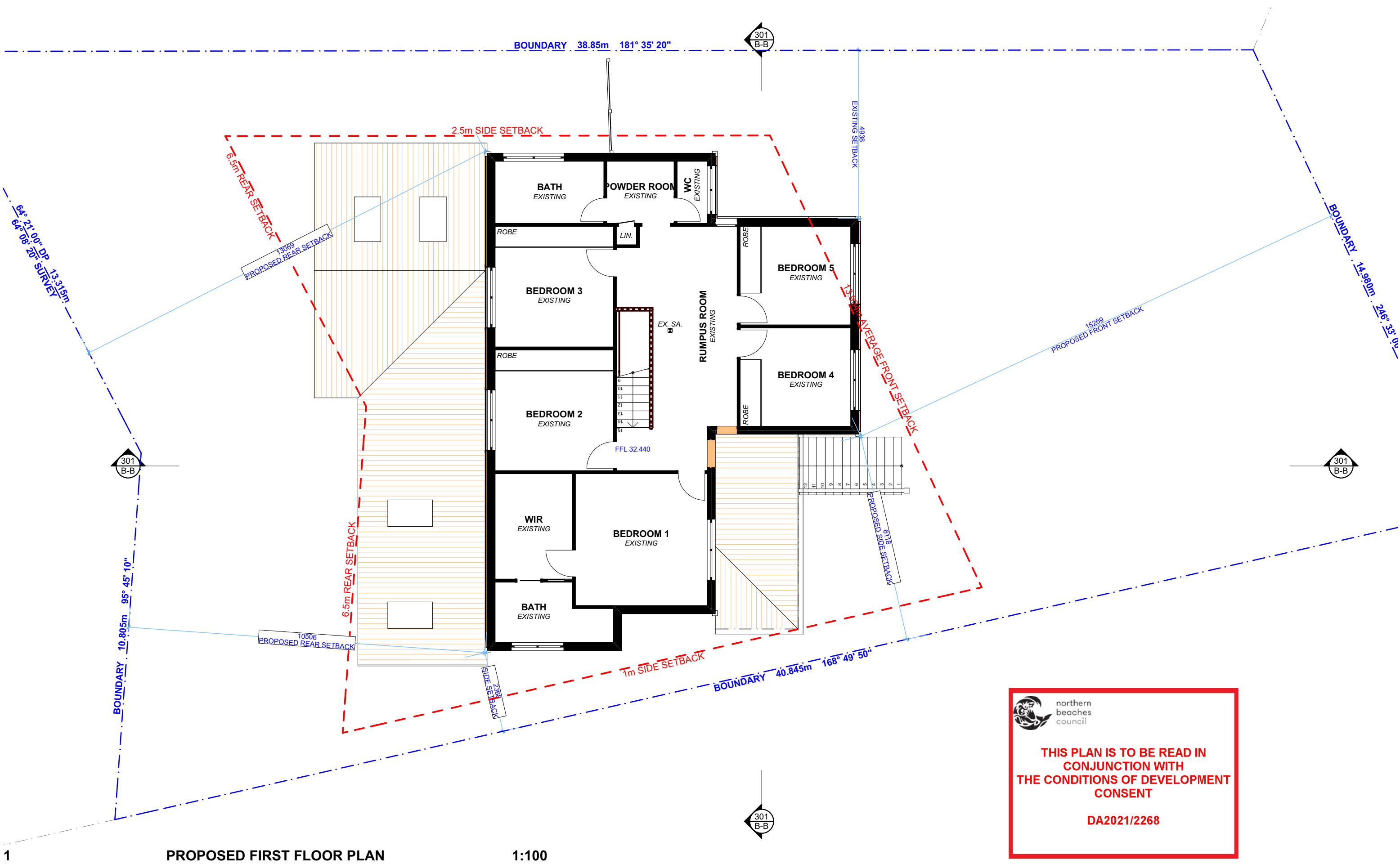
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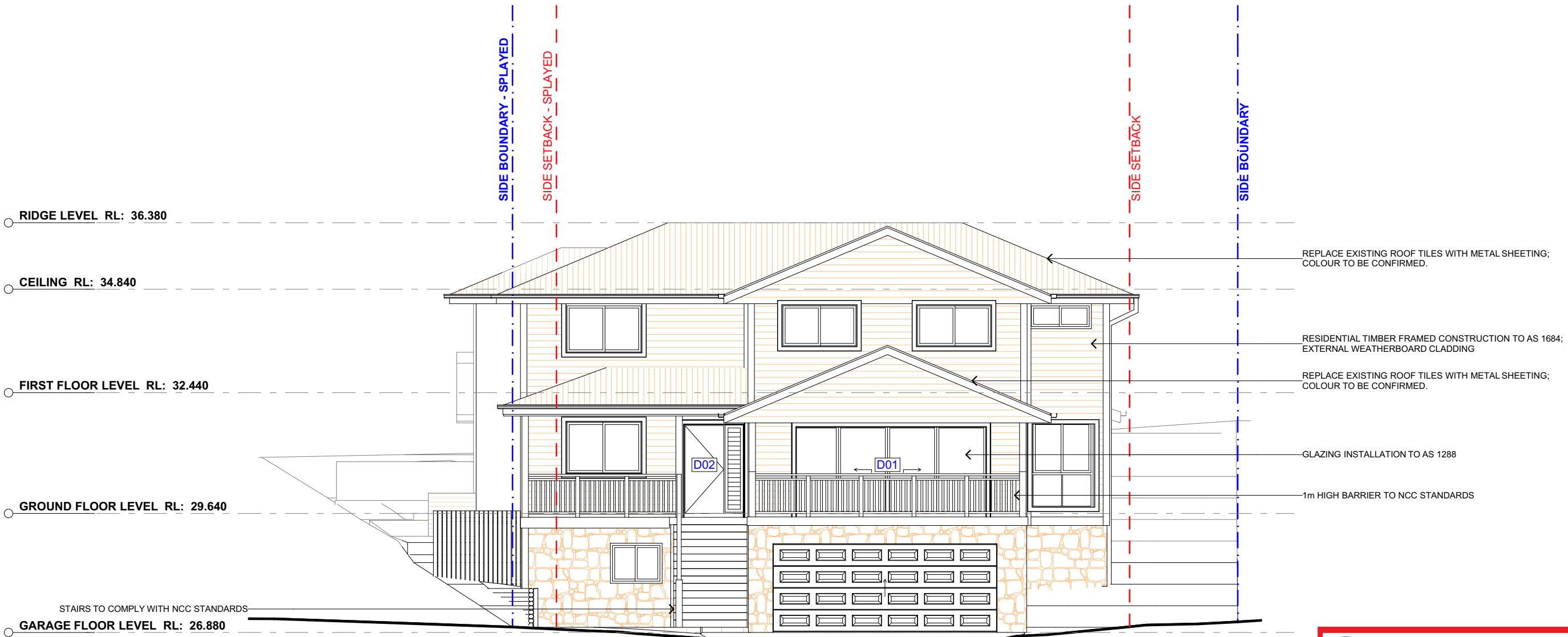
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PROPOSED GROUND FLOOR PLAN

SCALE
1:100 @A3





PROPOSED FIRST FLOOR PLAN 1:100





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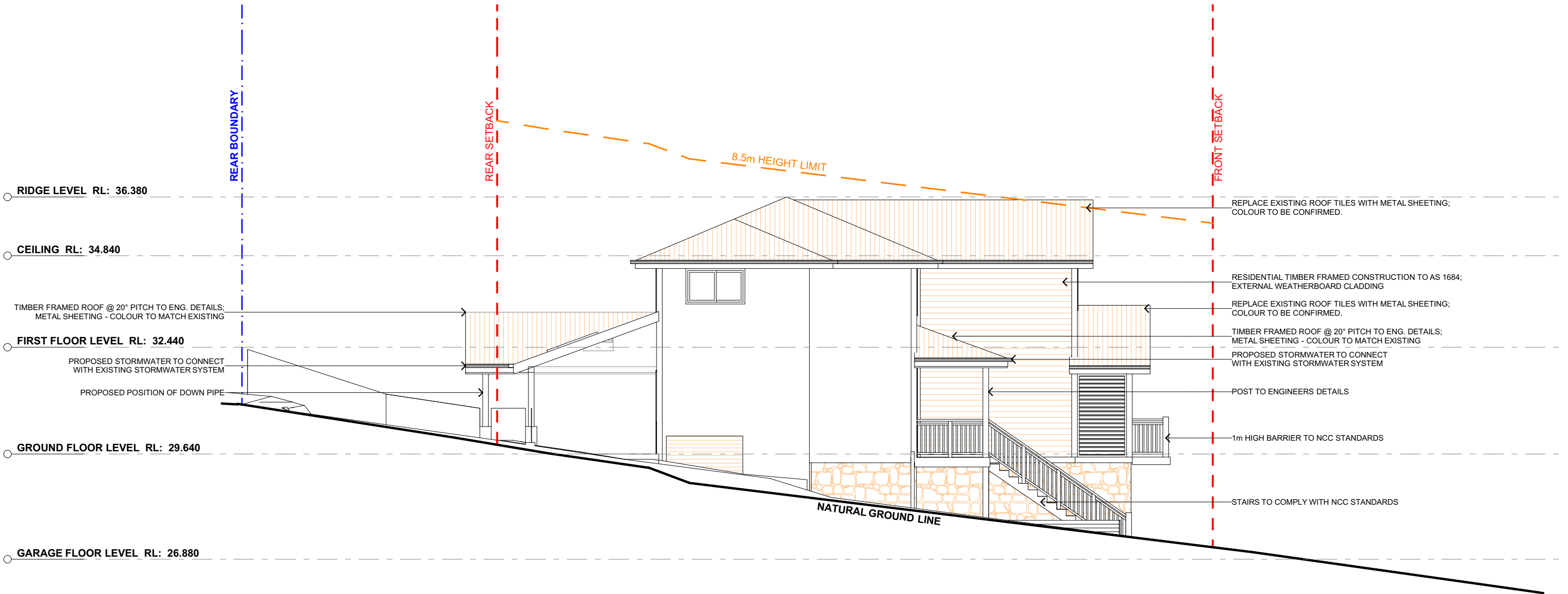
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1

NORTH ELEVATION - PRIMARY ROAD

1:100

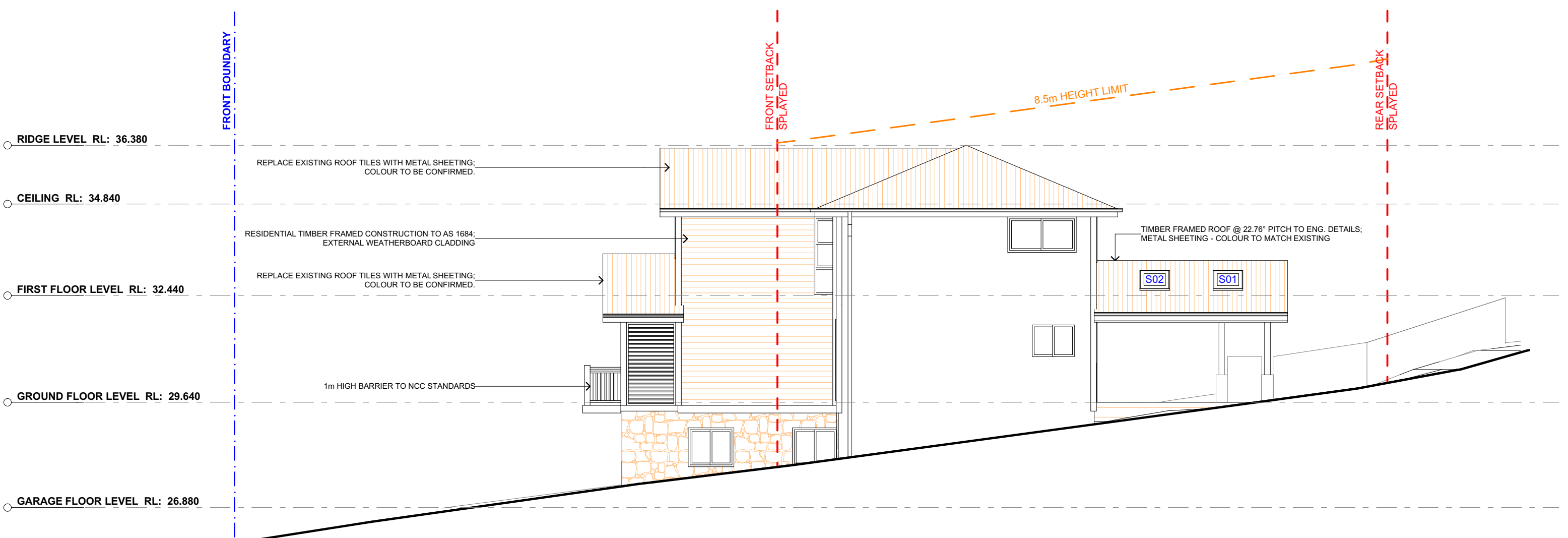


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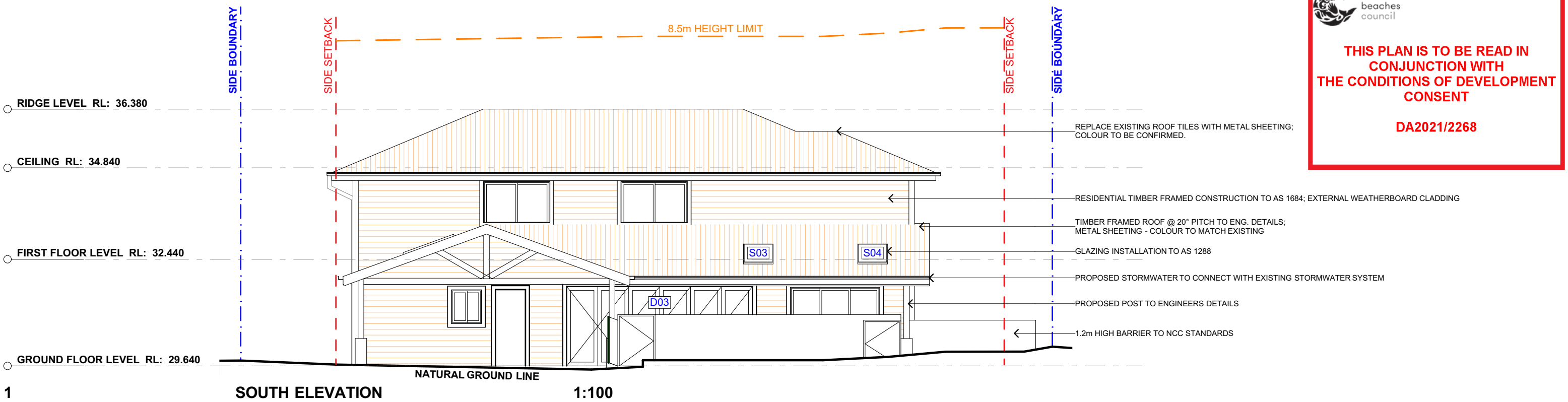
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1 EAST ELEVATION 1:100



2 WEST ELEVATION 1:100




1 SOUTH ELEVATION 1:100



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LEGEND

- NEW FLOOR AREA
- METAL ROOFING
- TILED ROOFING
- TIMBER

EXISTING

DEMOLISHED

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DRAWING NO.

DA13

DATE

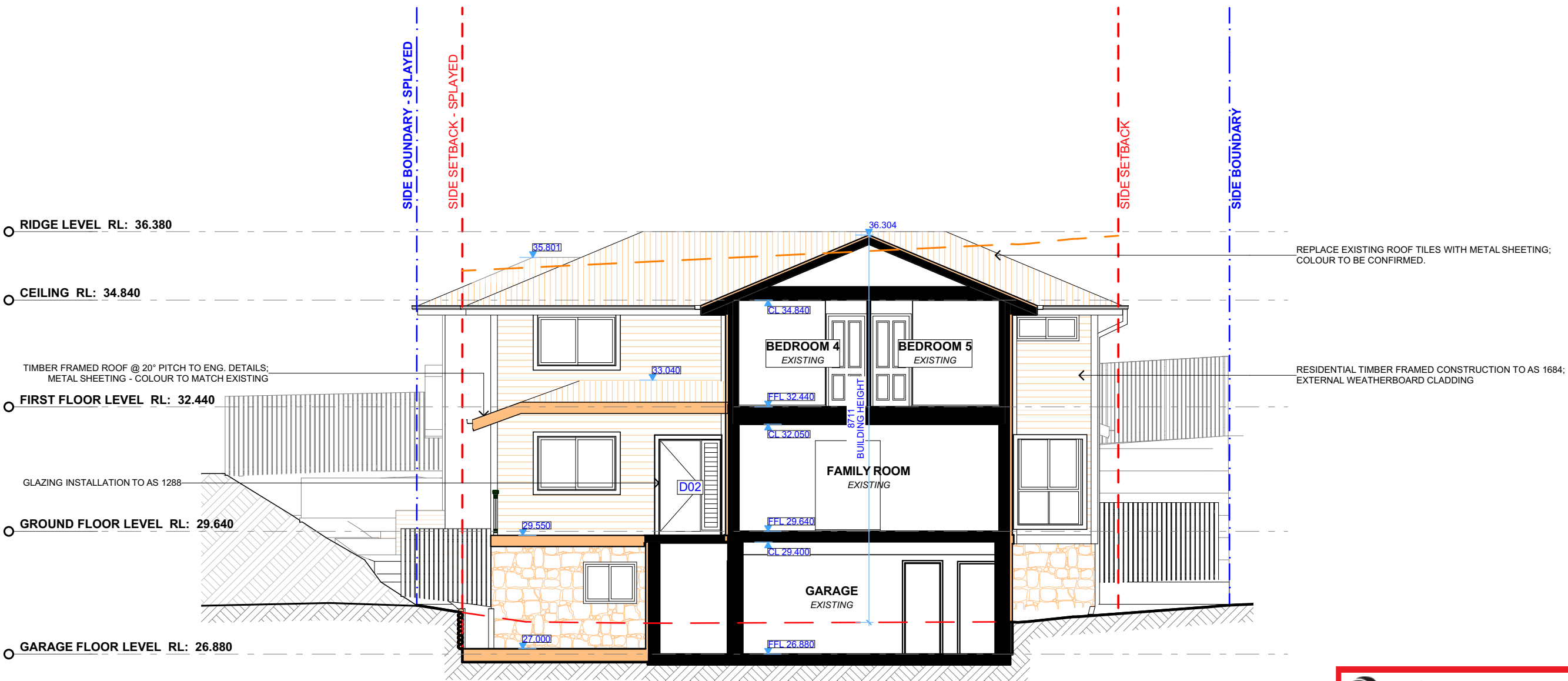
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DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

1:100 @A3









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1 PROPOSED CROSS SECTION 1:100

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LEGEND	
	NEW FLOOR AREA
	METAL ROOFING
	TILED ROOFING
	TIMBER
	EXISTING
	DEMOLISHED

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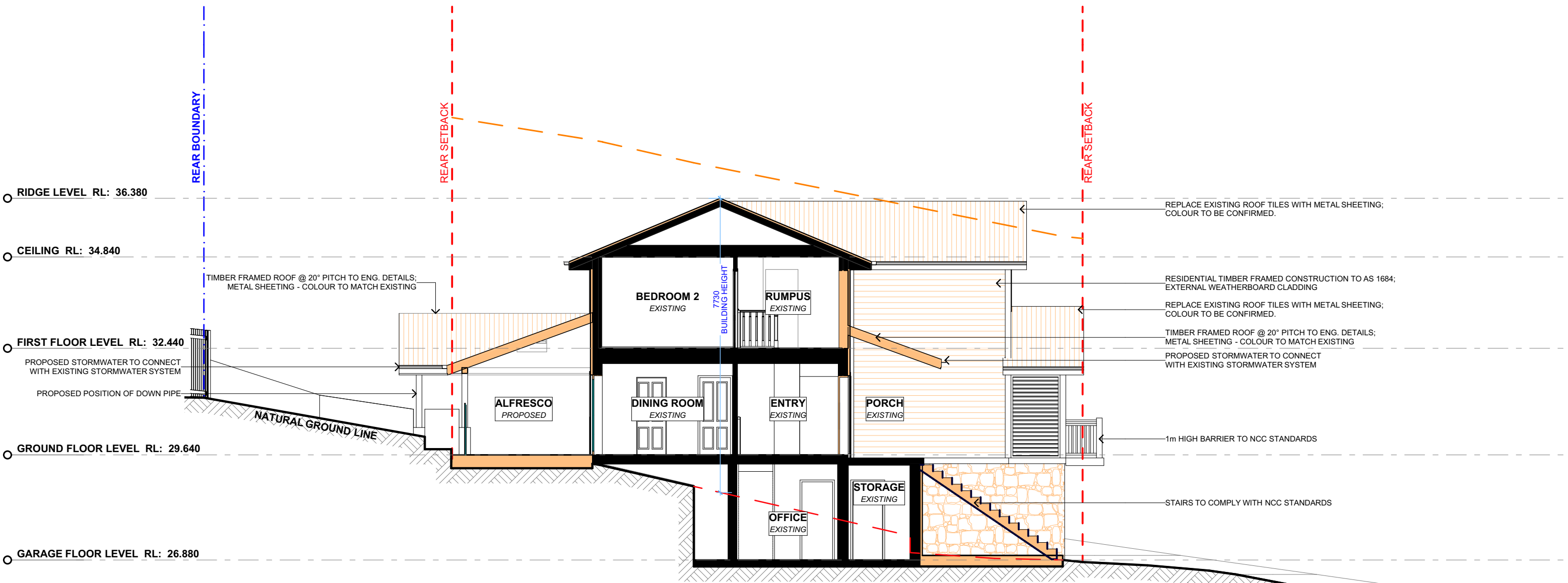
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DA14

DATE
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DRAWING NAME
CROSS SECTION

SCALE
1:100 @A3

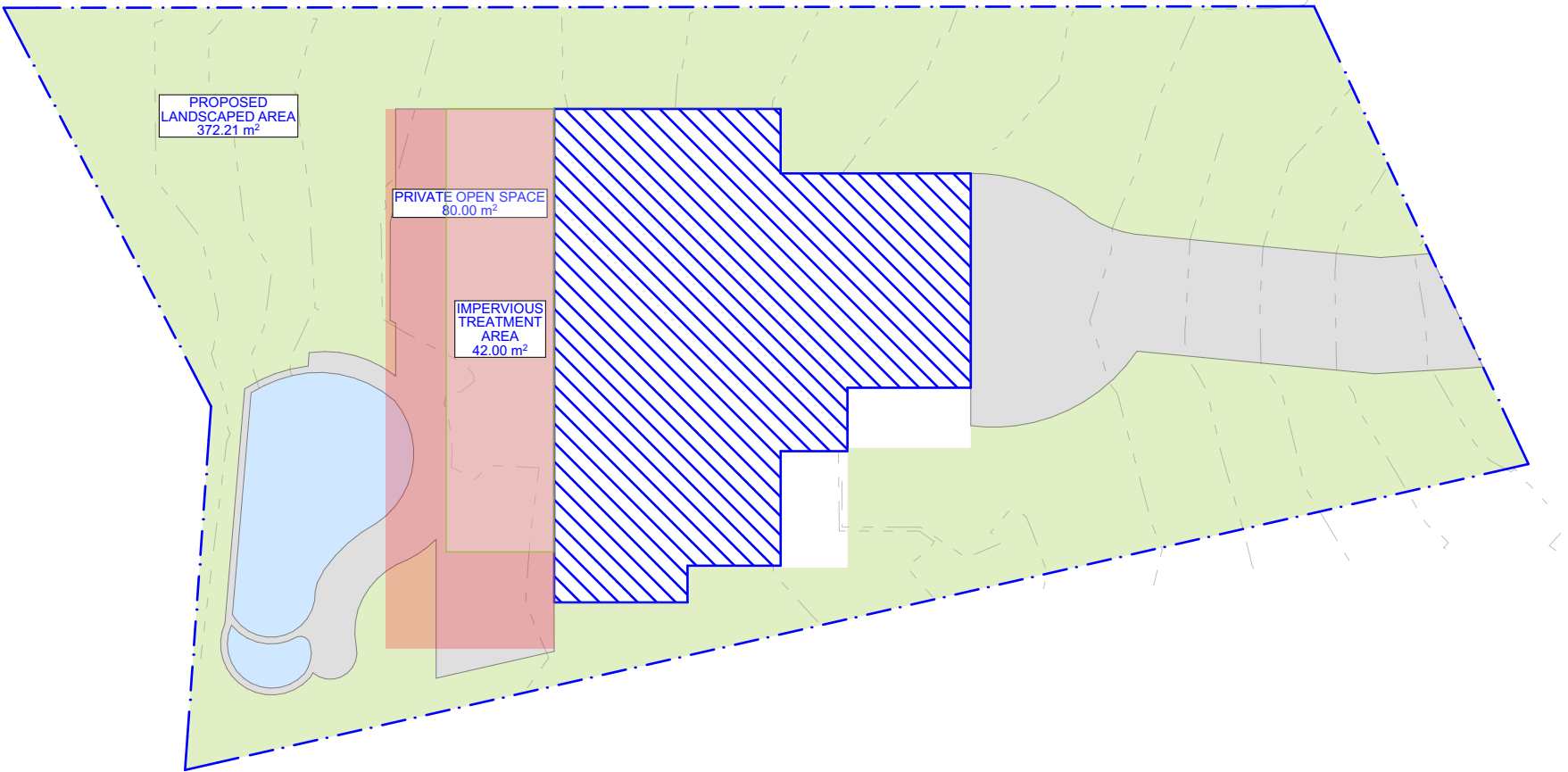


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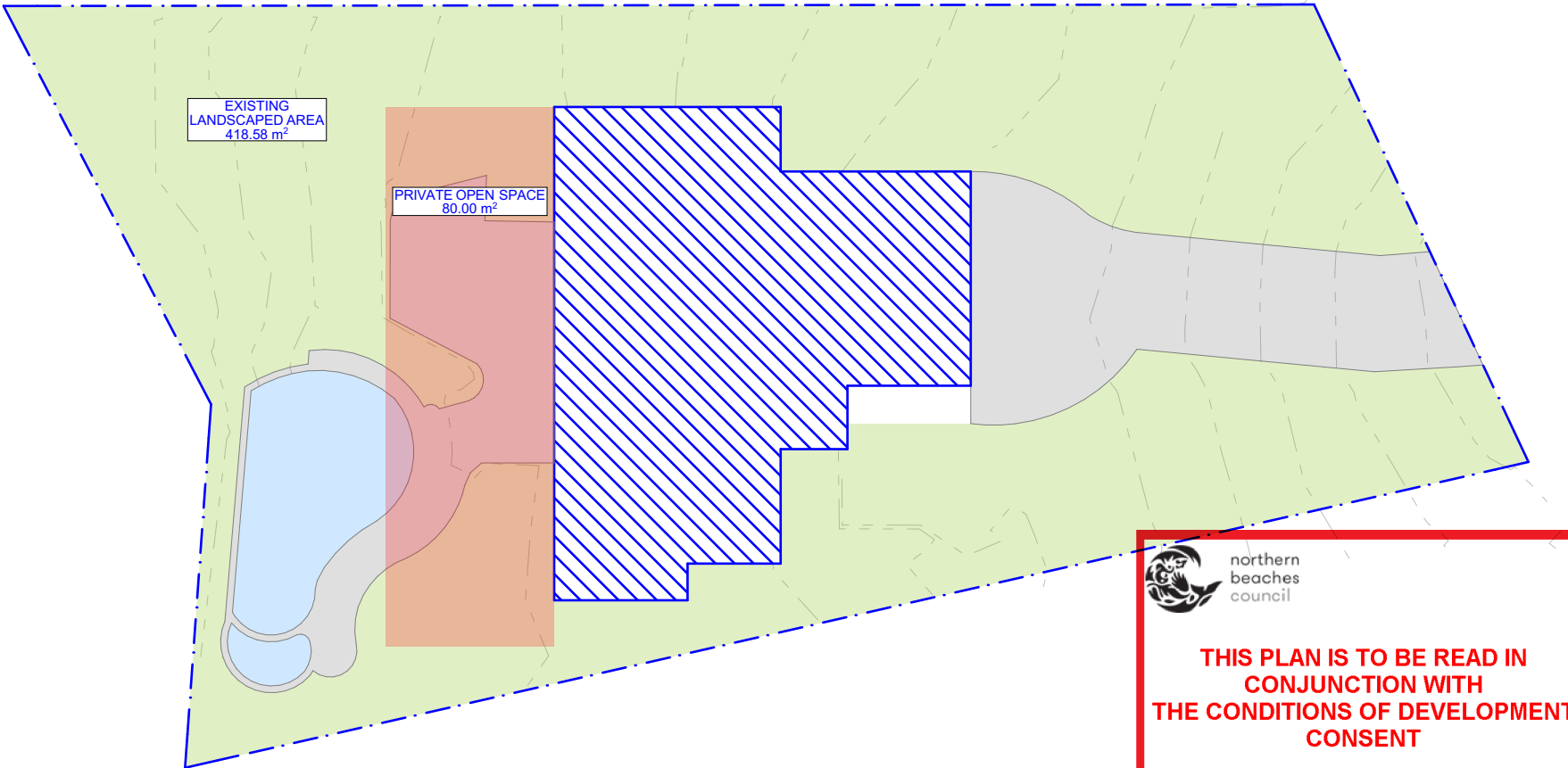
1 **PROPOSED LONG SECTION** 1:100



2

PROPOSED AREA CALCULATIONS

1:200



2

EXISTING AREA CALCULATIONS


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



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- LEGEND
-  LANDSCAPED AREA

 HARD SURFACE AREA

 WATER SURFACE

 BUILDING FOOTPRINT

 PRIVATE OPEN SPACE

CONTROL TABLE

SITE AREA 700m ²		
	REQUIRED	PROPOSED
PRIVATE OPEN SPACE	80m ²	80m ²
LANDSCAPED AREA	60% (420m ²)	53.1% (372.21m ²)
IMPERVIOUS TREATMENTS 6% VARIATION	6% (42m ²)	6% (42m ²)
TOTAL LANDSCAPED AREA	60% (420m ²)	59.17% (414.21m ²)



ALUMINIUM FRAMED WINDOWS
BY STEGBAR



FIXED SKYLIGHT WINDOWS
BY VELUX



EXTERNAL WEATHERBOARD CLADDING -
COLOUR TO BE CONFIRMED BY CLIENT



METAL ROOFING -
COLOUR TO BE CONFIRMED BY CLIENT

3

MATERAIL SAMPLE BOARD



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DA16

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DRAWING NAME

AREA CALCULATIONS /
SAMPLE BOARD

SCALE

1:200 @A3

