

KARALA

83 Pacific Road
Palm Beach
NSW 2108

DEVELOPMENT APPLICATION TO NOTHERN BEACHES COUNCIL - ISSUE A NOVEMBER 2022

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BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A483001

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Alterations and Additions Definitions' dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au.

Secretary
Date of issue: Wednesday, 07, December 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Karala
Street address	83 Pacific Road Palm Beach 2108
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 10116
Lot number	25
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rachel Hudson
ABN (if applicable):	N/A

BASIX Certificate number: A483001

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Fixtures and systems	Show on DA Plans	Show on CC/CDG Plans & specs	Certifier Check
Hot water The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓ ✓ ✓	✓ ✓ ✓

Planning, Industry & Environment

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BASIX Certificate number: A483001

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Construction	Show on DA Plans	Show on CC/CDG Plans & specs	Certifier Check															
Insulation requirements																		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.																		
	✓	✓	✓															
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>suspended floor above garage: concrete and in-floor heating system (R6.0)</td><td>R0.40 (down) under + slab edge (or R1 including construction)</td><td>in-slab heating system</td></tr><tr><td>external wall: brick veneer</td><td>R1.16 (or R1.70 including construction)</td><td></td></tr><tr><td>raked ceiling, pitched/skillion roof: framed</td><td>ceiling: R1.74 (up), roof: hot backed blanket (55 mm)</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr><tr><td>flat ceiling, flat roof: concrete/bare internal</td><td>ceiling: R2.50 (up), roof: none</td><td>light (solar absorptance < 0.475)</td></tr></table>	Construction	Additional insulation required (R-value)	Other specifications	suspended floor above garage: concrete and in-floor heating system (R6.0)	R0.40 (down) under + slab edge (or R1 including construction)	in-slab heating system	external wall: brick veneer	R1.16 (or R1.70 including construction)		raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: hot backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	flat ceiling, flat roof: concrete/bare internal	ceiling: R2.50 (up), roof: none	light (solar absorptance < 0.475)			
Construction	Additional insulation required (R-value)	Other specifications																
suspended floor above garage: concrete and in-floor heating system (R6.0)	R0.40 (down) under + slab edge (or R1 including construction)	in-slab heating system																
external wall: brick veneer	R1.16 (or R1.70 including construction)																	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: hot backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)																
flat ceiling, flat roof: concrete/bare internal	ceiling: R2.50 (up), roof: none	light (solar absorptance < 0.475)																

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BASIX Certificate number: A483001

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Glazing requirements	Show on DA Plans	Show on CC/CDG Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clearstar gap/clear glazing, or lowstar gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	9	0	0	awning (adjustable) >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	S	5	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	E	2.5	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)

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Glazing requirements							Show on DA Plans	Show on CC/CDG Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
W4	E	4.5	0	0	eave/verandah/pergola/balcony ≥450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W5	W	4.5	0	0	eave/verandah/pergola/balcony ≥450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W6	W	1.2	0	0	eave/verandah/pergola/balcony ≥450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
Skylights The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight: Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Skylights glazing requirements							✓	✓	✓
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type						
S1	1	no shading	timber, double clearstar 16, (or U-value: 4.3, SHGC: 0.5)						

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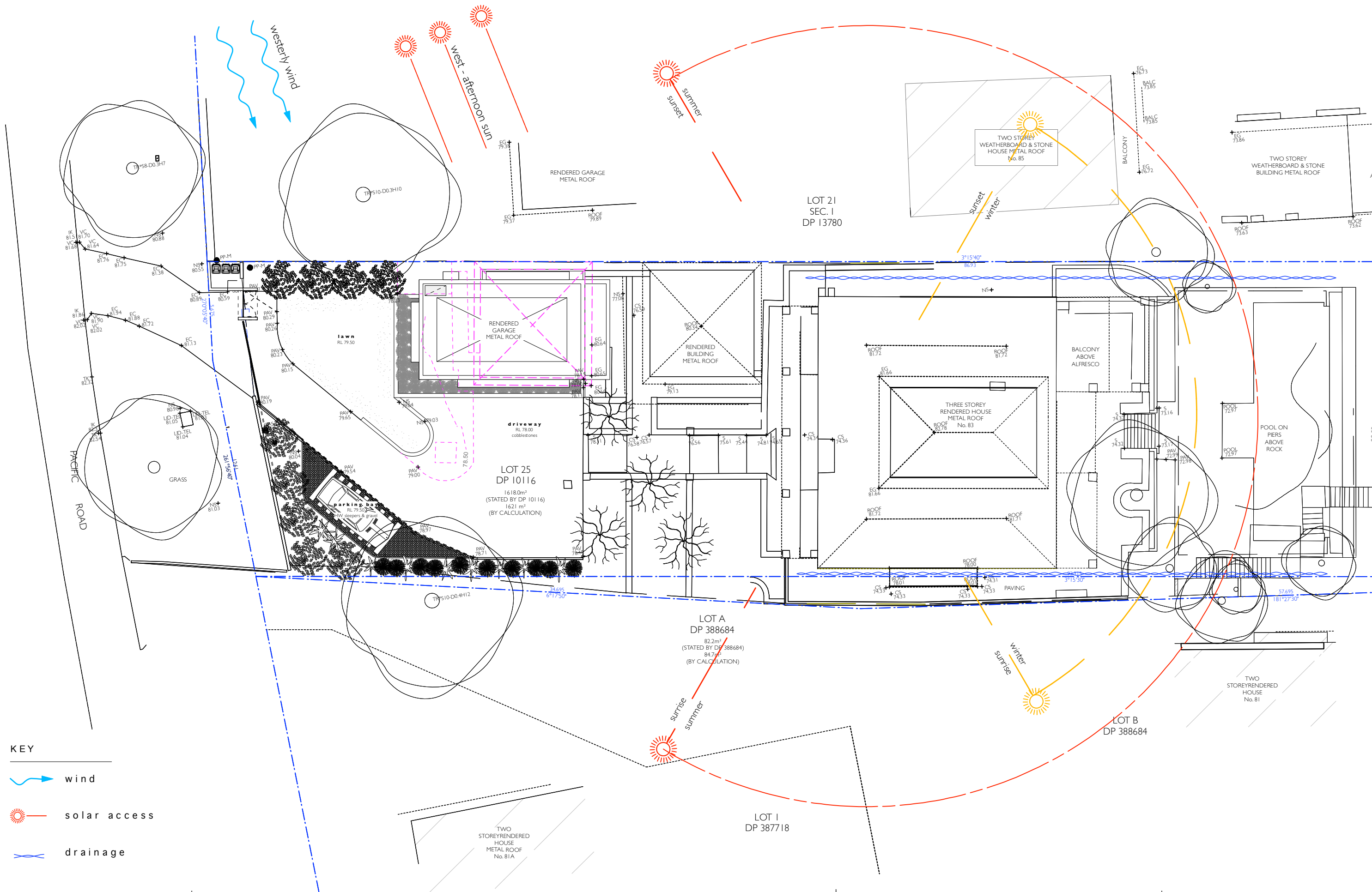
Legend
In these commitments, "applicant" means the person carrying out the development. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). Commitments identified with a "✓" in the "Show on CC/CDG plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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KEY

wind

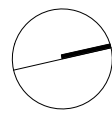
solar access

drainage

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0 2 4 6 8 10m

KARALA

83 Pacific Road

Pam Beach NSW 2108

DWG K-01-DA

DATE 22.11.22

ISSUE A

JOB # 151

SCALE 1:200 @ A3

SITE ANALYSIS PLAN

Soil & Water Management Plan

All Erosion and Sediment Control measures detailed herein are to be confirmed by the Contractor to be fully functional after any rainfall exceeding 6mm (in a 24 hour Period) and on a weekly basis. This confirmation shall be provided as a condition for undertaking any further work under the Construction Contract.

All services trenches must be backfilled immediately after services are laid and approval is granted to carry out backfilling operations.

Any road vehicle leaving the site which has been in contact with clay soil shall be washed or brushed down on the Site Entry Platform.

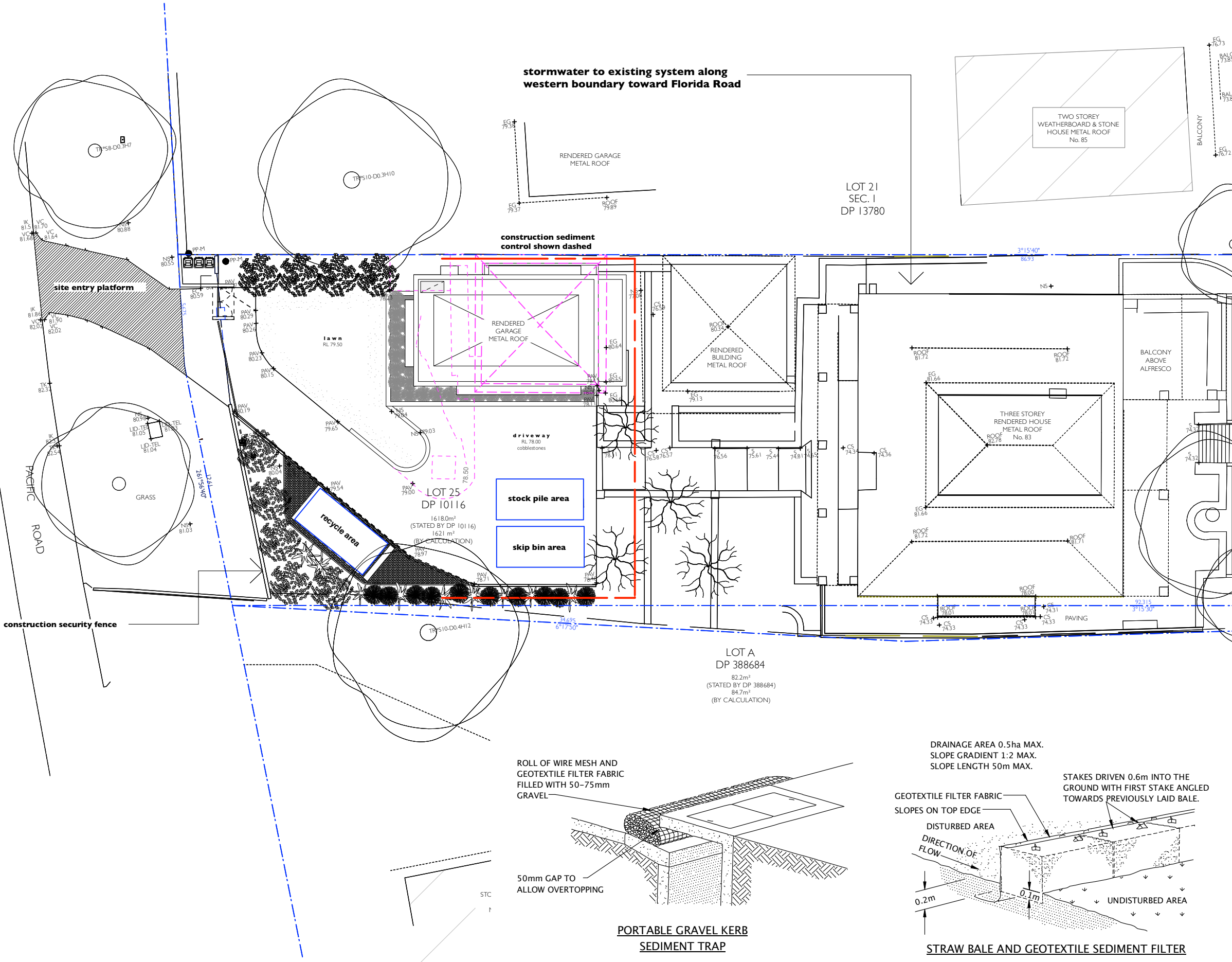
The public road in the vicinity of the site is to be swept at regular intervals to prevent sediment buildup at the Site Entry Platform.

1. Site works are not to be commenced until all erosion and sedimentation works as outlined on these documents has been completed.
2. Entry and exit to the site is to be via a single means of access/egress - the Site Entry Platform - use site fencing to ensure that all site access and egress is by way of this Platform. Either the existing, concrete driveway; a new, temporary driveway or new Site Entry Platform (as per detail on these drawings) shall be used as the sole site access point.
3. Sediment Control fences are to be installed as indicated on these drawings and are to include provision for site water ingress by means of mounded banks at the outboard edge of the Site Entry Platform or other overland flow paths which may be evident on site.
4. Geotextile 'sausages' filled with aggregate are to be provided to protect Council's Street Stormwater system from sediment pollution from the site.
5. All existing topsoil that is disturbed to facilitate excavation is to be stockpiled on site for landscaping purposes. Where any material (topsoil or excavated) is stockpiled on the site, stockpiles are to be covered with a water repellent covering and located outside any area of concentrated Stormwater flow, away from the street and at a distance greater than 2.4m clear of any boundary of the site. Where possible, stockpiles are to be located on a local high point or are to be protected with diversion channels and swales around the stockpile.
6. Areas towards the boundaries of the site are not to be disturbed during the works except where these works are essential for the completion of the project. Where disturbance is essential, work shall be carried out in a manner that minimizes the erosion hazard for as short a time as practicable and includes suitable erosion protection, reinstatement or rehabilitation as part of the disturbance process.
7. The Contractor shall provide approved bins for all site waste to be accumulated and stored for collection and disposal.

Site waste includes:-

- Litter
- All packaging
- mortar, cement and concrete slurries, acid wash down water, paint and any contaminated water

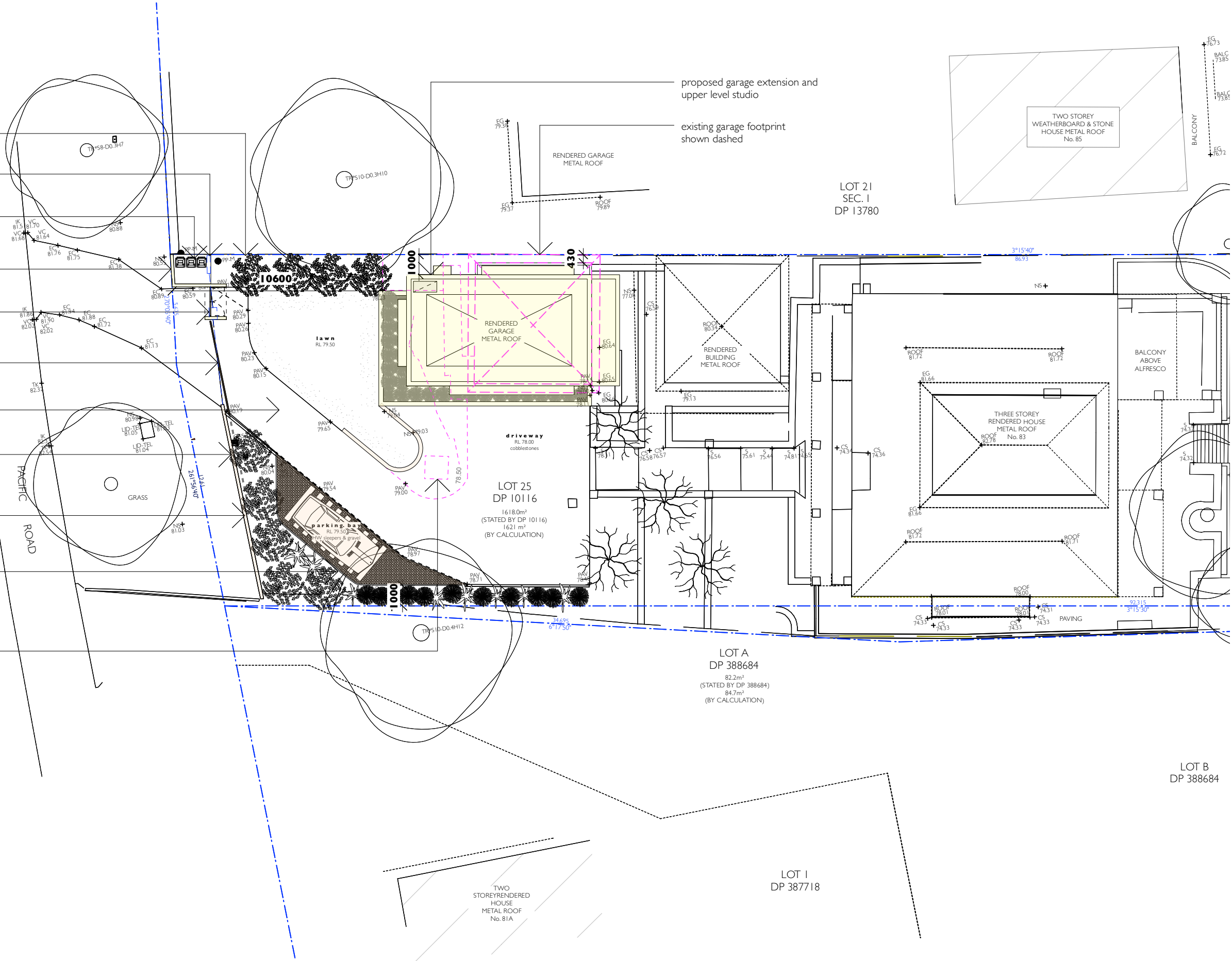
8. Site Stormwater drainage is to be connected and commissioned as soon as practicable following completion of the works.



- proposed perimeter planting
- remove existing masonry fenceline shown dashed
- proposed green bin location
- proposed masonry fenceline to co-ordinate with site boundaries
- proposed masonry arch arbour and entry gates
- replace existing hinged driveway gate with a steel sliding gate
- replace driveway pavers with cobblestones
- modify existing masonry fenceline as per street elevation
- dense planting between parking bay and front wall
- proposed parking bay with corten edging to perimeter
- remove existing concrete plinth, new retaining wall for driveway widening

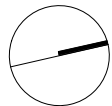
Proposed additions shown in yellow

Proposed alterations shown in orange



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KARALA

83 Pacific Road
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DWG K-03-DA
DATE 22.11.22
ISSUE A
JOB # 151
SCALE 1:200 @ A3

SITE PLAN

Site area = 1618m²
60% = 970.80m²
6% variation = 97.08m²
54% Minimum Landscape Area = 873.72m²

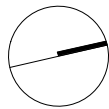
Existing Soft Landscape Area = 896m²
Existing Hard Landscape Area = 97.08m² (variation)
Total Landscape Area = 993.08m²
Compliance: yes

Site area = 1618m²
60% = 970.80m²
6% variation = 97.08m²
54% Minimum Landscape Area = 873.72m²

Proposed Soft Landscape Area = 812m²
Proposed Hard Landscape Area = 97.08m² (variation)
Total Landscape Area = 909.08m²
Compliance: yes
* Note additional 15m² green roof

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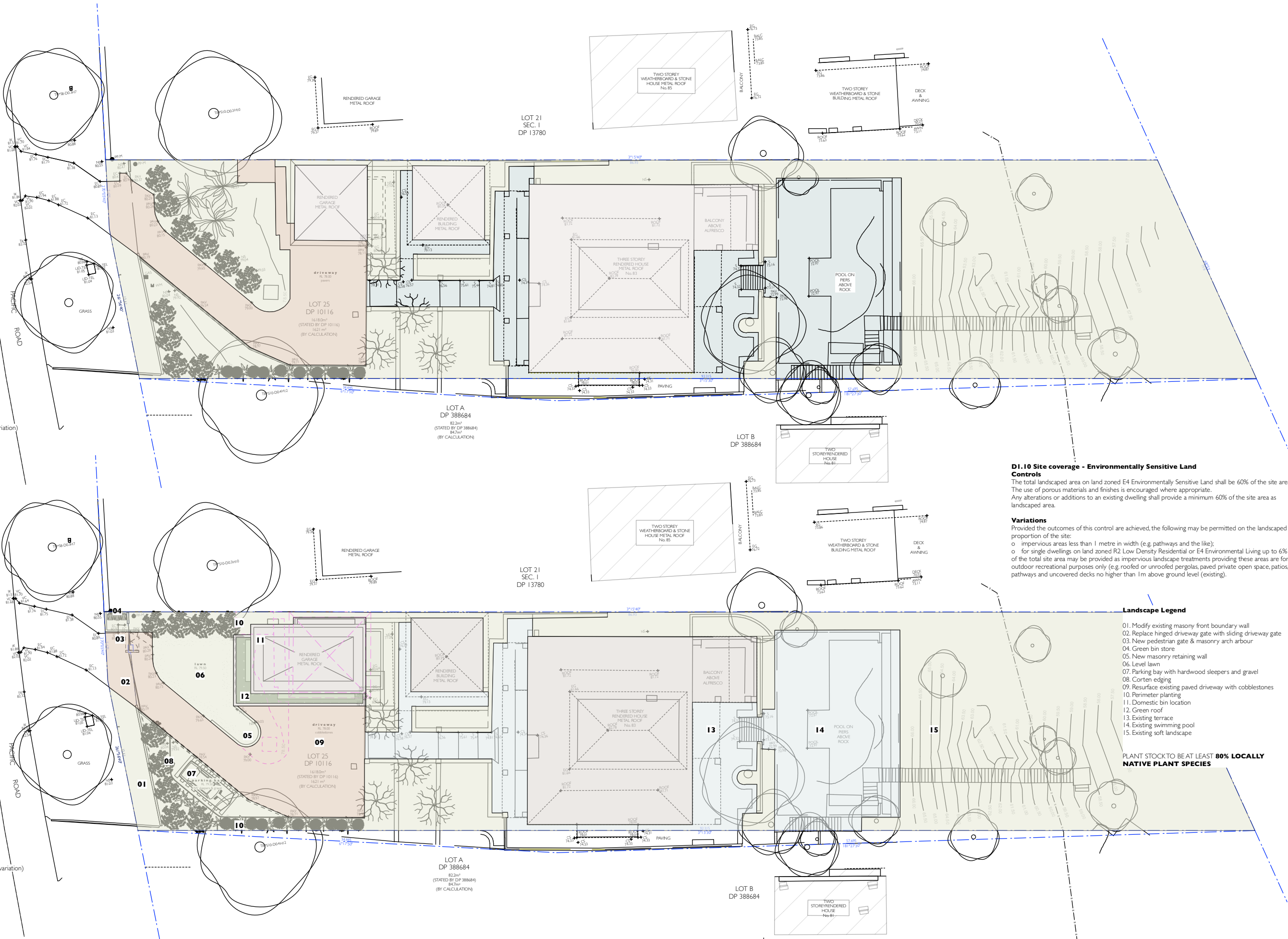
0 5m 10m 15m

KARALA

83 Pacific Road
Pam Beach NSW 2108

DWG K-04-DA
DATE 22.11.22
ISSUE A
JOB # 151
SCALE 1:300 @ A3

LANDSCAPE PLAN



DI.10 Site coverage - Environmentally Sensitive Land

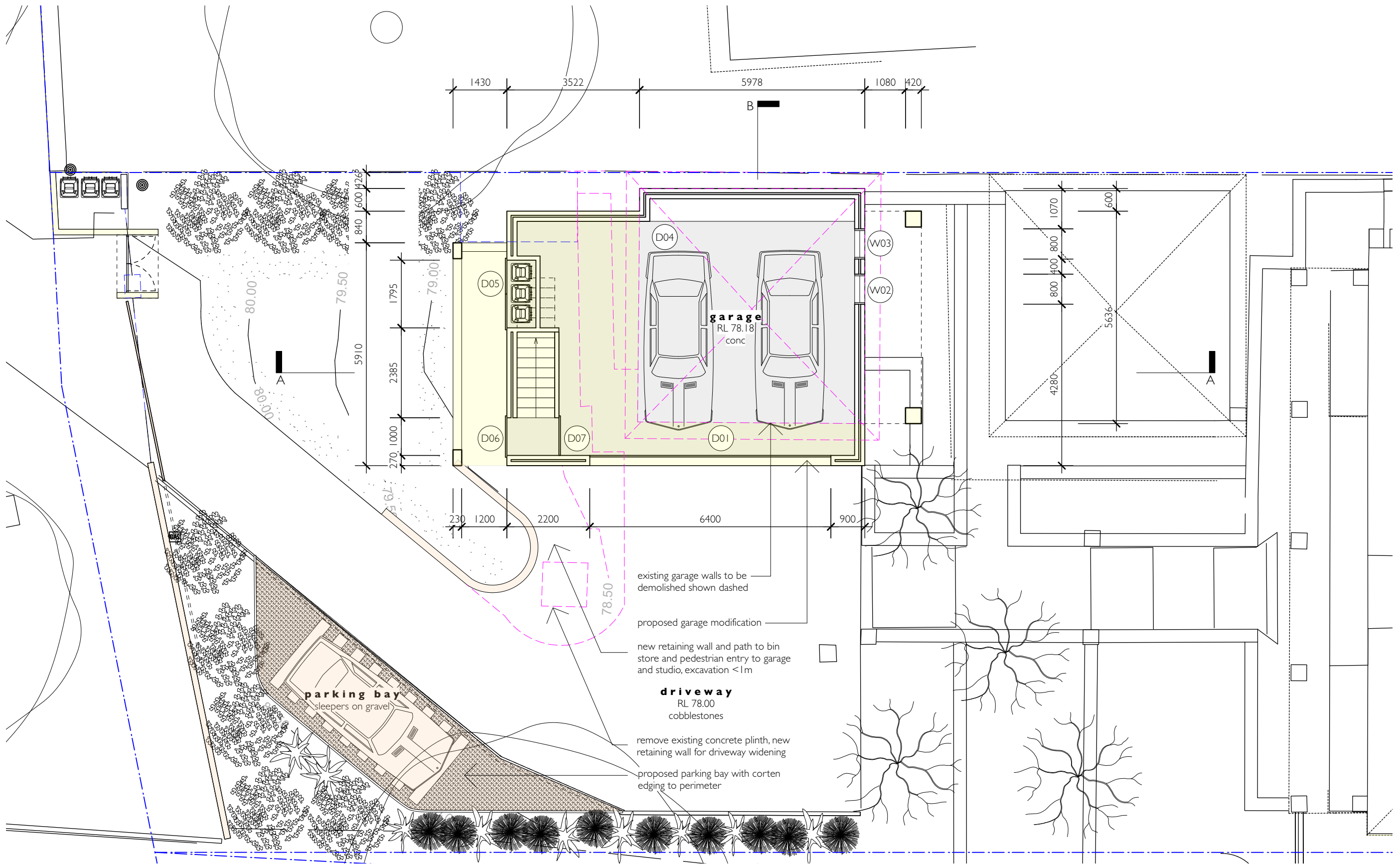
Controls
The total landscaped area on land zoned E4 Environmentally Sensitive Land shall be 60% of the site area. The use of porous materials and finishes is encouraged where appropriate.
Any alterations or additions to an existing dwelling shall provide a minimum 60% of the site area as landscaped area.

Variations
Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:
o impervious areas less than 1 metre in width (e.g. pathways and the like);
o for single dwellings on land zoned R2 Low Density Residential or E4 Environmental Living up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1m above ground level (existing)).

Landscape Legend

01. Modify existing masonry front boundary wall
02. Replace hinged driveway gate with sliding driveway gate
03. New pedestrian gate & masonry arch harbour
04. Green bin store
05. New masonry retaining wall
06. Level lawn
07. Parking bay with hardwood sleepers and gravel
08. Corten edging
09. Resurface existing paved driveway with cobblestones
10. Perimeter planting
11. Domestic bin location
12. Green roof
13. Existing terrace
14. Existing swimming pool
15. Existing soft landscape

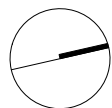
PLANT STOCK TO BE AT LEAST **80% LOCALLY NATIVE PLANT SPECIES**



- Proposed additions shown in yellow
- Proposed alterations shown in orange

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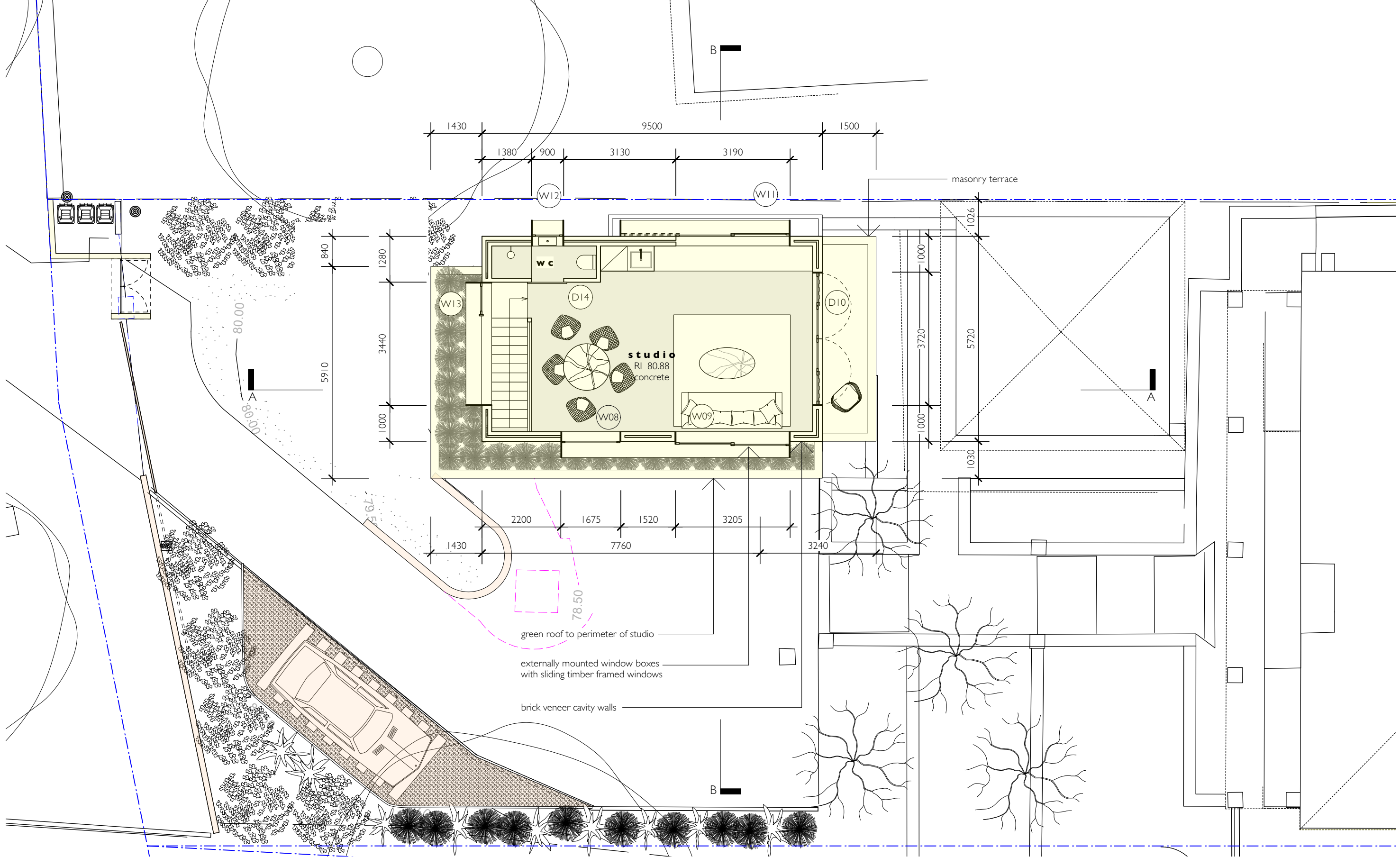
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DATE 21.11.22
ISSUE A
JOB # 151
SCALE 1:100 @ A3

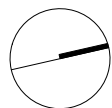
GARAGE FLOOR PLAN



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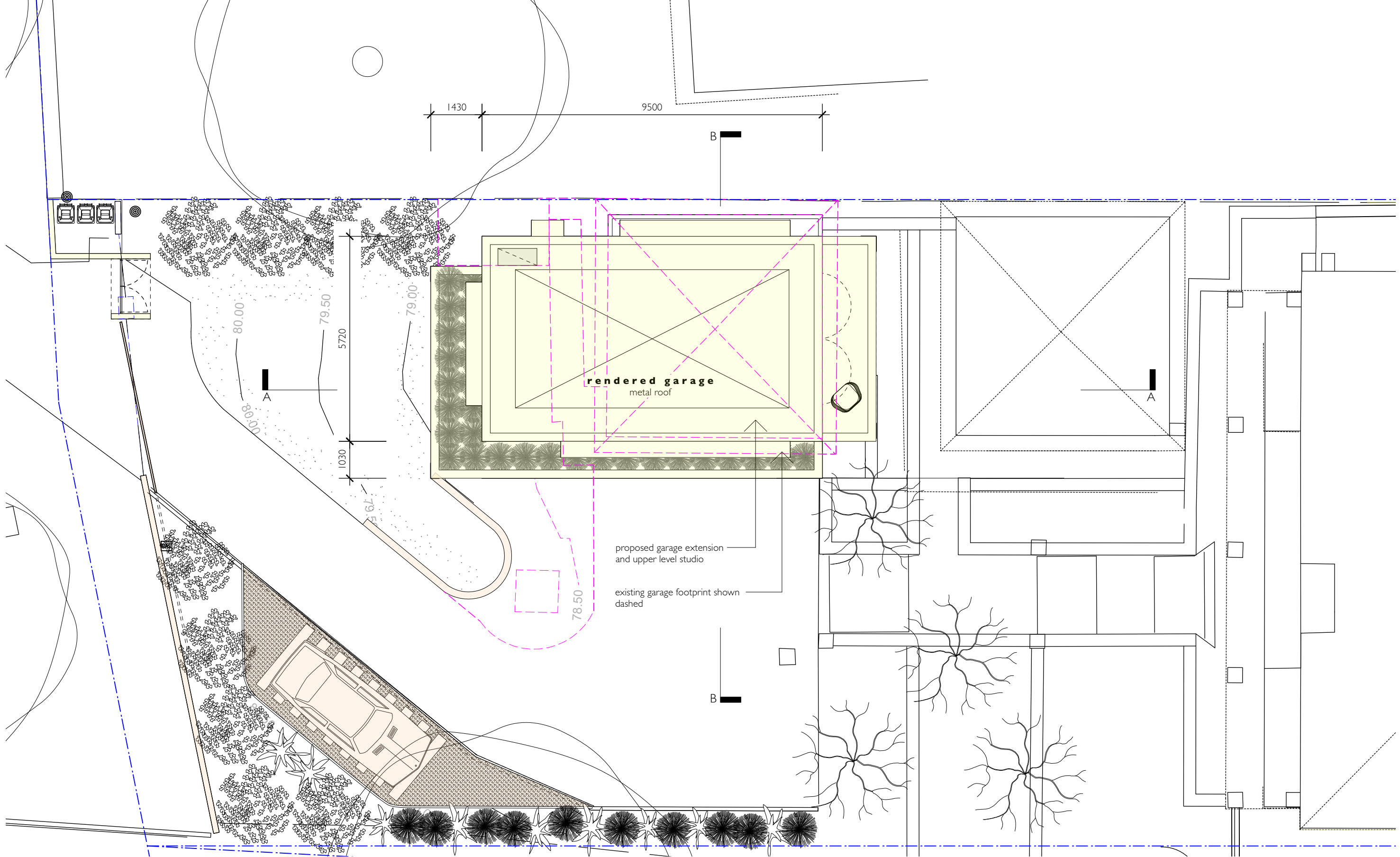
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KARALA

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DATE 21.11.22
ISSUE A
JOB # 151
SCALE 1:100 @ A3

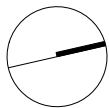
STUDIO FLOOR PLAN



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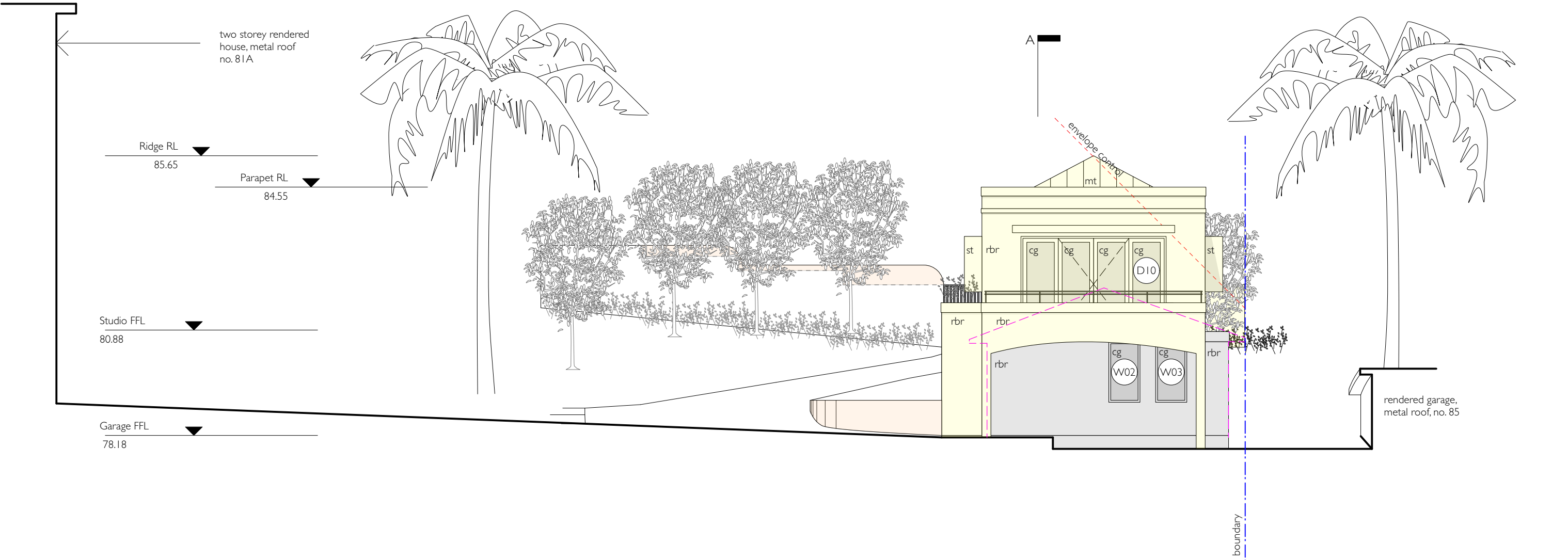
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DWG K-07-DA
DATE 21.11.22
ISSUE A
JOB # 151
SCALE 1:100 @ A3

ROOF PLAN

MATERIALS LEGEND

- mt - metal roof
- st - steel
- rbr - rendered brickwork
- og - opaque glass
- cg - clear glass



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Proposed alterations shown in orange

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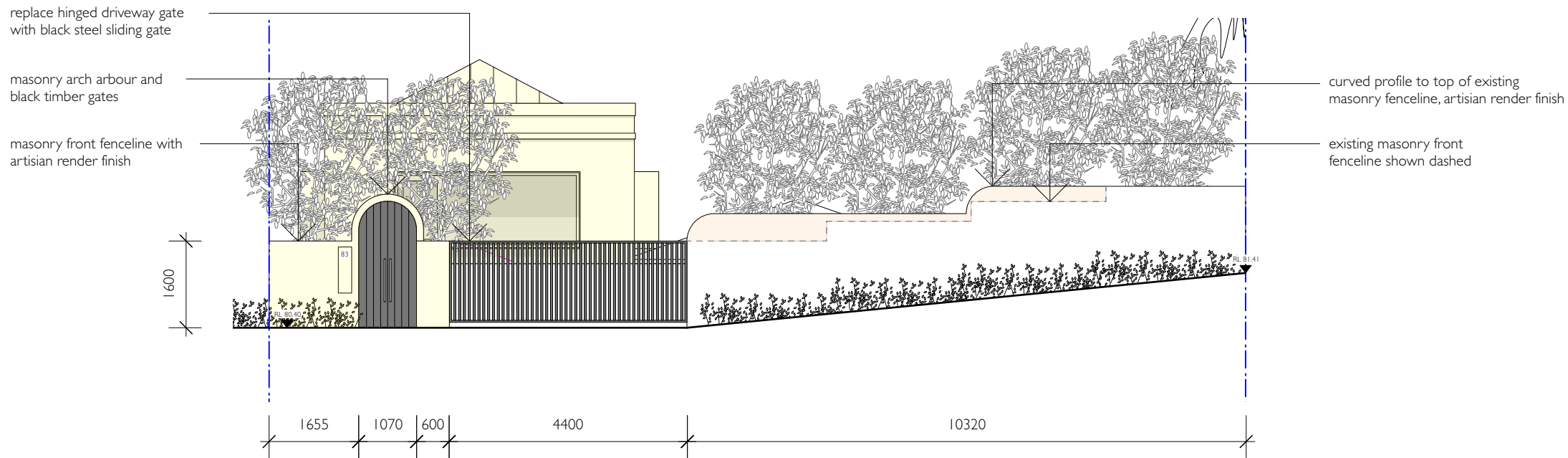
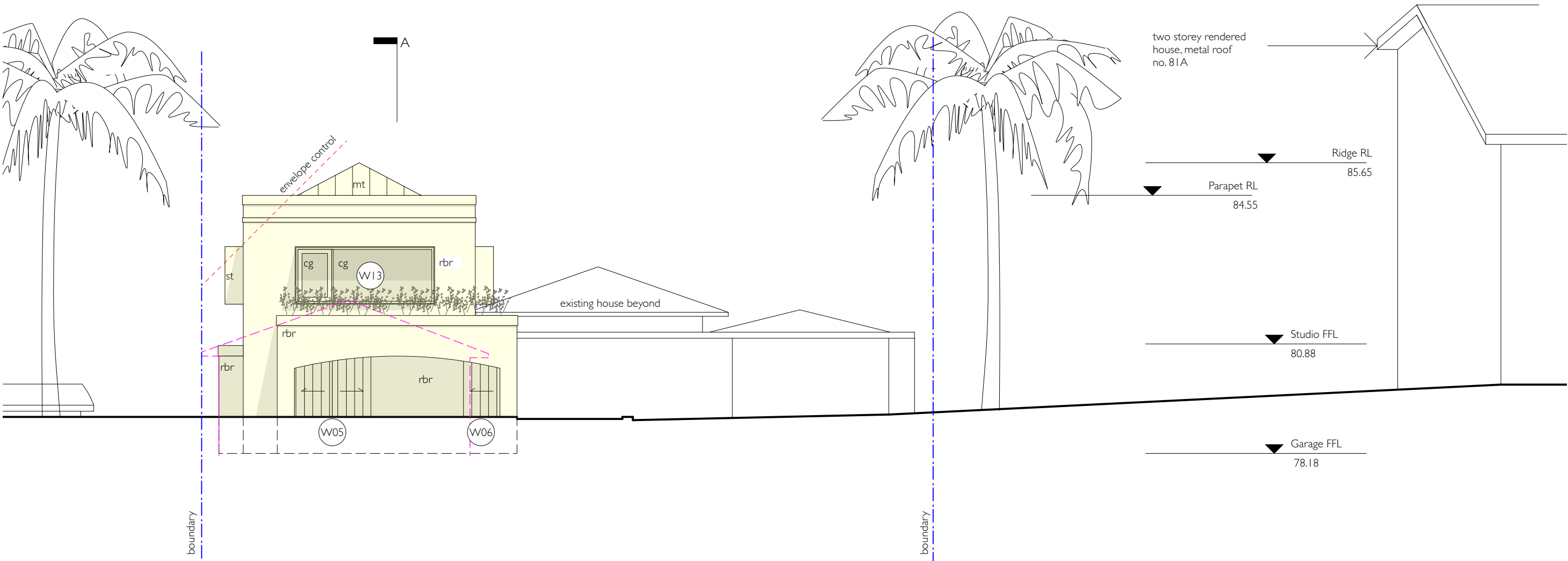
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83 Pacific Road
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DWG K-08-DA
DATE 21.11.22
ISSUE A
JOB # 151
SCALE 1:100 @ A3

NORTH ELEVATION



- MATERIALS LEGEND
- mt - metal roof
 - st - steel
 - rbr - rendered brickwork
 - og - opaque glass
 - cg - clear glass
- Proposed additions shown in yellow
- Proposed alterations shown in orange

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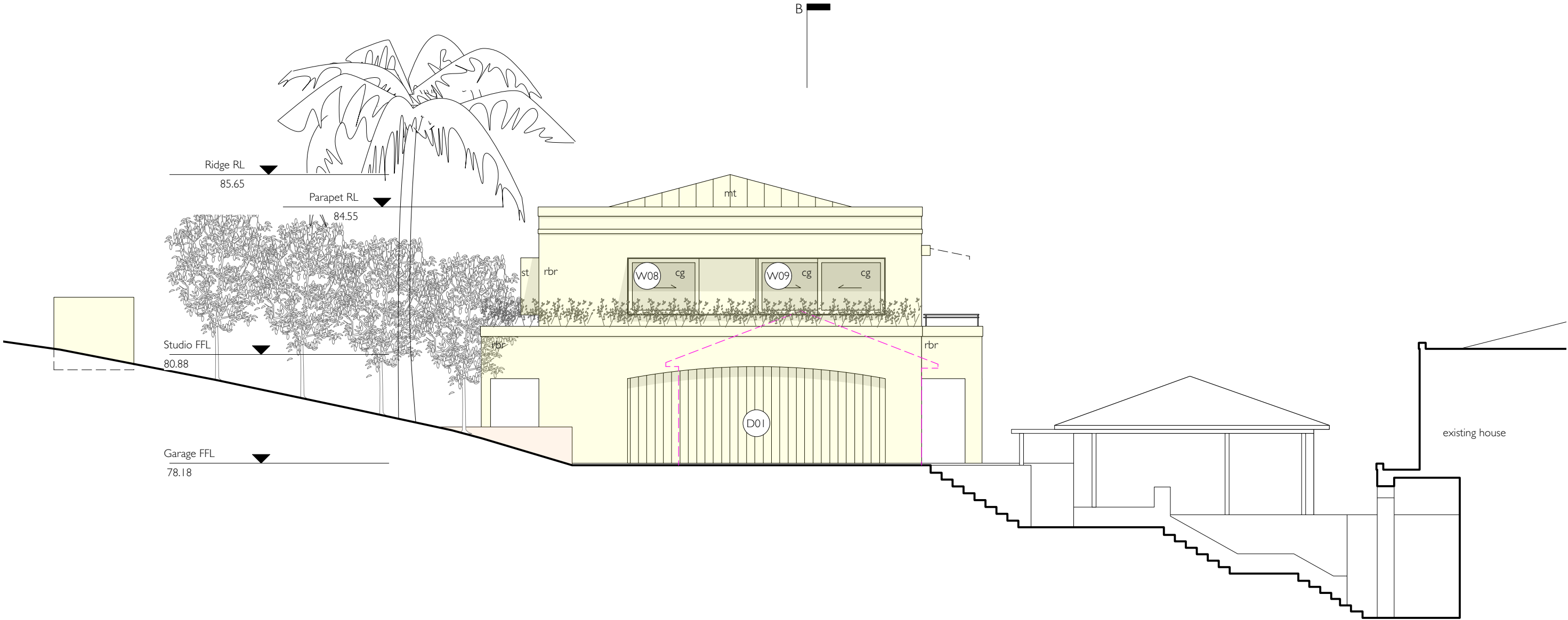
83 Pacific Road
Parramatta NSW 2108

DWG K-09-DA
DATE 21.11.22
ISSUE A
JOB # 151
SCALE 1:100 @ A3

SOUTH ELEVATION

MATERIALS LEGEND

mt - metal roof
st - steel
rbr - rendered brickwork
og - opaque glass
cg - clear glass



Proposed additions shown in yellow

Proposed alterations shown in orange

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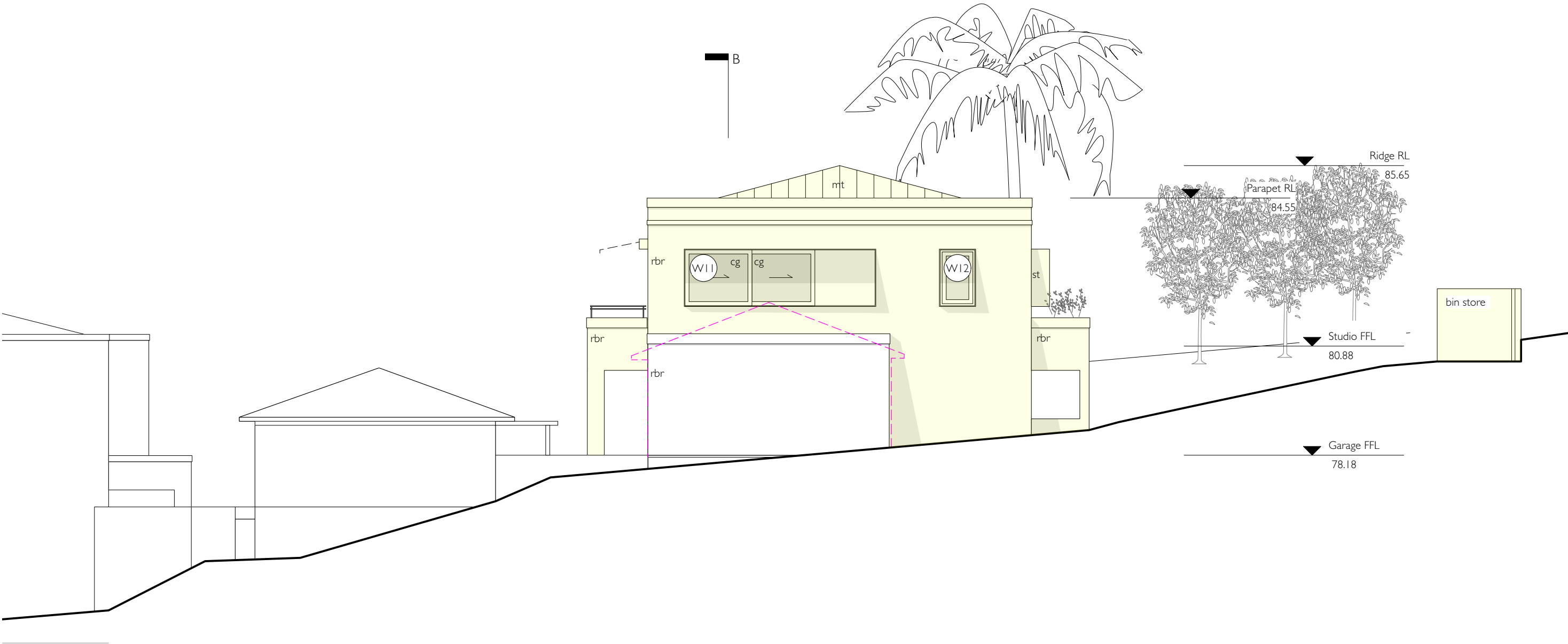
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DWG K-10-DA
DATE 21.11.22
ISSUE A
JOB # 151
SCALE 1:100 @ A3

EAST ELEVATION

MATERIALS LEGEND

- mt - metal roof
- st - steel
- rbr - rendered brickwork
- og - opaque glass
- cg - clear glass



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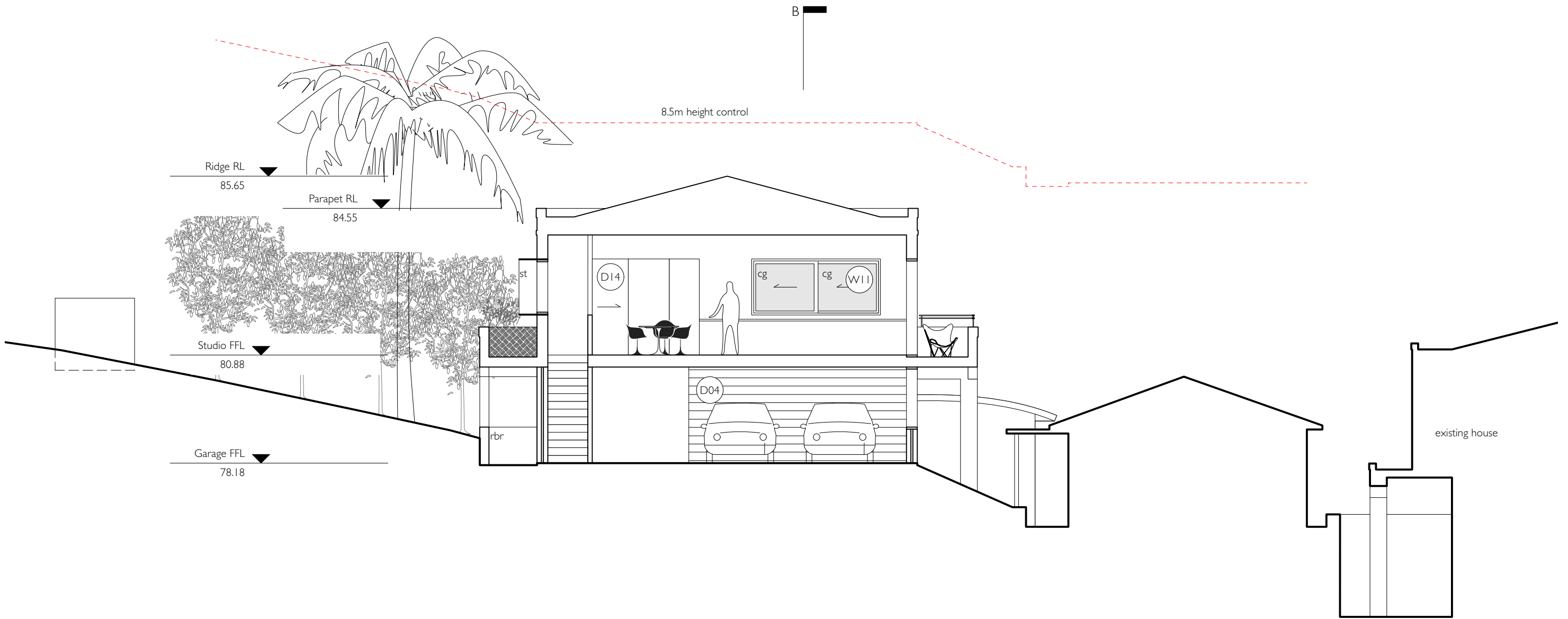
0 1 2 3 4 5m

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ISSUE A
JOB # 151
SCALE 1:100 @ A3

WEST ELEVATION



MATERIALS LEGEND

mt - metal roof
st - steel
rbr - rendered brickwork
og - opaque glass
cg - clear glass

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Do not scale from drawings. Verify all dimensions and levels on site.
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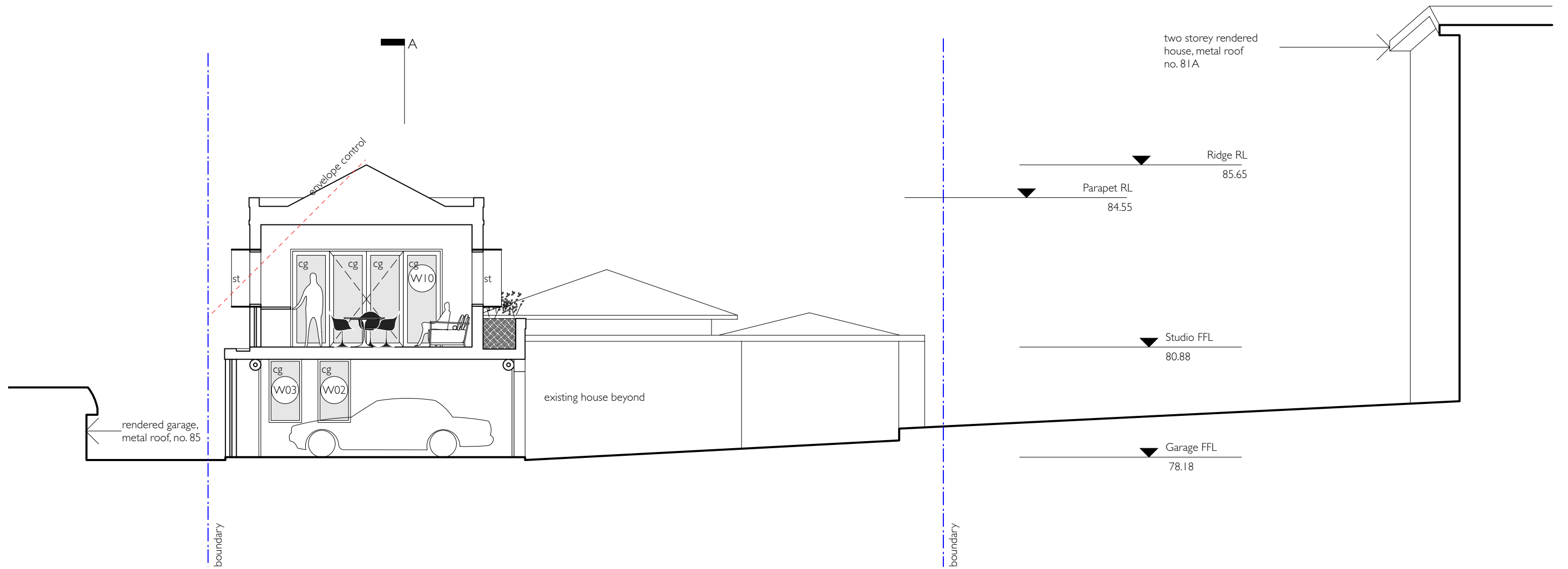
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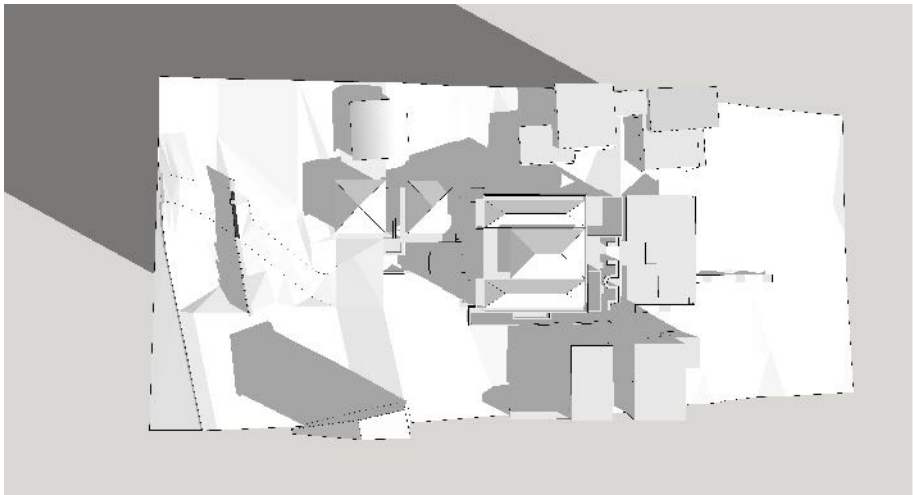
KARALA

83 Pacific Road
Palm Beach NSW 2108

DWG K-12-DA
DATE 21.11.22
ISSUE A
JOB # 151
SCALE 1:100 @ A3

SECTION AA





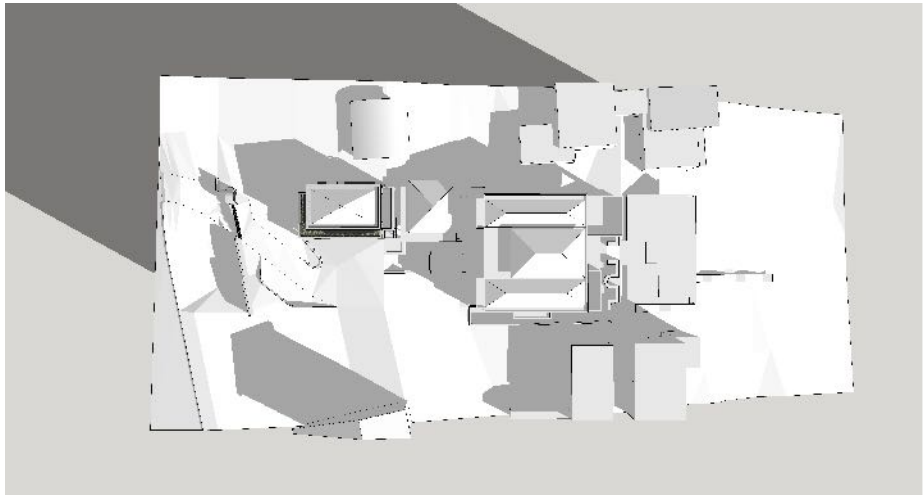
9:00am June 21 - Existing Dwelling



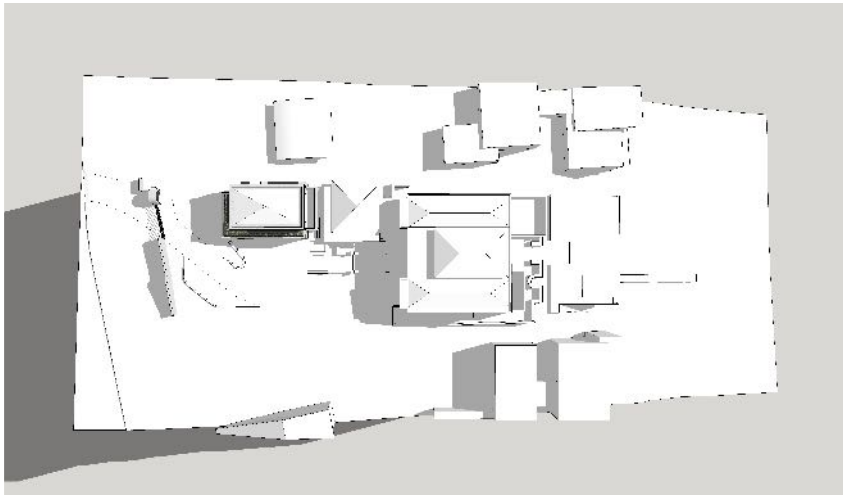
12:00pm June 21 - Existing Dwelling



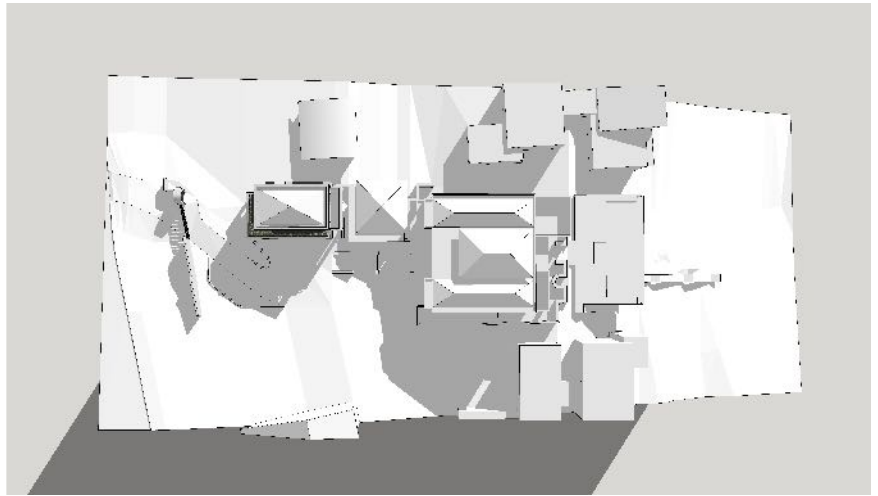
3:00pm June 21 - Existing Dwelling



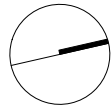
9:00am June 21 - Proposed Dwelling

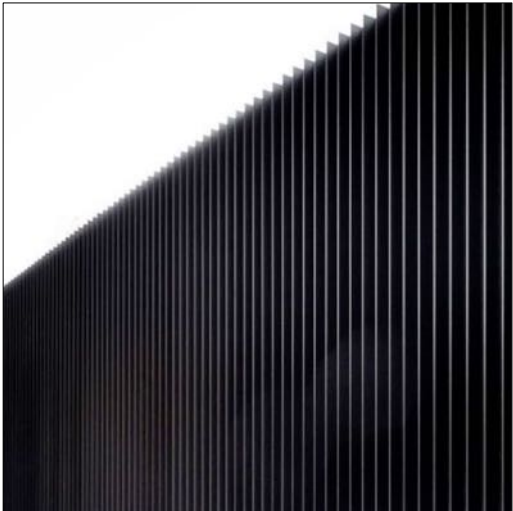


12:00pm June 21 - Proposed Dwelling



3:00pm June 21 - Proposed Dwelling





Steel blades
- driveway gate



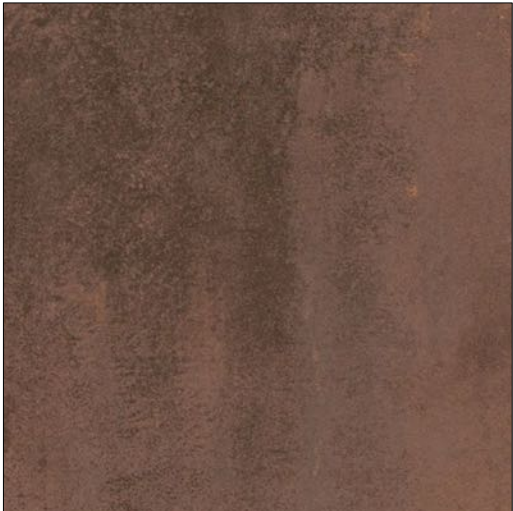
Soft Landscape
- garden
- green roof



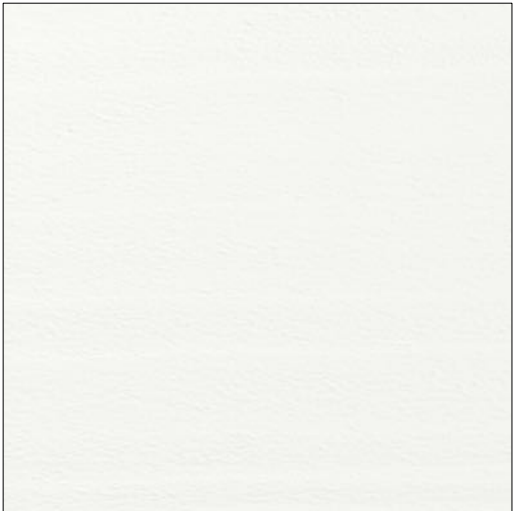
Cobblestones
- driveway



Hardwood sleepers + gravel
- parking bay



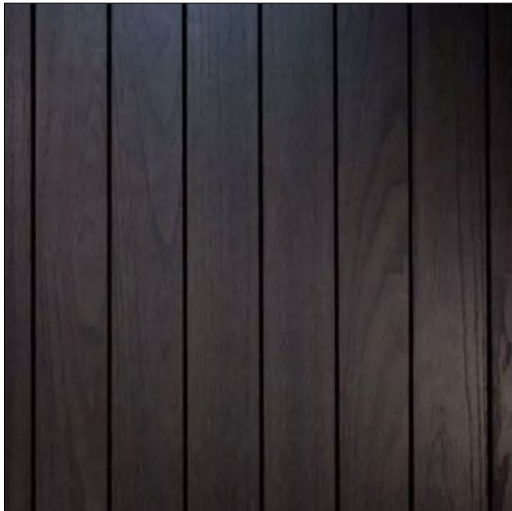
Corten
- garden retaining walls



Rendered masonry
- garage additions
- studio
- front boundary masonry fenceline
- Porter's Popcorn



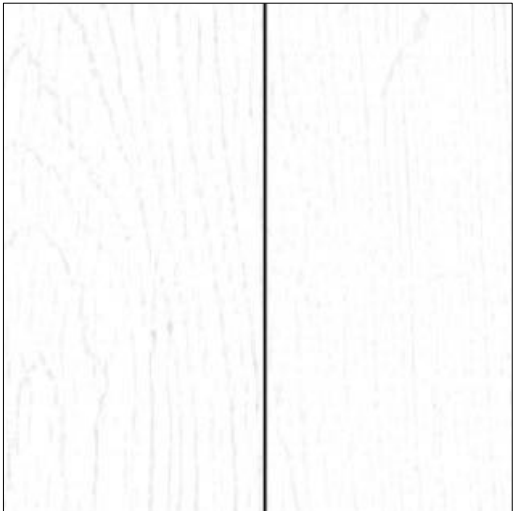
Steel window boxes
- studio



Black timber
- soffits
- garage door
- entry gate
- screens



Copper
- roofing
- gutters
- downpipes



White timber frame
- doors + windows