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Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions

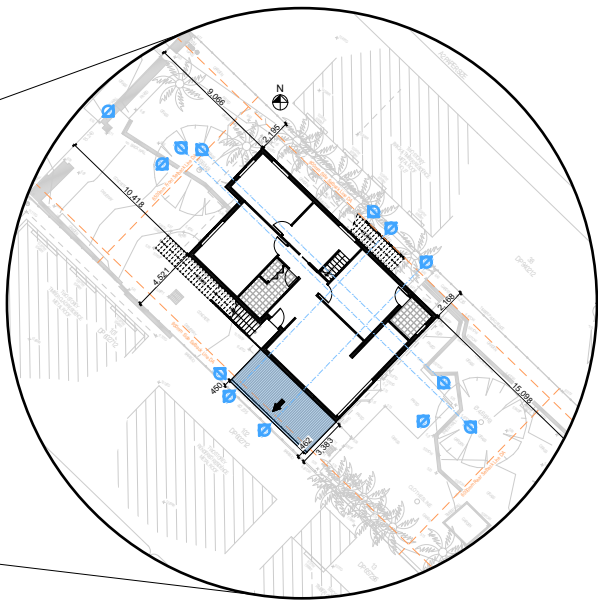
To Existing Residence

For Marcus Rosenberg and Charlotte Ralph

2/25 Charles Street, Freshwater 2096

Lot 2 S.P. 51300

Project Number: RP0320ROS



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 31-8-2020
DA1001	A4 NOTIFICATION PLAN	-	- 31-8-2020
DA1002	SITE SURVEY	-	- 31-8-2020
DA1003	SITE PLAN	-	- 31-8-2020
DA1004	Existing Lower Ground Floor Plan	-	- 31-8-2020
DA1005	Existing Ground Floor Plan	-	- 31-8-2020
DA1006	Existing First Floor Plan	-	- 31-8-2020
DA1007	Existing Roof Plan	-	- 31-8-2020
DA1008	Demolition Lower Ground Floor Plan	-	- 31-8-2020
DA1009	Demolition Ground Floor Plan	-	- 31-8-2020
DA1010	Demolition First Floor Plan	-	- 31-8-2020
DA1011	Demolition Roof Plan	-	- 31-8-2020
DA1012	Landscape Open Space Plan Existing	-	- 31-8-2020
DA1013	Landscape Open Space Plan Proposed	-	- 31-8-2020
DA1014	Landscape Plan	-	- 31-8-2020
DA1015	Sediment & Erosion Plan	-	- 31-8-2020
DA1016	Waste Management Plan	-	- 31-8-2020
DA1017	Stormwater Plan	-	- 31-8-2020
DA2001	LOWER GROUND FLOOR	-	- 31-8-2020
DA2002	GROUND FLOOR	-	- 31-8-2020
DA2003	FIRST FLOOR	-	- 31-8-2020
DA2004	ATTIC FLOOR	-	- 31-8-2020
DA2005	ROOF	-	- 31-8-2020
DA3000	SECTION 1	-	- 31-8-2020
DA3001	SECTION 2	-	- 31-8-2020
DA4000	ELEVATIONS 1	-	- 31-8-2020
DA4001	ELEVATIONS 2	-	- 31-8-2020
DA4002	ELEVATION FRONT FENCE	-	- 31-8-2020
DA5000	PERSPECTIVE	-	- 31-8-2020
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 31-8-2020
DA5002	SHADOW PLAN 21 JUN at 0900h	-	- 31-8-2020
DA5003	SHADOW PLAN 21 JUN at 1200h	-	- 31-8-2020
DA5004	SHADOW PLAN 21 JUN at 1500h	-	- 31-8-2020
DA5005	WALL ELEVATION SHADOWS	-	- 31-8-2020

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A383346

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 16, July 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Rosenberg
Street address	2/25 Charles Street Freshwater 2096
Local Government Area	Northern Beaches Council
Plan type and number	Strata Plan 51300
Lot number	2
Section number	
Project type	
Dwelling type	Unit
Type of alteration and addition	My renovation work is valued at \$50,000 or more.

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

NOTE:

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9(1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017 AND IS ACCURATE TO ABOUT ±0.05m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 2253 WITH RL 10.706 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

LEGEND

BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WM
GAS METER	GM
STATE SURVEY MARK	SSM

BENCHMARK
NAIL IN KERB
RL 5.83 AHD



TSS TOTAL SURVEYING SOLUTIONS
LANE COVE NORTH | CAMDEN | MANLY VALE

NOTE:

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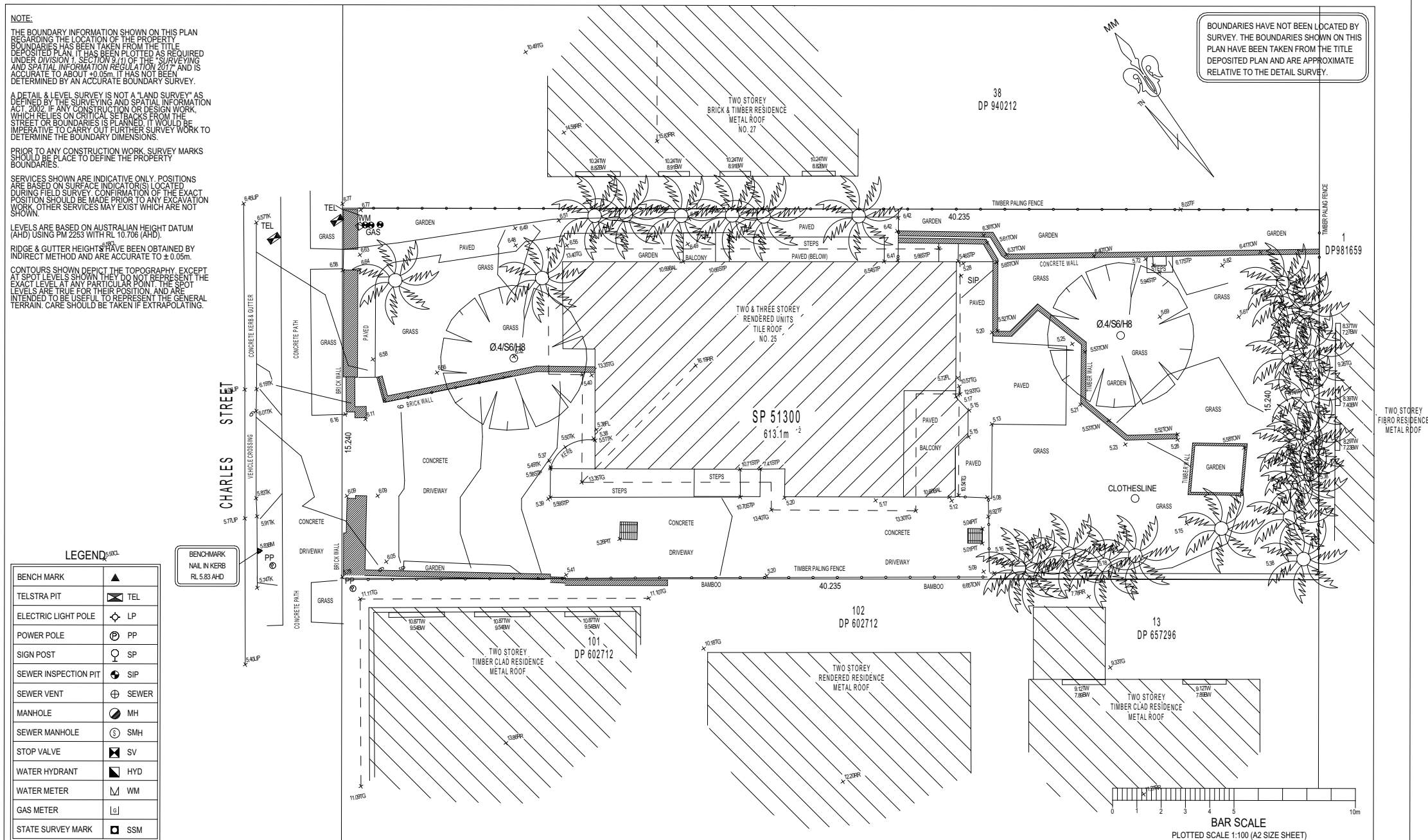
LEGEND

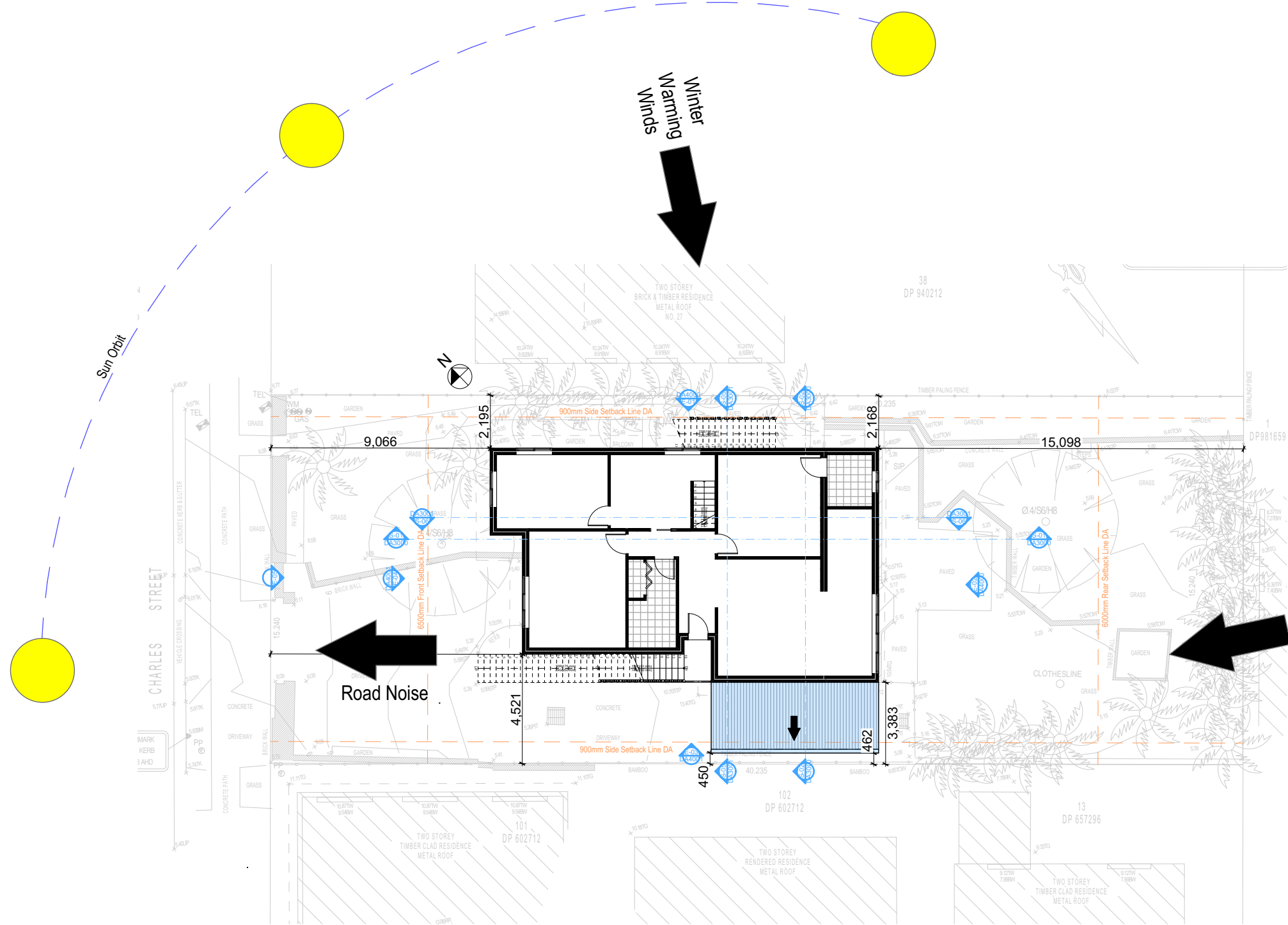
EC - EDGE OF CONCRETE	RR - ROOF RIDGE
EG - EDGE OF GARDEN	AWN - AWNING
TK - TOP OF KERB	BAL - BALCONY
TW - TOP OF WINDOW	FL - FLOOR LEVEL
BW - BOTTOM OF WINDOW	PL - POWER LINE
TG - TOP OF GUTTER	Ø.4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT

PLAN SHOWING DETAIL & LEVELS
OVER SP 51300

CLIENT: MARILYN BOURNE
PROJECT: FRESHWATER
ADDRESS: 1/25 CHARLES STREET, FRESHWATER

JOB No.: 191852	LGA: NORTHERN BEACHES
PLAN No.: 191852_A	DATUM: AHD
DATE: 16/08/2019	SCALE: 1:100@A2
DRAWN: SF	CONT. INTERVAL: 0.25m
CHK: GS	SHEET 1 OF 1





2 SITE PLAN
1:200

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

NO EXCAVATION AND FILL PLAN
DUE TO NO EXCAVATION OR FILL

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Denotes New Works
Wall Legend
Denotes Existing Wall

Summer Cooling Winds

Road Noise

Winter Warming Winds

Sun Orbit

Rapid Plans
Building Design and Architectural Drafting

225 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
225 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS0128-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

NOTES
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
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Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPO320R0S
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE :
SITE AND LOCATION
SITE PLAN

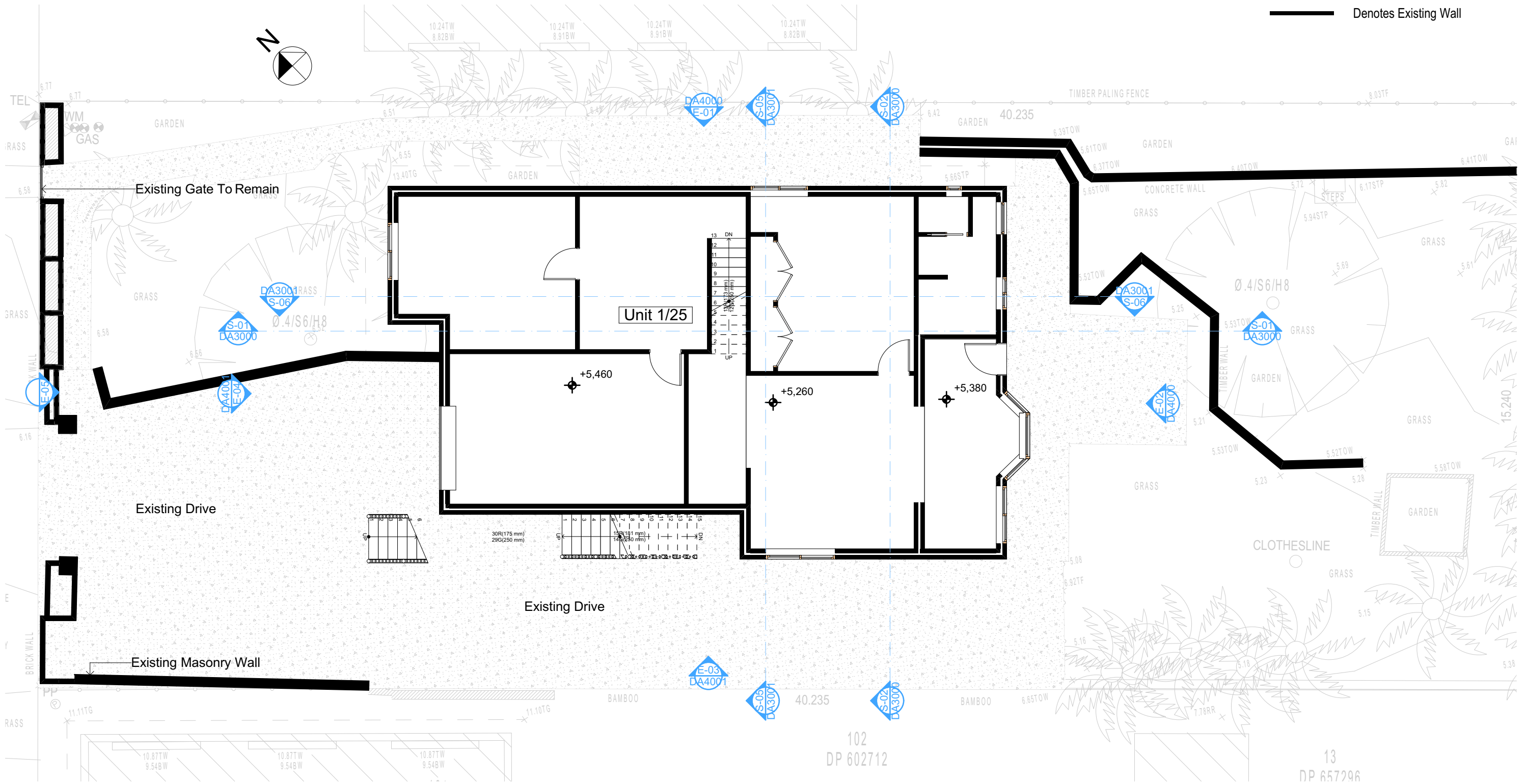
PROJECT NAME :
Alterations & Additions

REVISION NO. REVISION NO.
- 31-8-2020
DRAWING NO.
DA1003

Sheet Size: A3

Wall Legend

Denotes Existing Wall



1 EXISTING BASEMENT/LOWER GROUND
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346
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a) additional insulation is not required where the area of new construction is less than 2m².
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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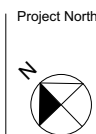


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Builder to Check and Confirm
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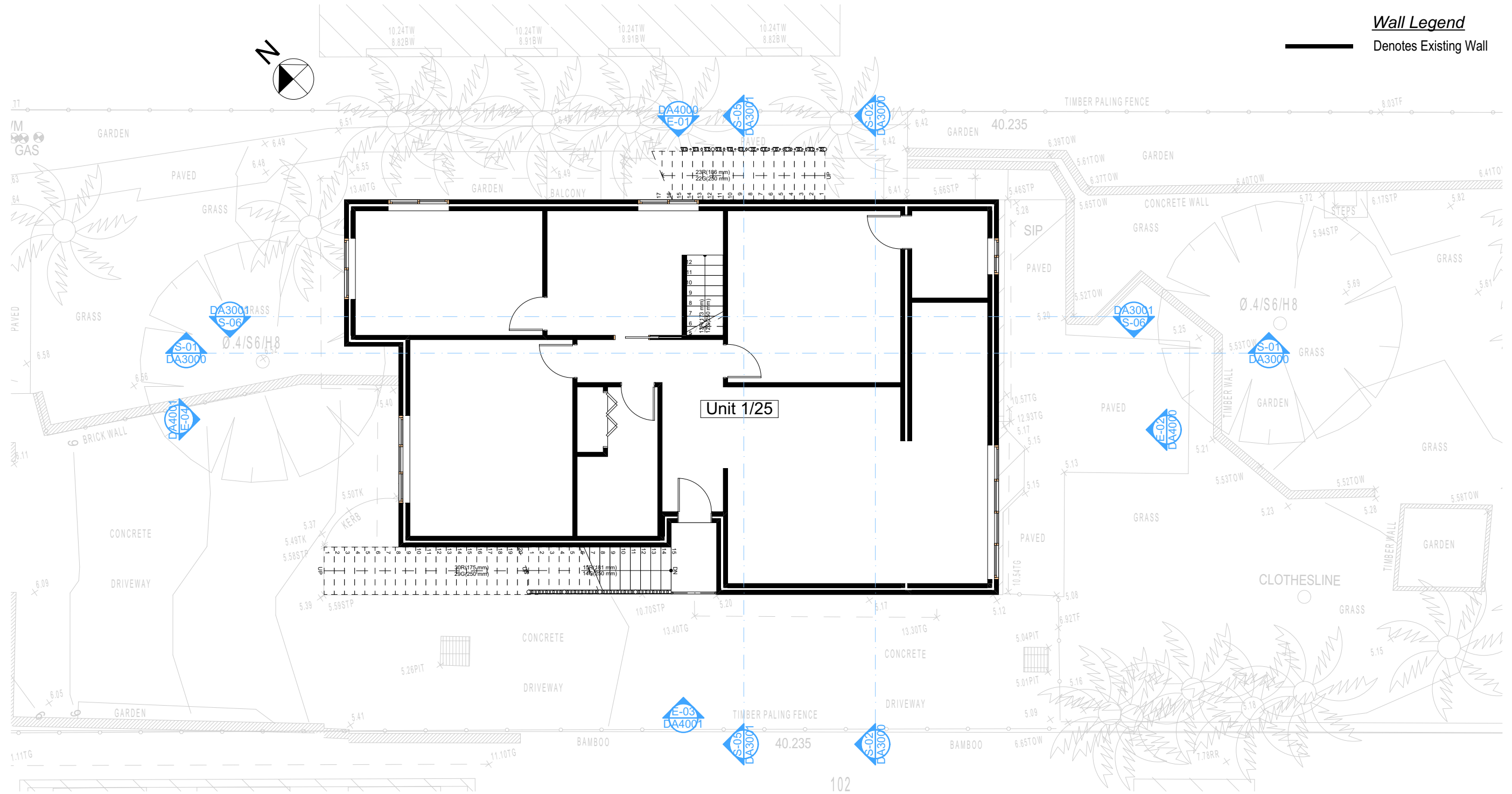


Project North

Checked
Plot Date: 31/08/2020
Project No: RP0320ROS
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
Existing Lower Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
31-8-2020
DRAWING NO.
DA1004



Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction

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Insulation to External Timber Frame Clad Walls R1.70
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346

All Plans to be read in conjunction with Basix Certificate

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Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

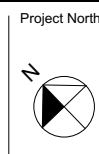


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
31/08/2020
RP0320R0S
DA

Client
Site:
Sheet Size: A3

DRAWING TITLE :

Existing Ground Floor Plan

PROJECT NAME :

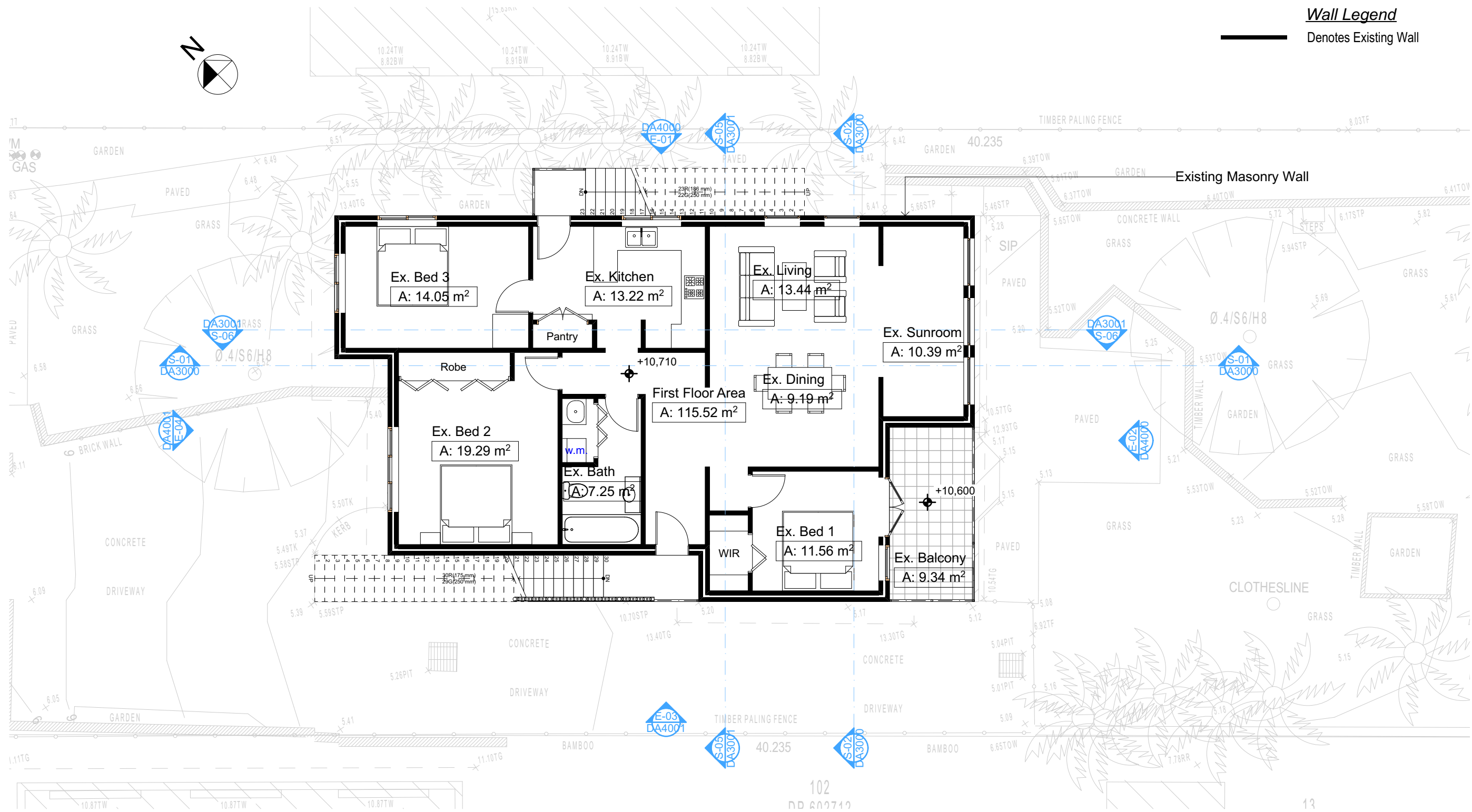
Alterations & Additions

REVISION NO.

DATE:
31-8-2020
DRAWING NO.
DA1005

Wall Legend

Denotes Existing Wall



3 EXISTING FIRST FLOOR
1:100

Builder To Check & Confirm Existing
Measurements Prior to Commencement

NOTES

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

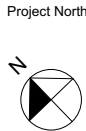


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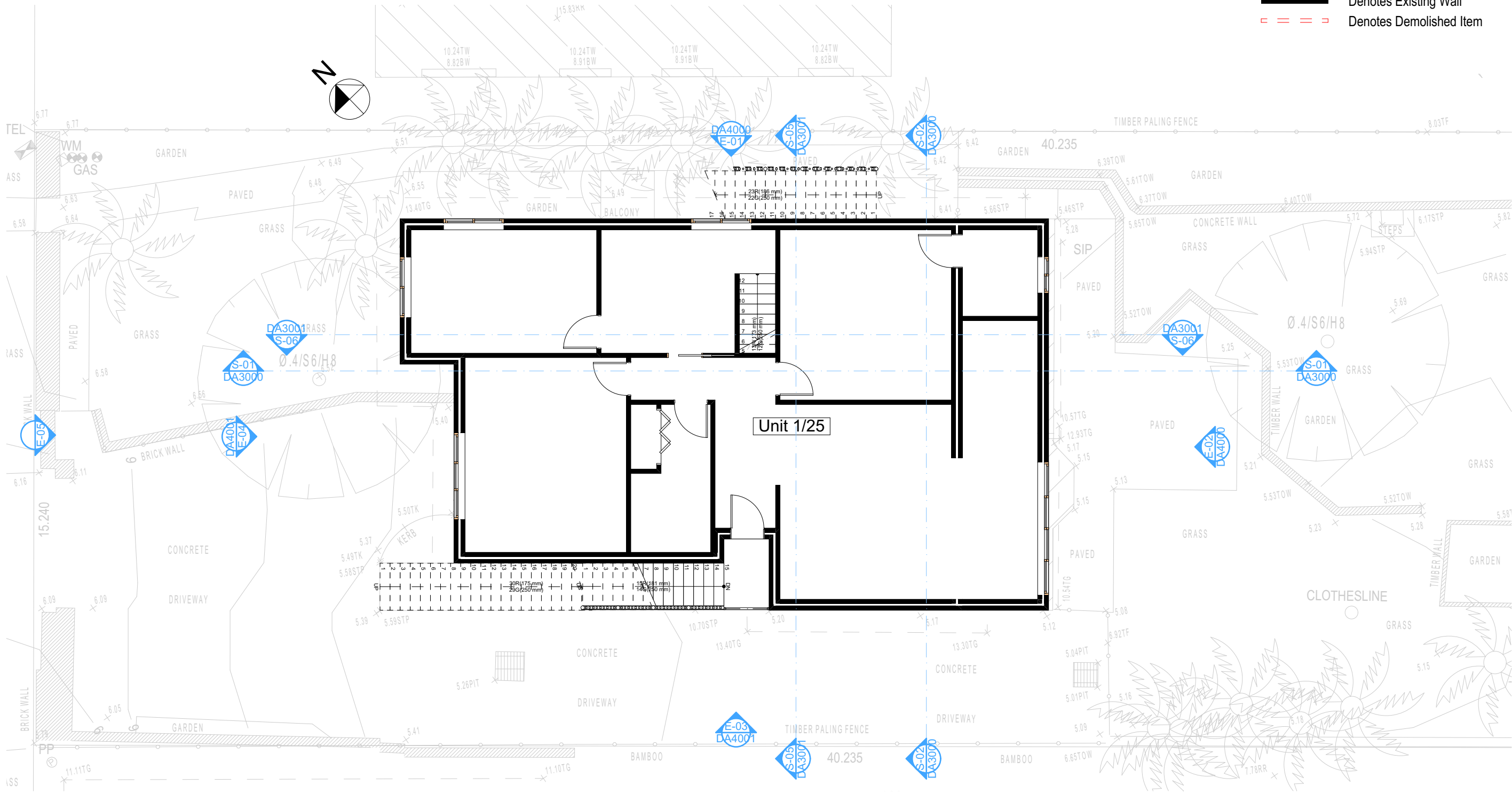
Checked
Plot Date: 31/08/2020
Project NO: RP0320ROS
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 31-8-2020
DRAWING NO.
DA1006

Wall Legend

- Denotes Existing Wall
Denotes Demolished Item



2

DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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New Works to be constructed shown in Shaded/Blue
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

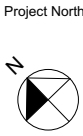


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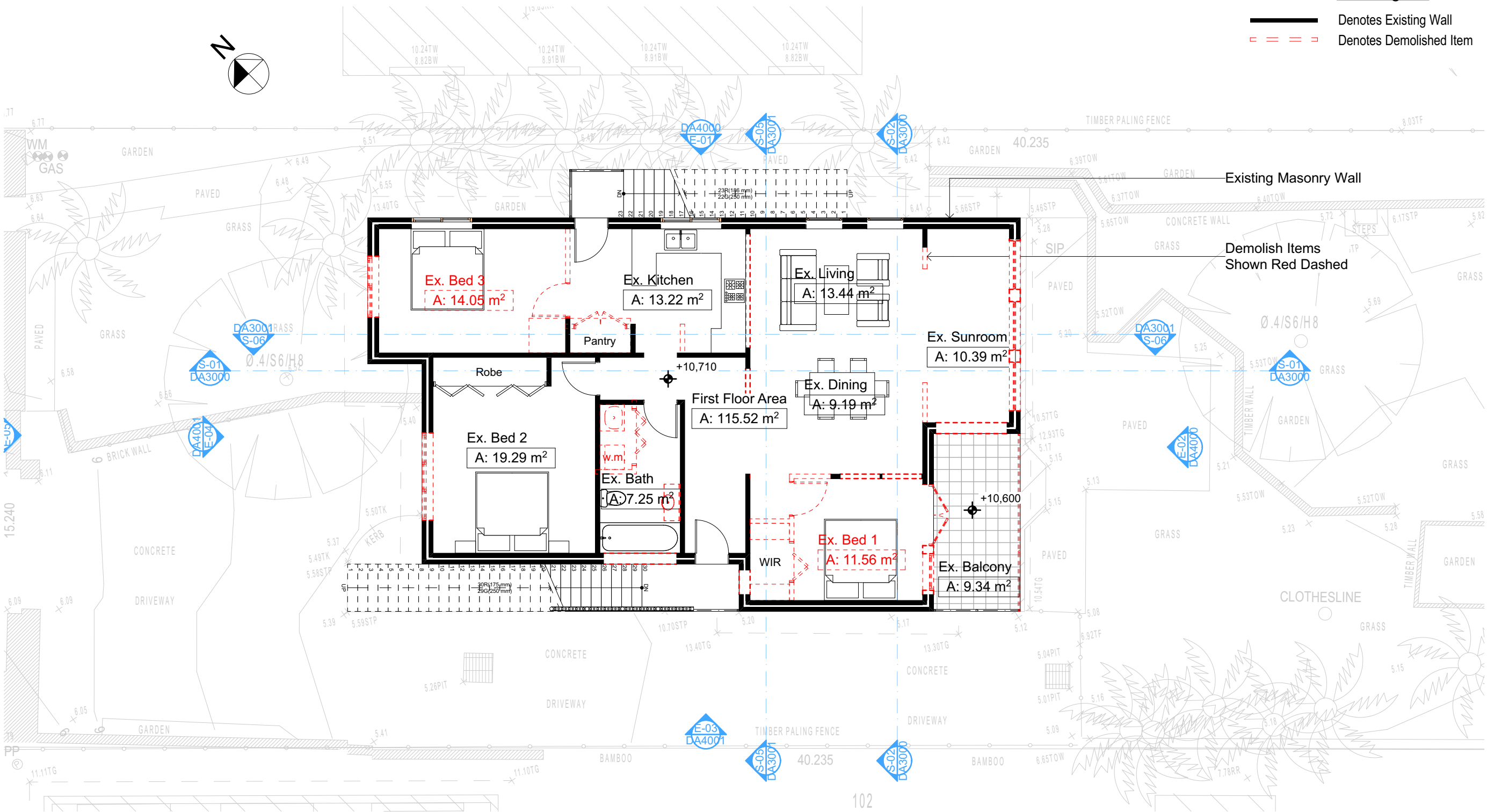
Checked
Plot Date: 31/08/2020
Project NO: RPU320ROS
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 31-8-2020
DRAWING NO.
DA1009

Wall Legend

- Denotes Existing Wall
Denotes Demolished Item



DEMOLITION FIRST FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor/s, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

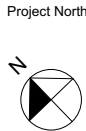


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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



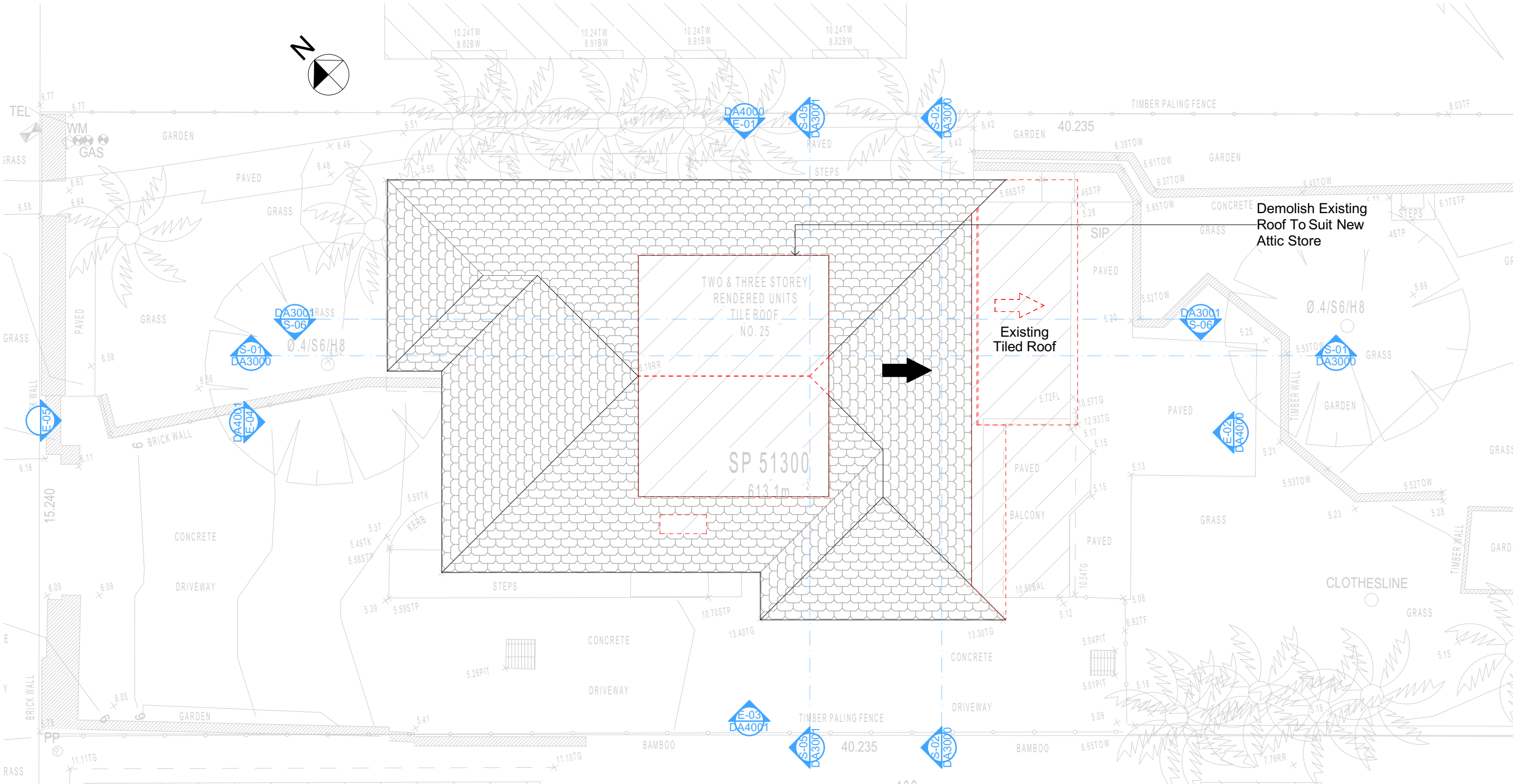
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Plot Date: 31/08/2020
Project NO: RP0320R0S
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE:
31-8-2020
DRAWING NO.
DA1010

Wall Legend

Denotes Demolished Item



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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NOT FOR CONSTRUCTION

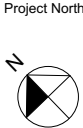


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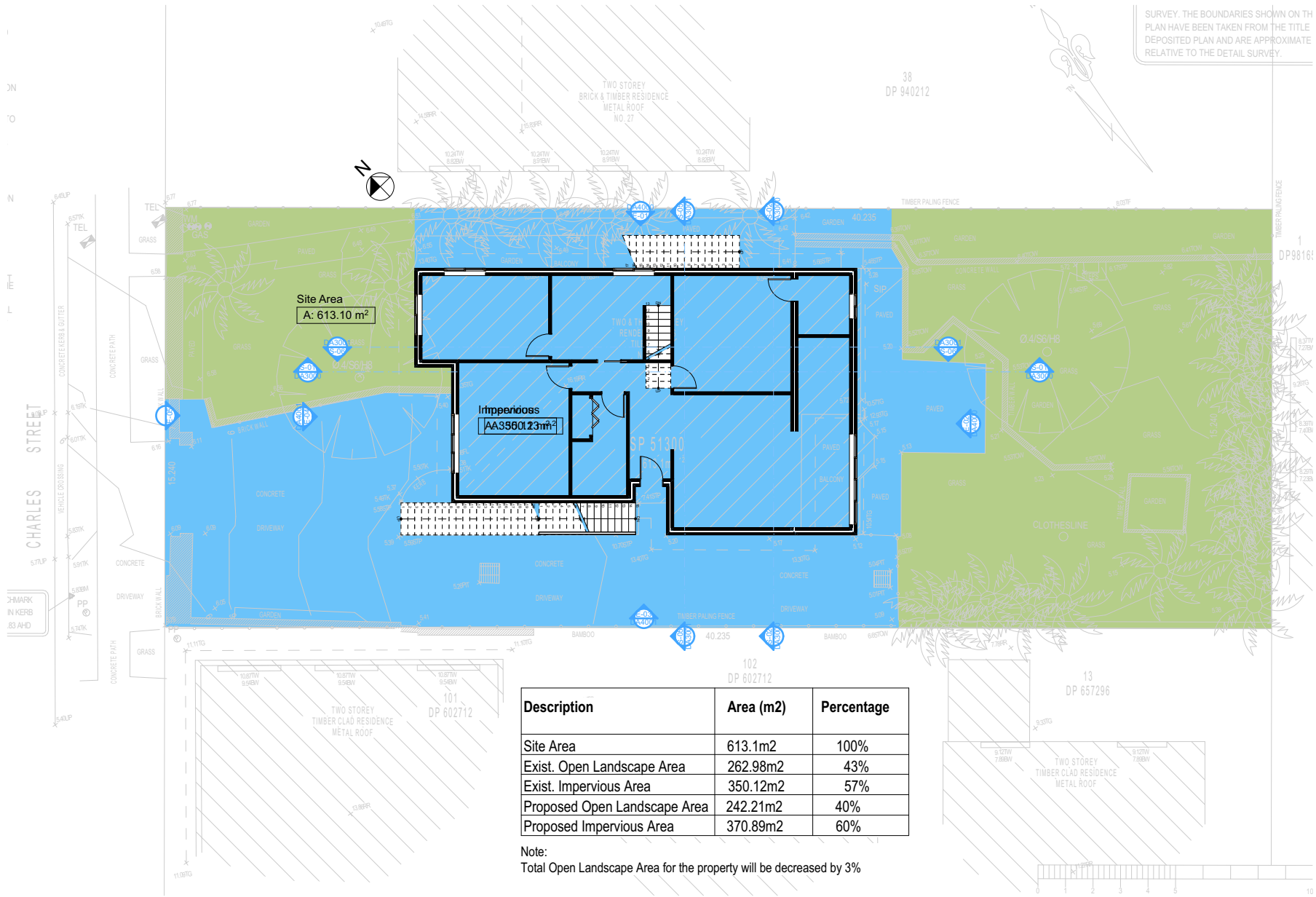
Checked
Plot Date: 31/08/2020
Project NO: RP0320ROS
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Roof Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 31-8-2020
DRAWING NO.
DA1011

Denotes Impervious Area

Denotes Pervious Area



2

LANDSCAPE OPEN SPACE EXISTING
1:200

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS0128-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPD320R0S
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

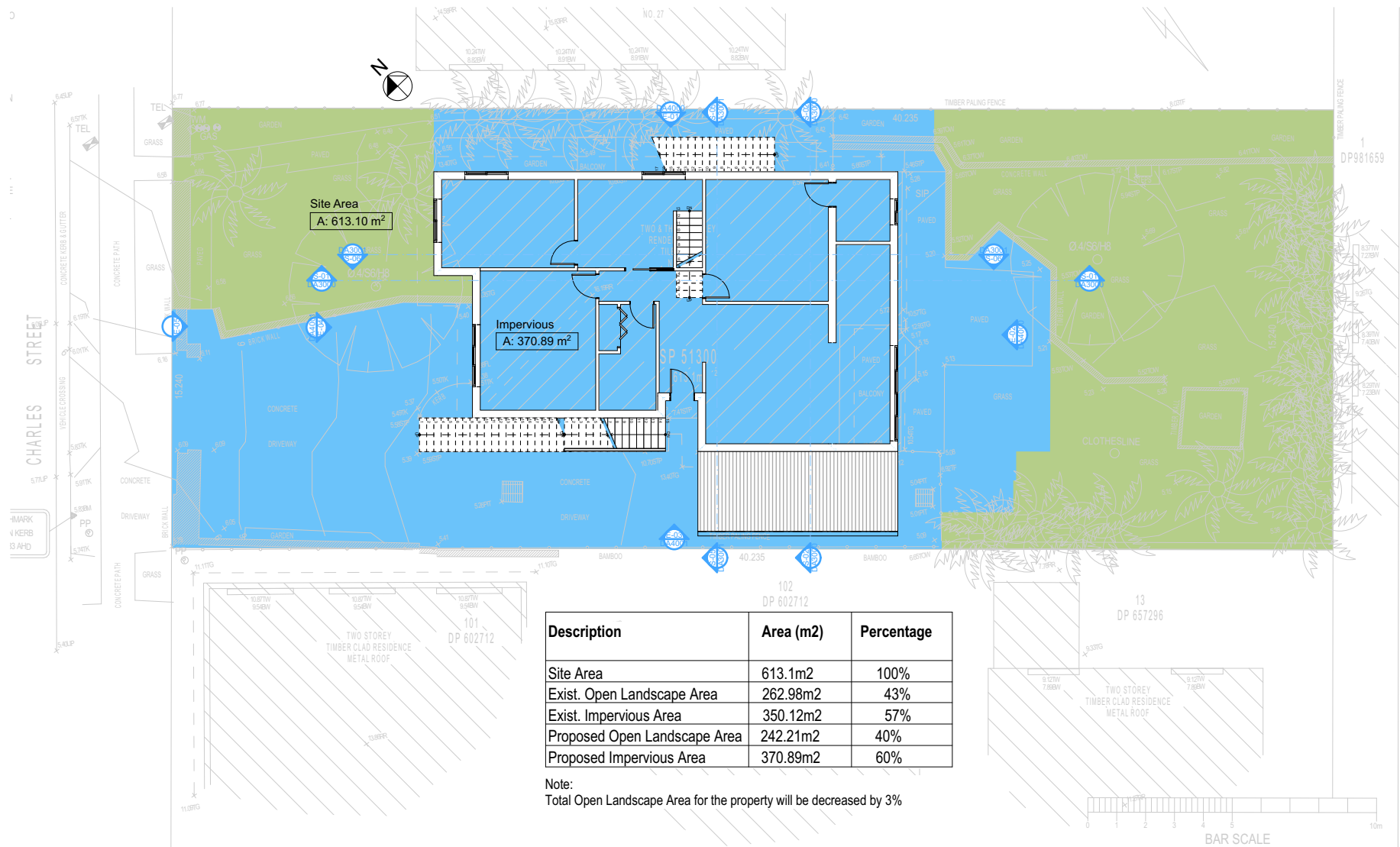
REVISION NO.	REVISION NO.
-	31-8-2020

DRAWING NO.
DA1012

Sheet Size: A3

Denotes Impervious Area

Denotes Pervious Area



2 LANDSCAPE OPEN SPACE PROPOSED
1:200

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS0128-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Basic
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPO320R0S
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO.	REVISION NO.
-	31-8-2020

DRAWING NO.
DA1013

Sheet Size: A3

BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 3.1(1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017, AND IS ACCURATE TO ABOUT 40.00m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A 'LAND SURVEY' AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

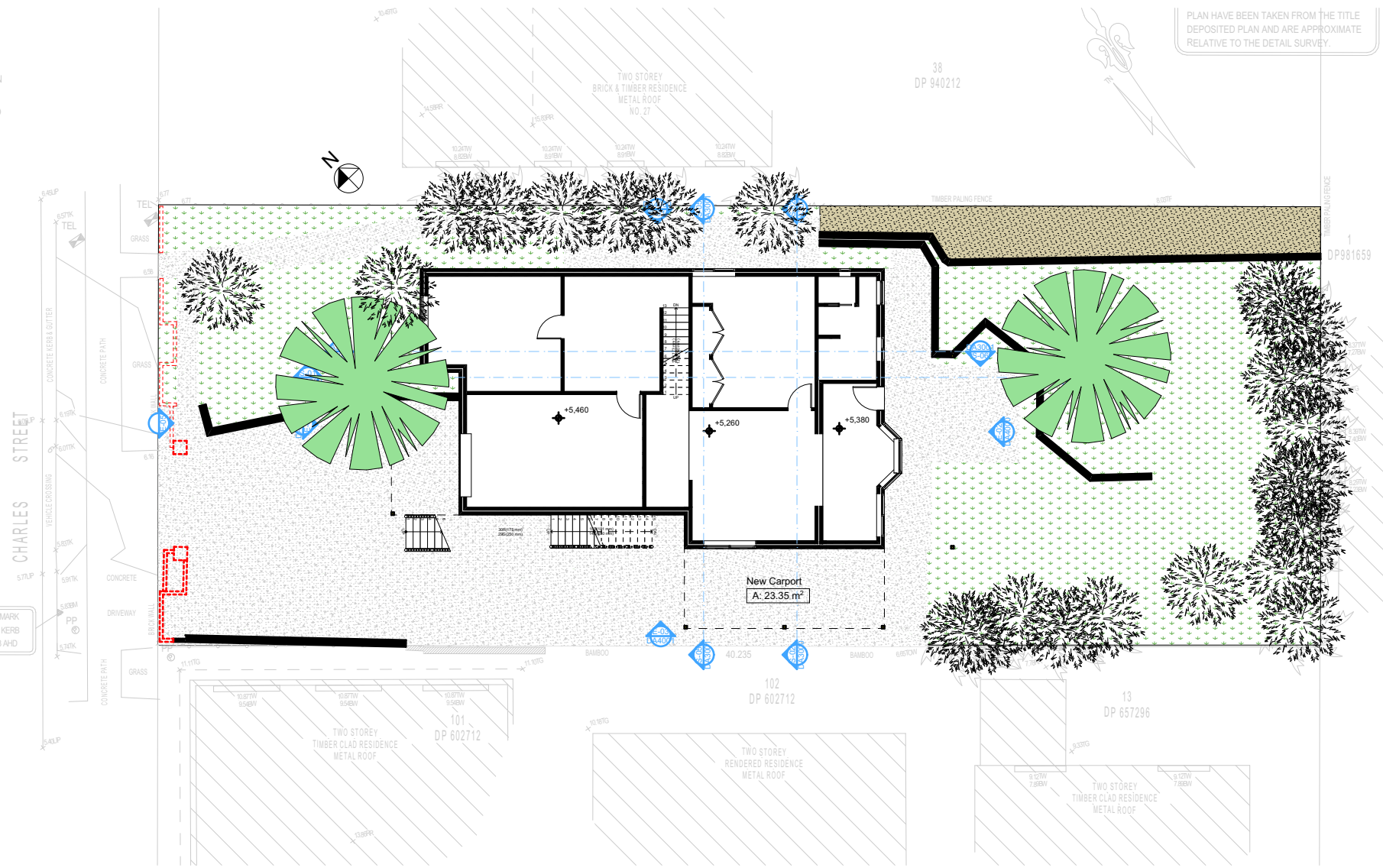
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Garden Area
	Existing Concrete
	New Vertical Timber Fence
	New Masonry Wall
	Existing Tree To Remain
	Existing Palms To Remain
	Existing Grass To Remain

TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV

1
-

LANDSCAPE PLAN
1:200



PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1864
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 200.0, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPD320R0S
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE :
SITE AND LOCATION Landscape Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.	REVISION NO.
-	31-8-2020

DRAWING NO.
DA1014

Sheet Size: A3

Denotes New Works

—

Denotes Existing Wall

==

Denotes Demolished Item

Wall Legend

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED.

Sediment Control Fence

DETERMINE THE BOUNDARY DIMENSIONS. PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 2253 WITH RL 10.706 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.

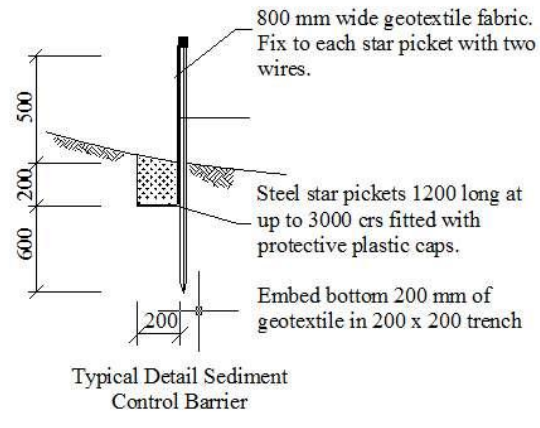
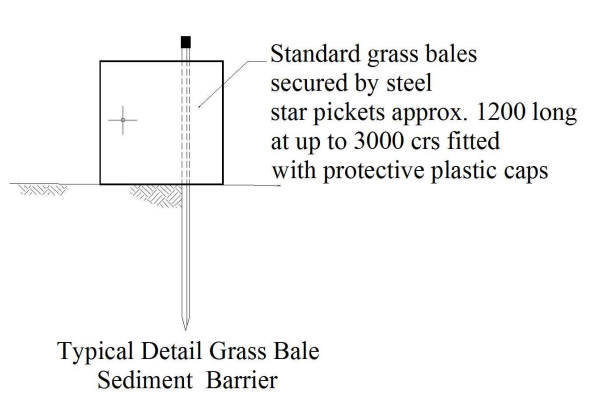
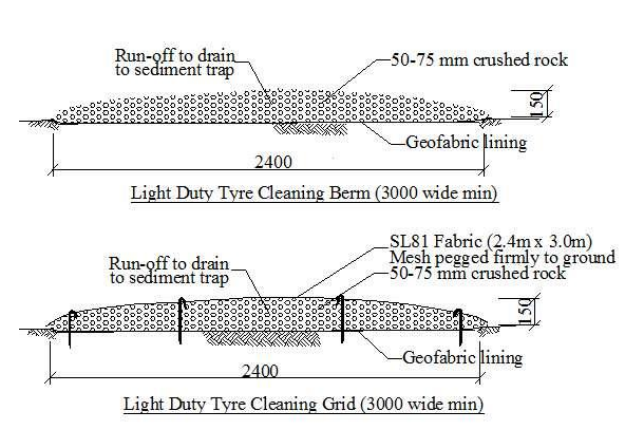
CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

Site Safety Fence

LEGEND

BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP

1 SEDIMENT & EROSION PLAN 1:200



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Email: info@rapidplans.com.au

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bdaa

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bdaa

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

225 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

225 Charles Street, Freshwater 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Timber Frame Floor, Timber Frame Clad Walls

Road Timber Frame to have R1.24 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a certified Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A383346

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 200. b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 31/08/2020

Project NO.: RPD320R0S

Project Status DA

Client

Marcus Rosenberg and Charlotte Ralph

Site:

2/25 Charles Street, Freshwater 2096

DRAWING TITLE:

SITE AND LOCATION

PROJECT NAME:

Sediment & Erosion Plan

REVISION NO.

REVISION NO.

-

31-8-2020

DRAWING NO.

DA1015

Sheet Size: A3

Denotes New Works

Denotes Existing Wall

Denotes Demolished Item

Wall Legend

NOTE:
THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017 AND IS ACCURATE TO ABOUT +0.05m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.
A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002. IF ANY CONSTRUCTION OR DESIGN WORK WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 2253 WITH RL 10.706 (AHD).
E BEEN OBTAINED BY CURATE TO ± 0.05m.
E TOPOGRAPHY EXCEPT DO NOT REPRESENT THE SPOT AT POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

Material Storage Area

Sediment Control Fence

Vehicle Access For Removal Of Waste By Builder During Work Hours

Site Safety Fence

ELECTRIC LIGHT POLE	LP
POWER POLE	PP
IT	SP
INSPECTION PIT	SIP
WATER ENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WMT

Residential Garbage Bin Storage

Approximate Location Of Building Waste & Recycling Area

1
-
WASTE MANAGEMENT PLAN
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Rapid Plans

Building Design and Architectural Drafting

WORLD PLANS

www.rapidplans.com.au

PO Box 6239 Freshwater Forest DC NSW 2086

Fax: (02) 9350-8545 Mobile: 0414-545-024

Email: info@rapidplans.com.au

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bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Noting
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each overhang, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 31/08/2020

Project NO.: RPD320R0S

Project Status DA

Client

Marcus Rosenberg and Charlotte Ralph

Site:

2/25 Charles Street, Freshwater 2096

DRAWING TITLE:

SITE AND LOCATION

Waste Management Plan

PROJECT NAME:

Alterations & Additions

REVISION NO.

REVISION NO.

-

31-8-2020

DRAWING NO.

DA1016

Sheet Size: A3

Denotes New Works

Denotes Demolished Item

ON SHOWN ON THIS PLAN OF THE PROPERTY
EN FROM THE TITLE
EN PLOTTED AS REQUIRED
19/11/17 OF THE SURVEYING
REGULATION 2017, AND IS
TO IT HAS NOT BEEN
ATE BOUNDARY SURVEY.
3 NOT A "LAND SURVEY" AS
2 AND SPATIAL INFORMATION
CTION OR DESIGN WORK
SETBACKS FROM THE
PLANNED. IT WOULD BE
FURTHER SURVEY WORK TO
' DIMENSIONS.
ON WORK SURVEY MARKS
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DATIVE ONLY. POSITIONS
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IFIRMATION OF THE EXACT
PRIOR TO ANY EXCAVATION
Y EXIST WHICH ARE NOT
TRALIAN HEIGHT DATUM
L TO 706 (AHD).
AVE BEEN OBTAINED BY
ACCURATE TO ± 0.05m.
THE TOPOGRAPHY, EXCEPT
EY DO NOT REPRESENT THE
GULAR POINT, THE SPOT
R POSITION, AND ARE
Y REPRESENT THE GENERAL
TAKEN IF EXTRAPOLATING.

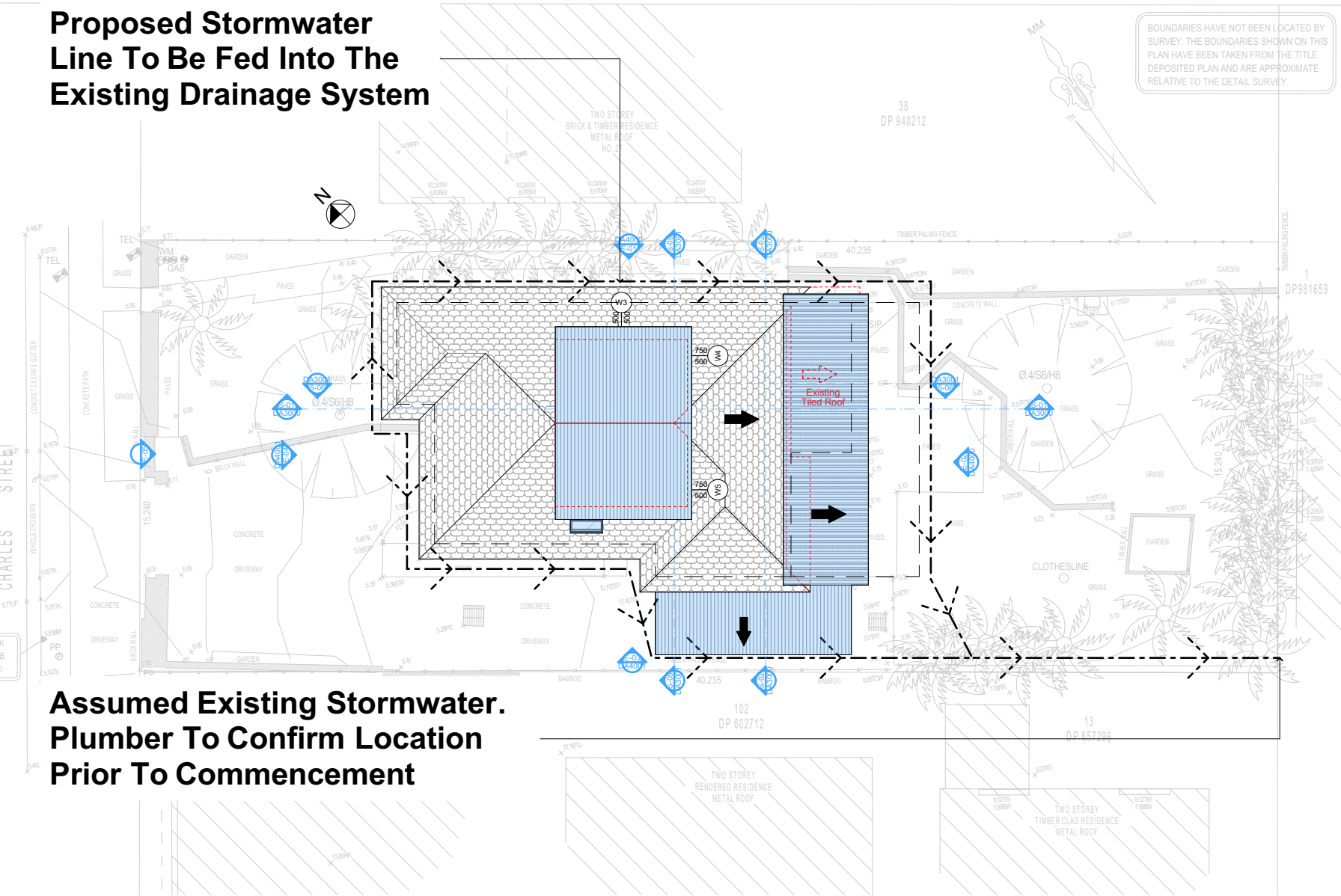
- TEL
- LP
- PP
- SP
- SIP
- SEWER
- MH
- SMH
- SV

4

Proposed Stormwater Line To Be Fed Into The Existing Drainage System

Assumed Existing Stormwater Plumber To Confirm Location Prior To Commencement

STORMWATER PLAN
1:200



BOUNDARIES HAVE NOT BEEN LOCATED BY SURVEY. THE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Rapid Plans
Building Design and Architectural Drafting

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ASSOCIATION OF AUSTRALIA

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPD320R0S
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE:
SITE AND LOCATION
Stormwater Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
- 31-8-2020
DRAWING NO.
DA1017

Sheet Size: A3

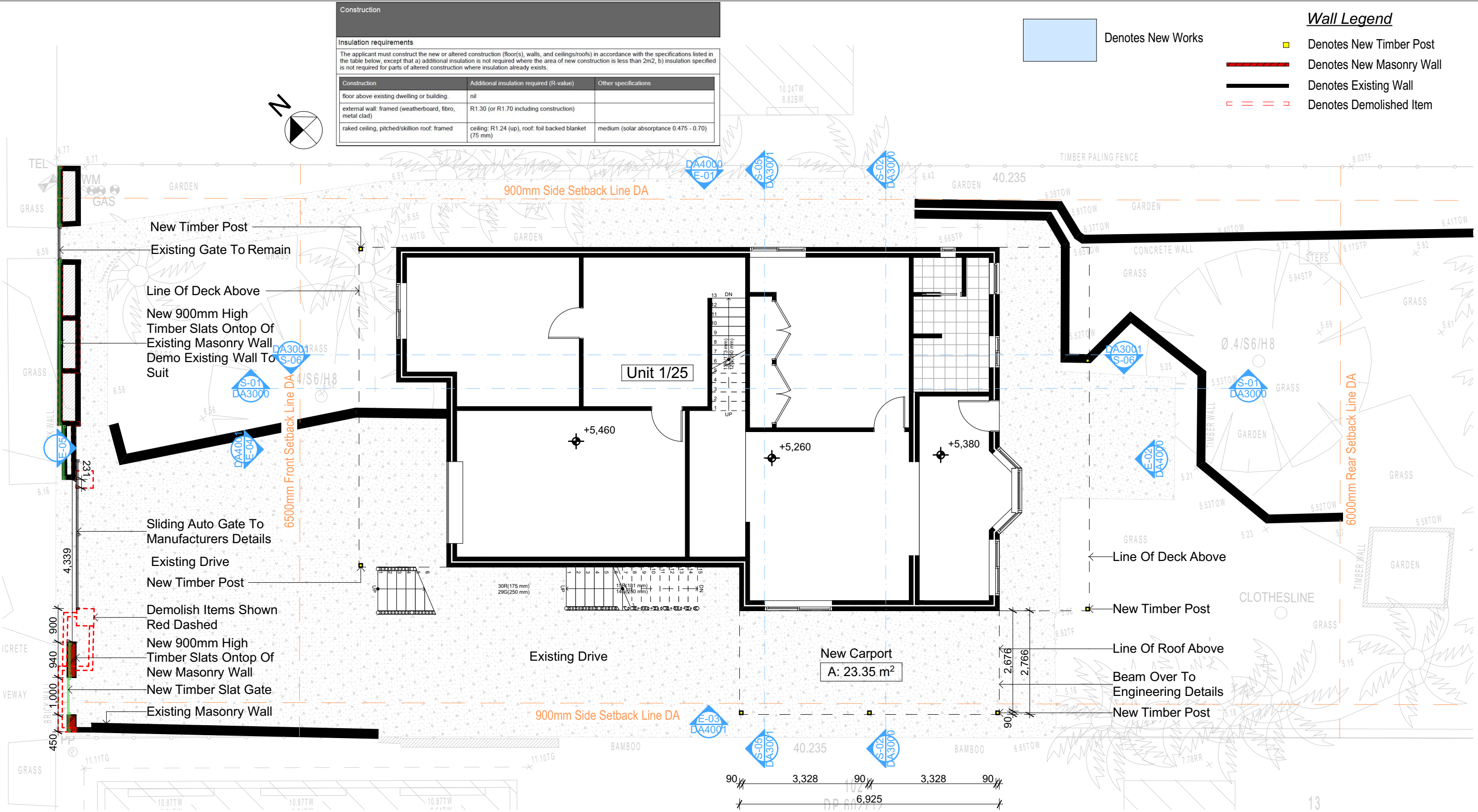
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



Denotes New Works

Wall Legend

- Denotes New Timber Post
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



1 BASEMENT/LOWER GROUND
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

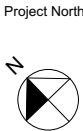


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 31/08/2020
Project NO: RP0320ROS
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR
PROJECT NAME :
Alterations & Additions

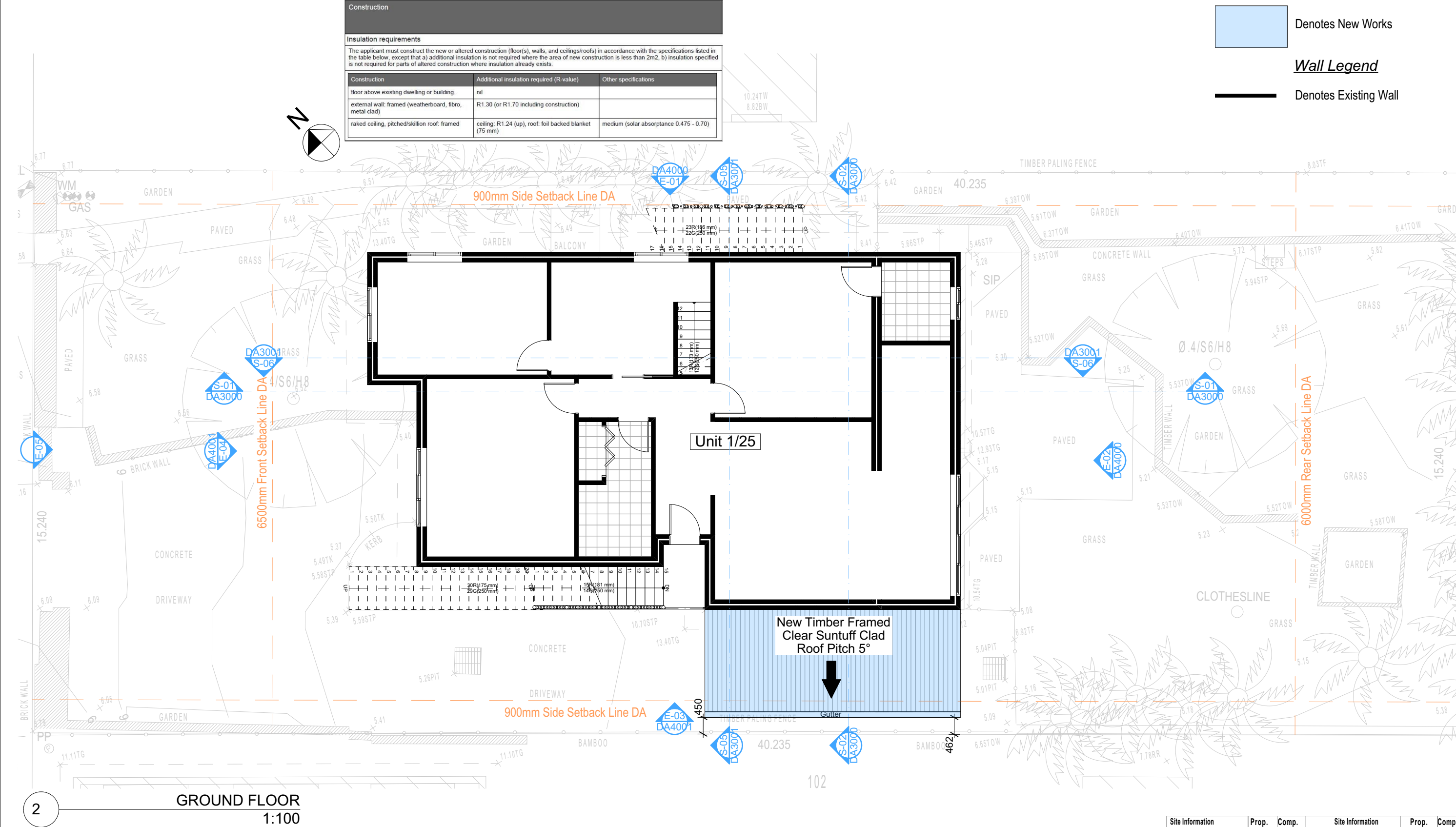
REVISION NO.
-
DATE:
31-8-2020
DRAWING NO.
DA2001

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works

Wall Legend

Denotes Existing Wall




NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers Drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.


Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION




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Building Design and Architectural Drafting

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
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ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North



Checked
Plot Date: 31/08/2020
Project NO: RP0320ROS
Project Status: DA

Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 31-8-2020
DRAWING NO.
DA2002

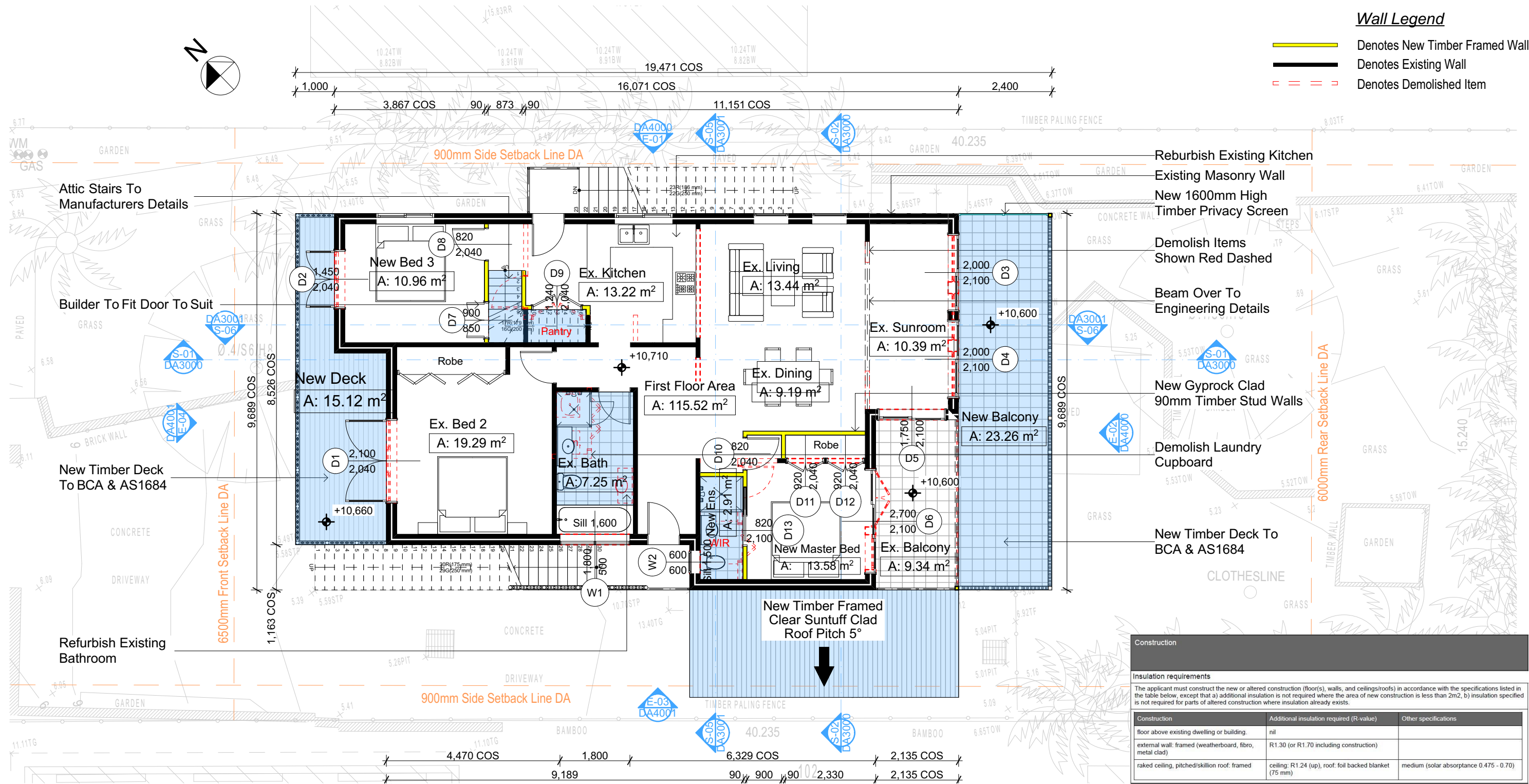
Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

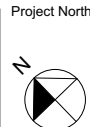


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 31/08/2020
Project NO: RP0320R0S
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
FIRST FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 31-8-2020
DRAWING NO.
DA2003

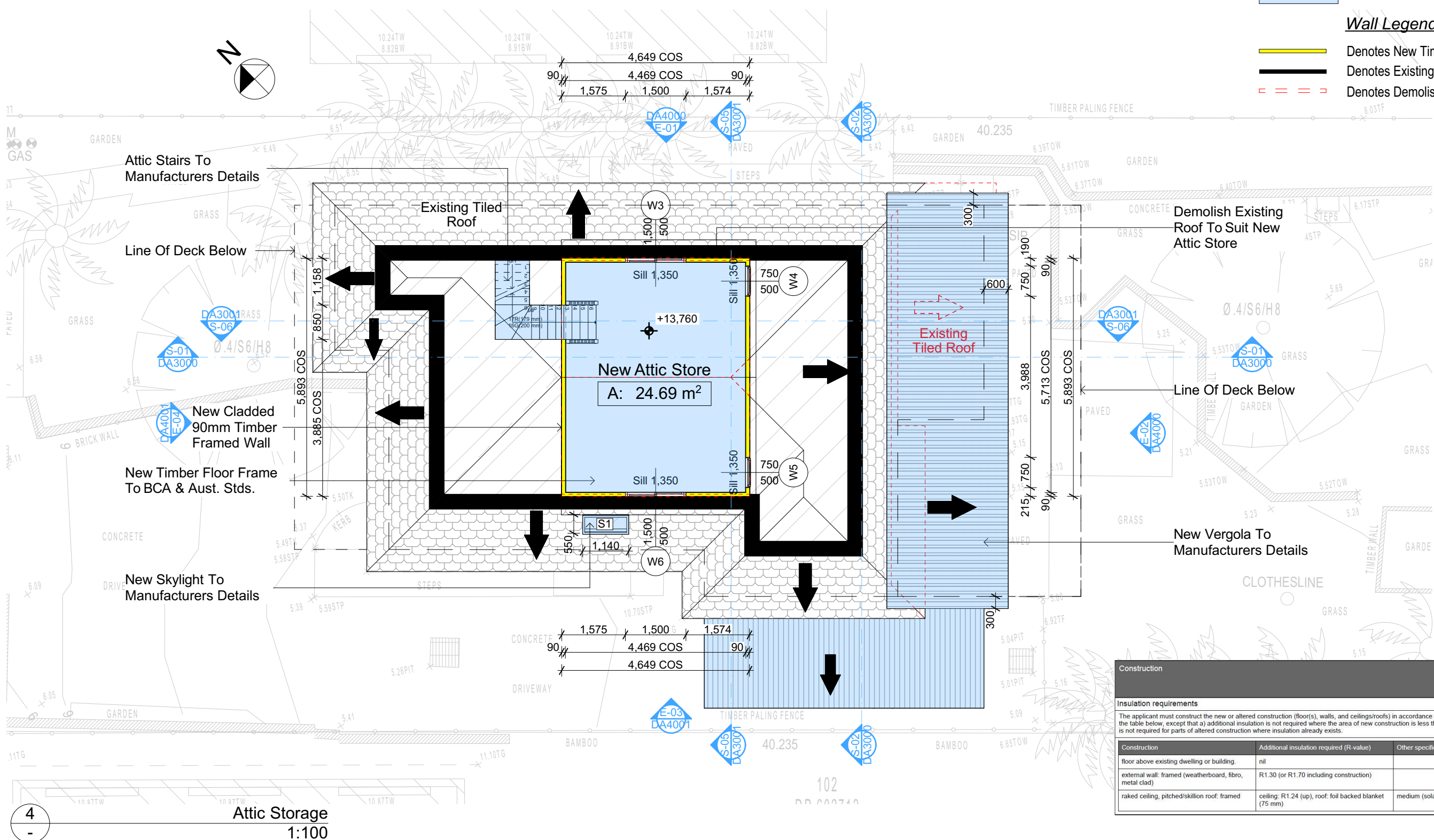
Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
DA Application Only
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



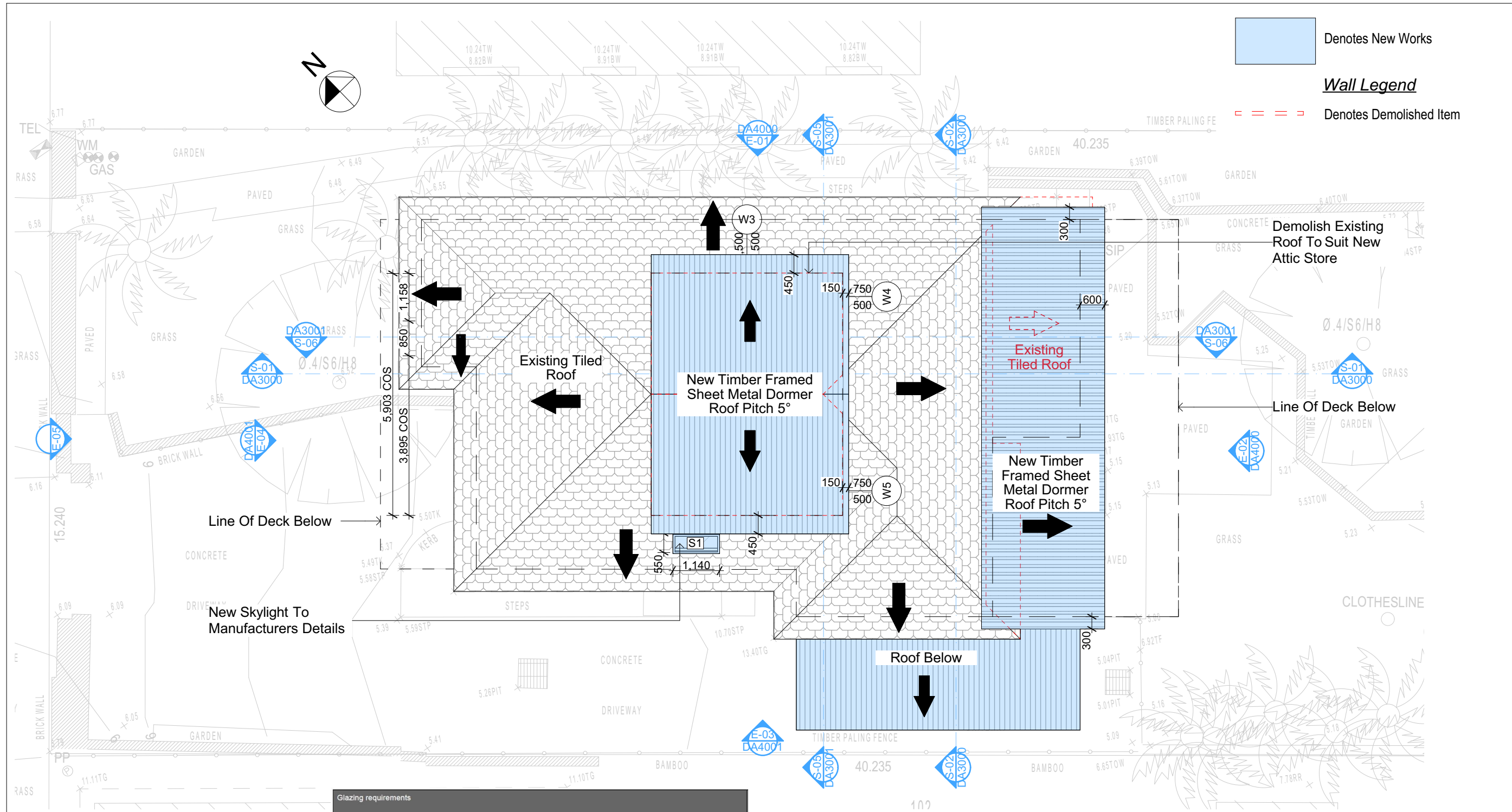
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

DRAWING TITLE :
PLANS
ATTIC FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
31-8-2020
DRAWING NO.
DA2004



4

Roof Plan
1:100

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W6	SW	0.75	0	0	eave/verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	3.11	0	0	eave/verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SE	4.2	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SE	4.2	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	SW	3.68	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.						
The following requirements must also be satisfied in relation to each skylight:						
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	0.7	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
			6.21, SHGC: 0.808			

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New Works

Wall Legend

Denotes Demolished Item



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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in ShadedBlue.
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers Specification and BCA
Timber framing to BCA and AS 1854
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Certification
The DA Application only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate. Drawings by Rapid Plans.
Basic
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPD320R0S
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: PLANS ROOF

PROJECT NAME: Alterations & Additions

REVISION NO. REVISION NO.

- 31-8-2020

DRAWING NO. DA2005

Sheet Size: A3

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

New Timber Framed Sheet
Metal Dormer Roof Pitch 5°

+16,190
5 ROOF

Existing Tiled Roof

+13,410
4 FCL

Existing Masonry Wall

New Handrail To BCA
& Aust. Stds.

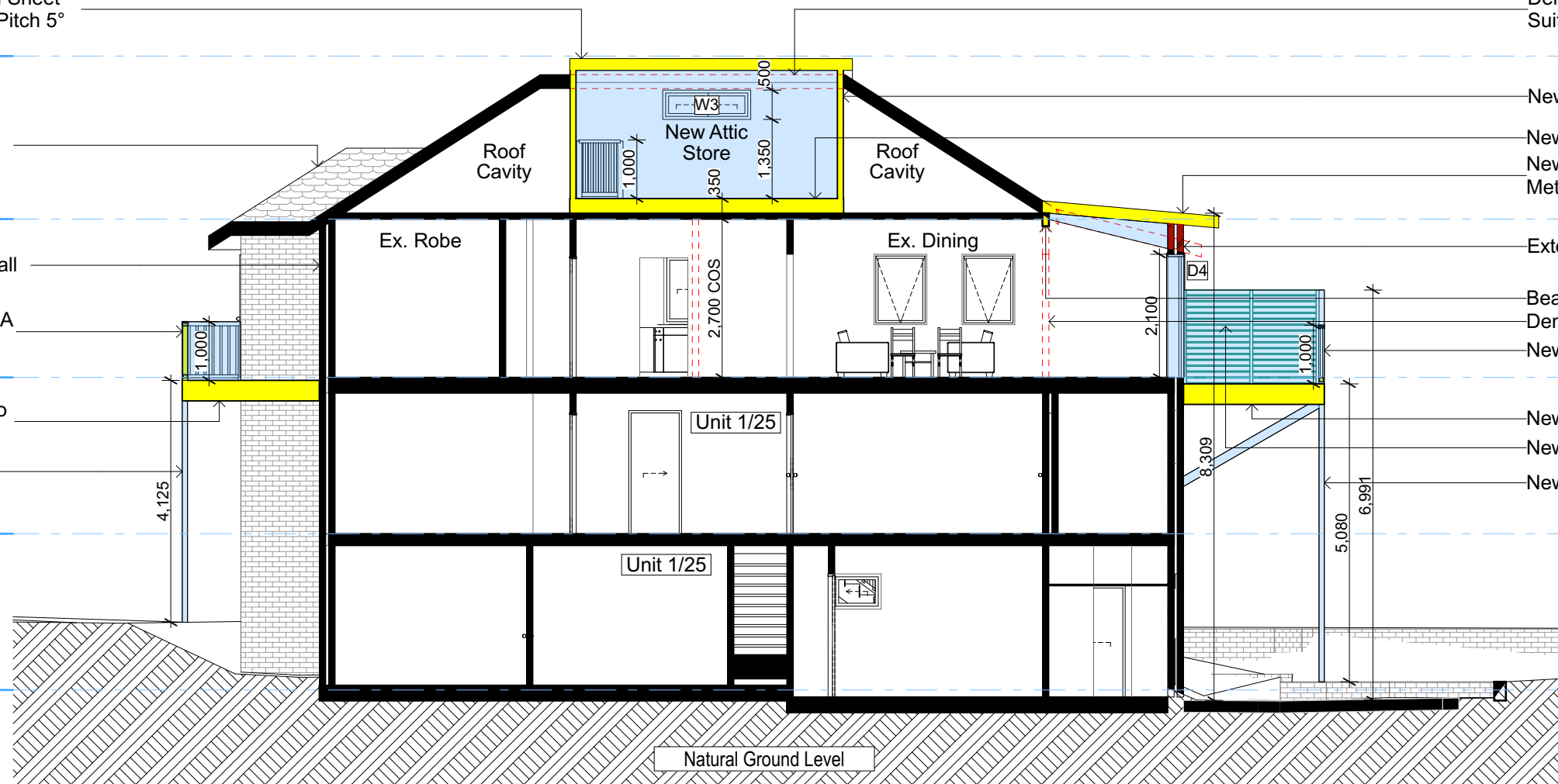
+10,710
3 FIRST FLOOR

New Timber Deck To
BCA & AS1684

New Timber Post

+8,045
2 GROUND FLOOR

+5,380
1 LOWER GND FLOOR



SECTION 1
1:100

S-01

+16,190
5 ROOF

Existing Tiled Roof

+13,410
4 FCL

Existing Masonry Wall

New Gyprock Clad
90mm Timber Stud Walls

+10,710
3 FIRST FLOOR

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

+8,045
2 GROUND FLOOR

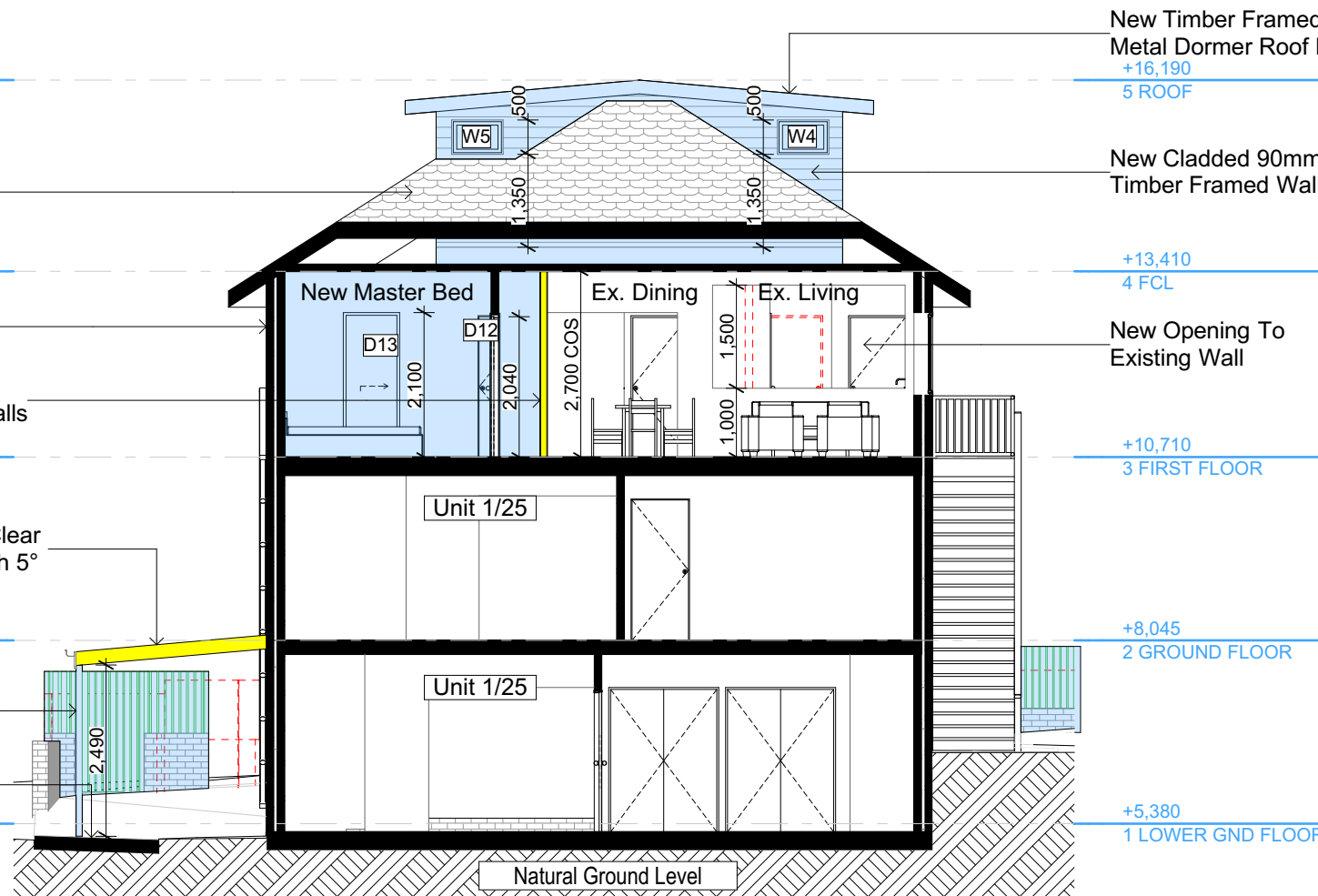
New Timber Post

Existing Driveway

+5,380
1 LOWER GND FLOOR

SECTION 2
1:100

S-02



New Timber Framed Sheet
Metal Dormer Roof Pitch 5°

+16,190
5 ROOF

New Cladded 90mm
Timber Framed Wall

+13,410
4 FCL

New Opening To
Existing Wall

+10,710
3 FIRST FLOOR

+8,045
2 GROUND FLOOR

+5,380
1 LOWER GND FLOOR

Demolish Existing Roof To
Suit New Attic Store

+16,190
5 ROOF

New Cladded 90mm Timber Framed Wall

New Timber Floor Frame To BCA & Aust. Stds.
New Timber Framed Sheet
Metal Roof Pitch 5°

+13,410
4 FCL

Extend Masonry Wall To Roof

Beam Over To Engineering Details
Demolish Items Shown Red Dashed

New Handrail To BCA & Aust. Stds.

+10,710
3 FIRST FLOOR

New Timber Deck To BCA & AS1684

New 1600mm High Timber Privacy Screen

New Timber Post

+8,045
2 GROUND FLOOR

+5,380
1 LOWER GND FLOOR



Denotes New Works



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item

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**DA APPLICATION
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BUILDING DESIGNER

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
Timber Frame Floor, Timber Frame Clad Walls.
Roof Timber Frame to have R1.24 insulation.
Insulation to External Timber Frame Clad Walls R1.70.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS 1288-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Table 1: Site Information

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Table 2: Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North	Project North
Project North	Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPD320R0S
Project Status DA

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

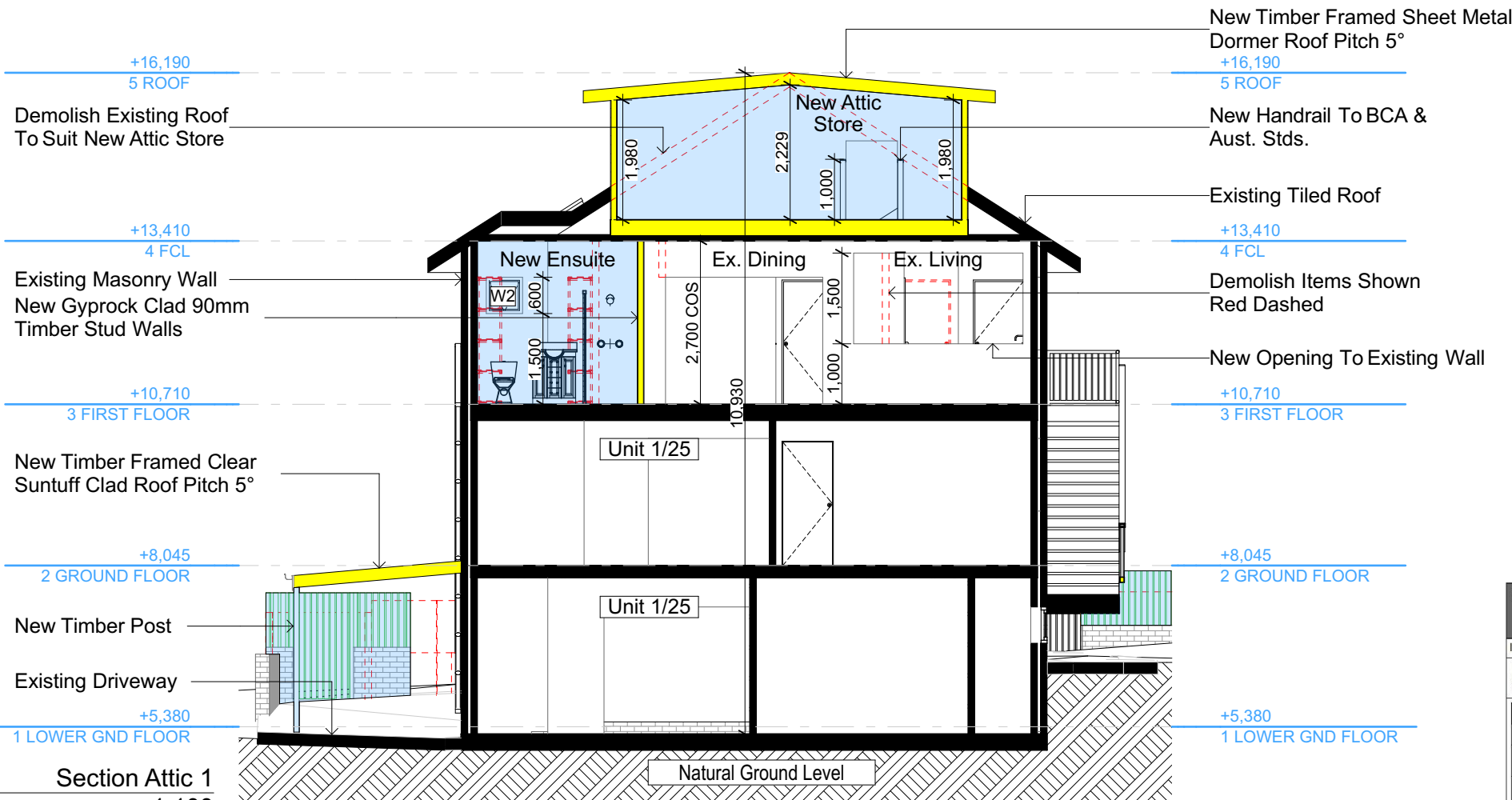
DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

REVISION NO. REVISION NO.
- 31-8-2020

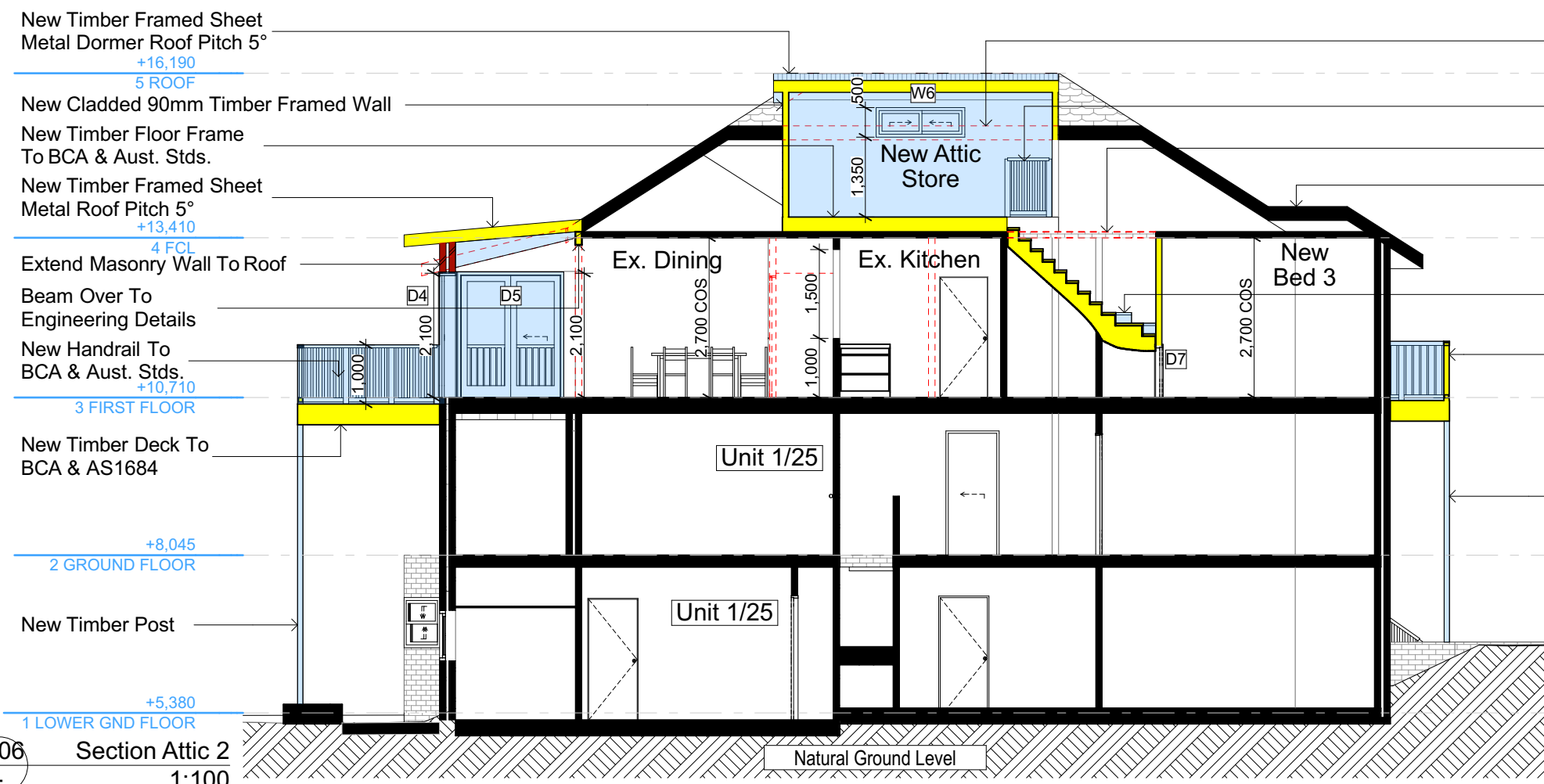
DRAWING NO. **DA3000**

Sheet Size: A3



- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



- Demolish Existing Roof To Suit New Attic Store
- New Handrail To BCA & Aust. Stds.
- Demolish Items Shown Red Dashed
- Existing Tiled Roof
- Attic Stairs To Manufacturers Details
- New Handrail To BCA & Aust. Stds.
- New Timber Post

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NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

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bdca
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bdca
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Table 1: Insulation requirements

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Table 2: Site Information

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RP0320R0S
Project Status DA

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: SECTIONS SECTION 2

PROJECT NAME: Alterations & Additions

REVISION NO. REVISION NO.
- 31-8-2020
DRAWING NO. DA3001

Sheet Size: A3

E-01

North
1:100

+16,190
5 ROOF

Existing Tiled Roof

New Timber Framed Sheet
Metal Roof Pitch 5°

+13,410
4 FCL

Beam Over To Engineering Details

New Timber Post
New Handrail To
BCA & Aust. Stds.

+10,710
3 FIRST FLOOR

Building Envelope

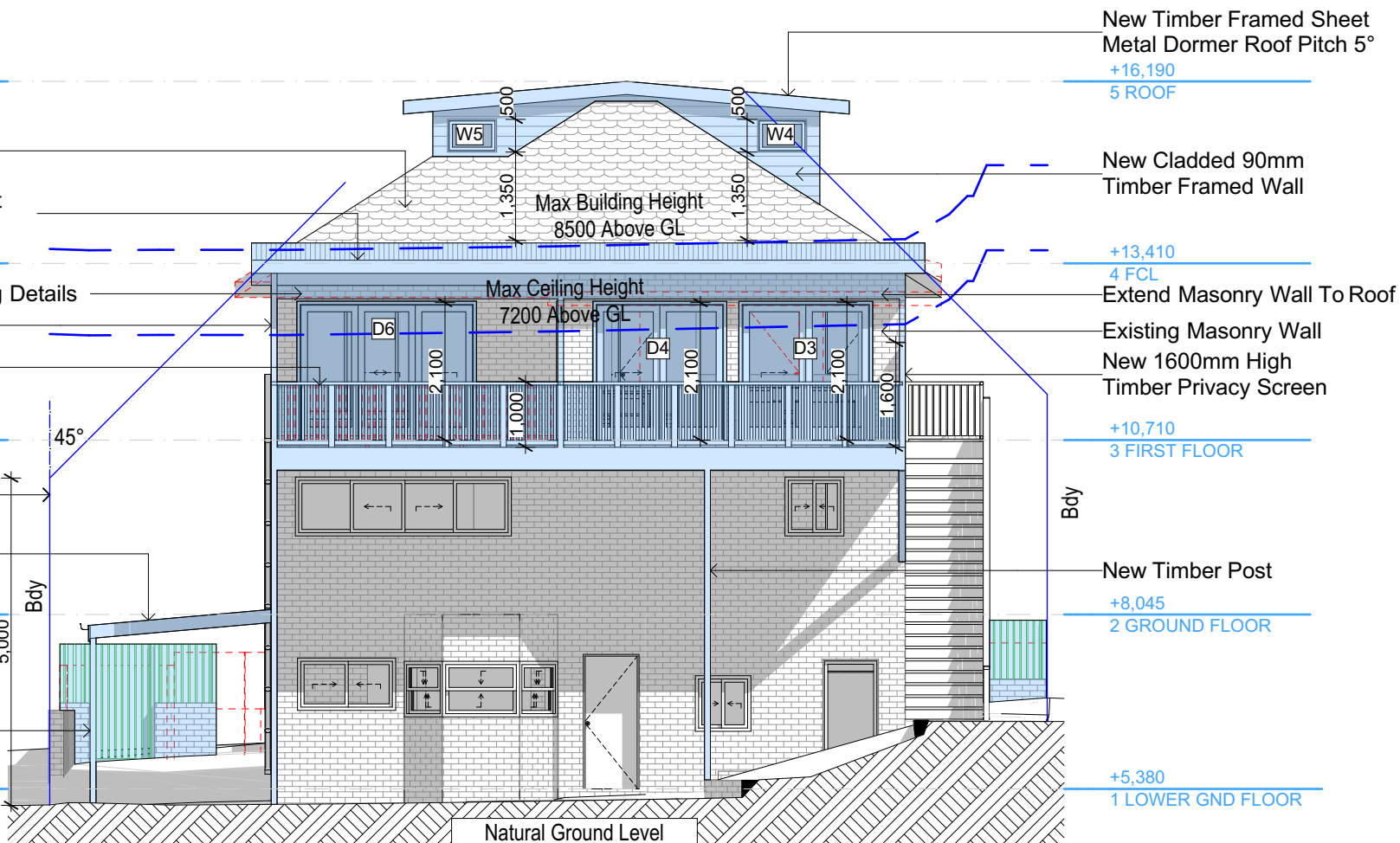
New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

+8,045
2 GROUND FLOOR

New Timber Post

+5,380
1 LOWER GND FLOOR

E-02
East
1:100



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or polytite low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Shading device Distance (m)	Shading device	Frame and glass type
W1	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	NE	0.75	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	0.38	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	0.38	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



Denotes New Works

Wall Legend

Denotes Existing Drive

Denotes Demolished Item

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

New Timber Framed Sheet
Metal Dormer Roof Pitch 5°
+16,190
5 ROOF

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+13,410
4 FCL

Existing Masonry Wall

New Handrail To BCA &
Aust. Stds.

+10,710
3 FIRST FLOOR

New Timber Deck To
BCA & AS1684

New Timber Post

+8,045
2 GROUND FLOOR

Existing Concrete

+5,380
1 LOWER GND FLOOR

Natural Ground Level

Building Design and Architectural Drafting

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in ShadedBlue.
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPD320R05
Project Status DA

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: ELEVATIONS 1

PROJECT NAME: Alterations & Additions

REVISION NO.: 31-8-2020

DRAWING NO.: DA4000

Sheet Size: A3

New Timber Framed Sheet
Metal Dormer Roof Pitch 5°

+16,190
5 ROOF

New Cladded 90mm
Timber Framed Wall
New Skylight To
Manufacturers Details

+13,410
4 FCL

Existing Masonry Wall
New Handrail To BCA
& Aust. Stds.

+10,710
3 FIRST FLOOR

New Timber Deck
To BCA & AS1684

New Timber Post

+8,045
2 GROUND FLOOR

Existing Driveway

+5,380
1 LOWER GND FLOOR

E-03

South
1:100

+16,190
5 ROOF

New Cladded 90mm
Timber Framed Wall

+13,410
4 FCL

New Handrail To BCA
& Aust. Stds.

+10,710
3 FIRST FLOOR

New Timber Deck To
BCA & AS1684

Building Envelope

+8,045
2 GROUND FLOOR

New Timber Post

+5,380
1 LOWER GND FLOOR

E-04

West
1:100

Natural Ground Level

New Timber Framed Sheet Metal
Dormer Roof Pitch 5°

+16,190
5 ROOF

+13,410
4 FCL

Existing Masonry Wall

+10,710
3 FIRST FLOOR

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

+8,045
2 GROUND FLOOR

New Timber Post
Existing Driveway

+5,380
1 LOWER GND FLOOR

Bdy

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W6	SW	0.75	0	0	eave/verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	3.11	0	0	eave/verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SE	4.2	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SE	4.2	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	SW	3.68	0	0	eave/verandah/ pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.7	no shading	aluminium, moulded plastic single clear, (or U-value: >=6.00 mm)

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
			6.21, SHGC: 0.808)



Denotes New Works



Wall Legend

Denotes Existing Wall



Denotes Demolished Item

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PO Box 6239 Freshwater NSW 2096
Tel: (02) 9360-8844 Mobile: 0414-945-024
Email: info@rapidplans.com.au

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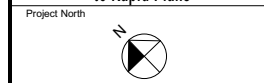
NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a Carrying Certificate. Drawings by Rapid Plans.

Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 200. b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the floor.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RP0320R0S
Project Status DA

Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: ELEVATIONS 2

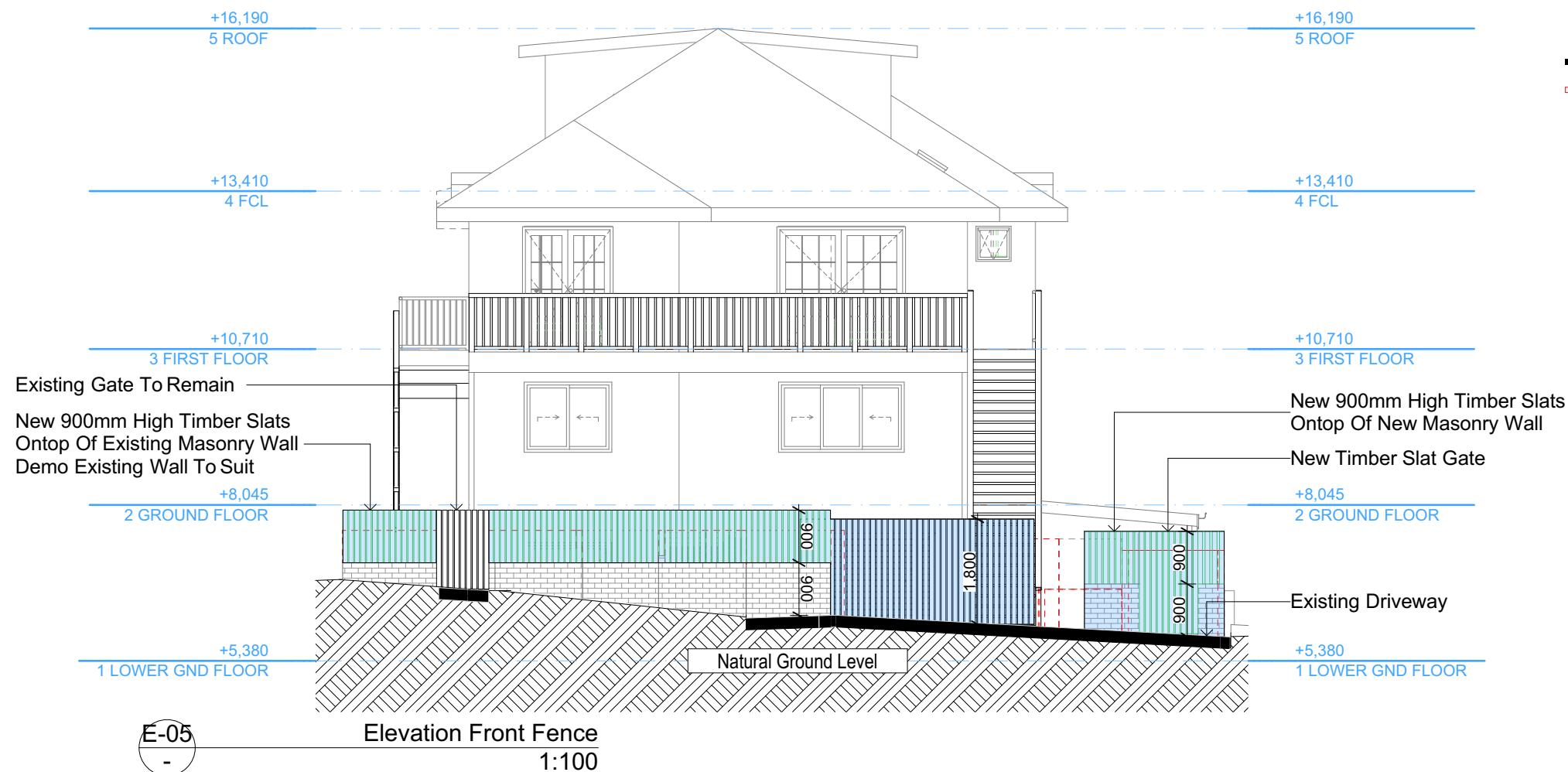
PROJECT NAME: Alterations & Additions

REVISION NO. REVISION NO.

- 31-8-2020

DRAWING NO. DA4001

Sheet Size: A3



Typical Type Sliding Gate System. Easy Gate or Similar

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Building Design and Architectural Drafting

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bdca
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdca
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1864
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPD320R0S
Project Status DA

Client: Marcus Rosenberg and Charlotte Ralph

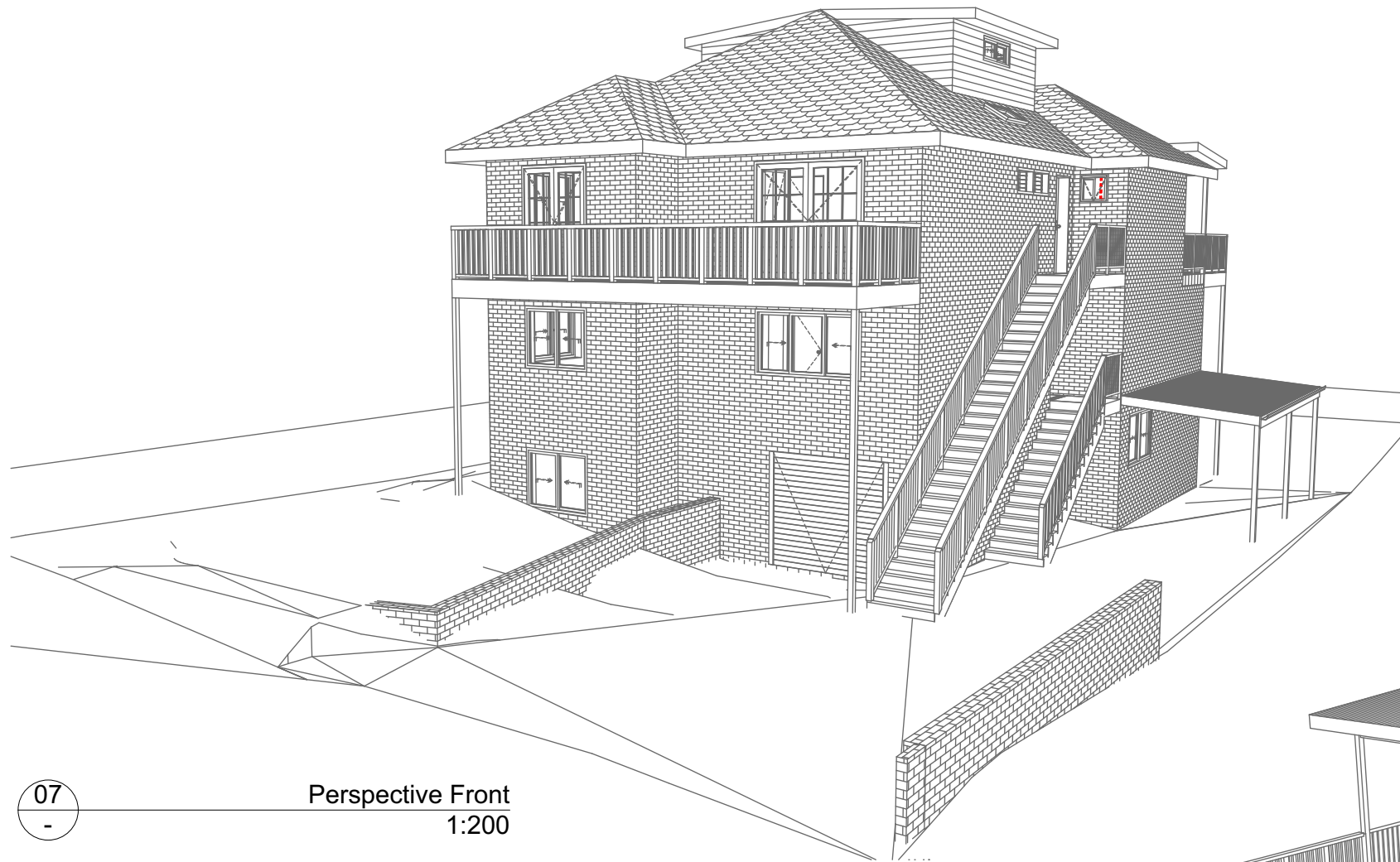
Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: ELEVATIONS
ELEVATION FRONT FENCE

PROJECT NAME: Alterations & Additions

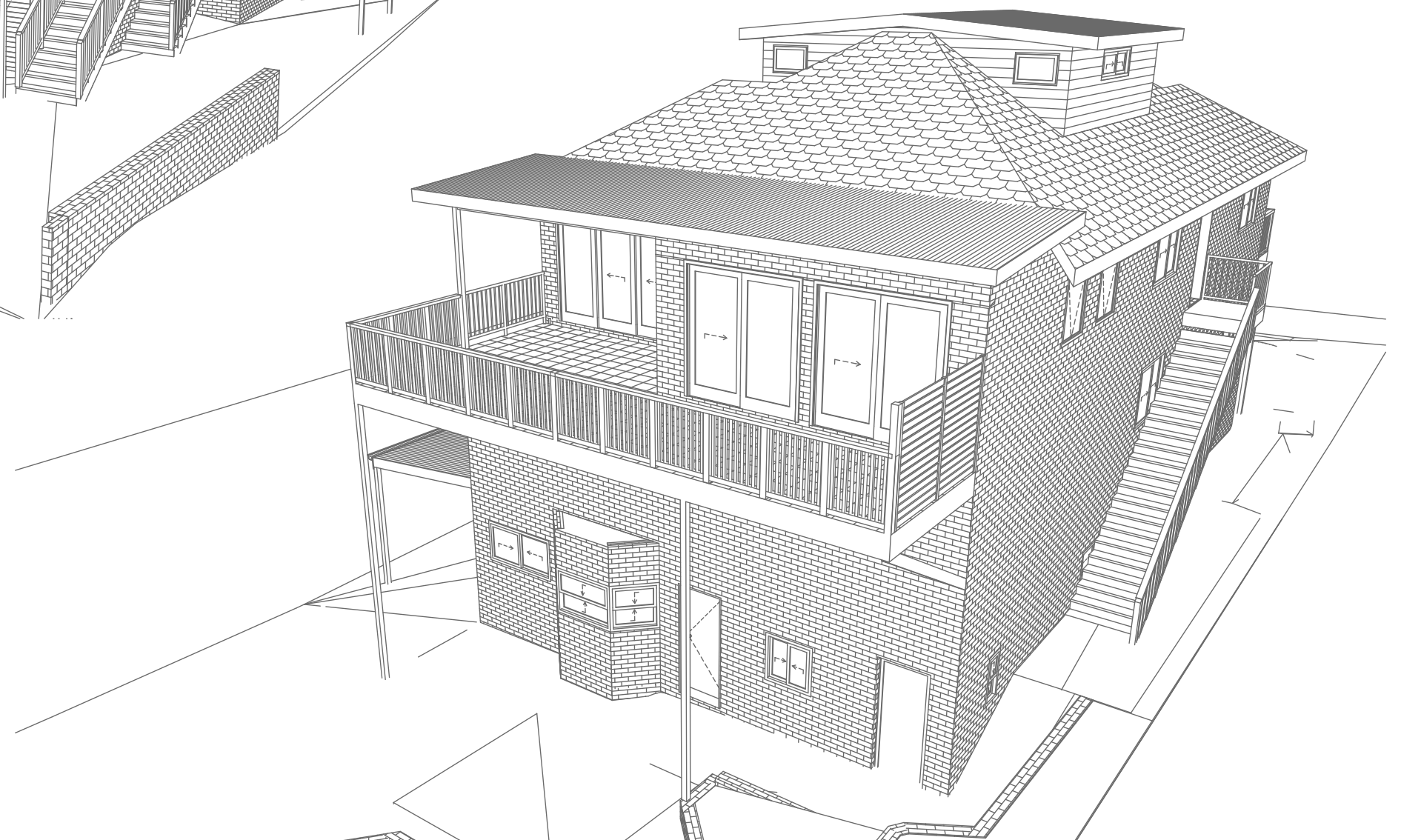
REVISION NO. REVISION NO.
- 31-8-2020
DRAWING NO. DA4002

Sheet Size: A3



07
-

Perspective Front
1:200



07
-

Perspective Rear
1:200

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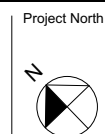
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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked GBJ
Plot Date: 31/08/2020
Project NO: RP0320ROS
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE :
**SHADOW PLANS
PERSPECTIVE**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
31-8-2020
DRAWING NO.
DA5000



Denotes Masonry Wall With Vertical Timber Fence (Typical). Owner To Confirm Type & Colour



Denotes Tiled Timber Deck (Typical). Owner To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical). Owner To Confirm Type & Colour



Denotes Timber Deck (Typical). Owner To Confirm Type & Colour



Denotes Deck Handrail (Typical). Owner To Confirm Type & Colour

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Building Design and Architectural Drafting

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RPO322RROS
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

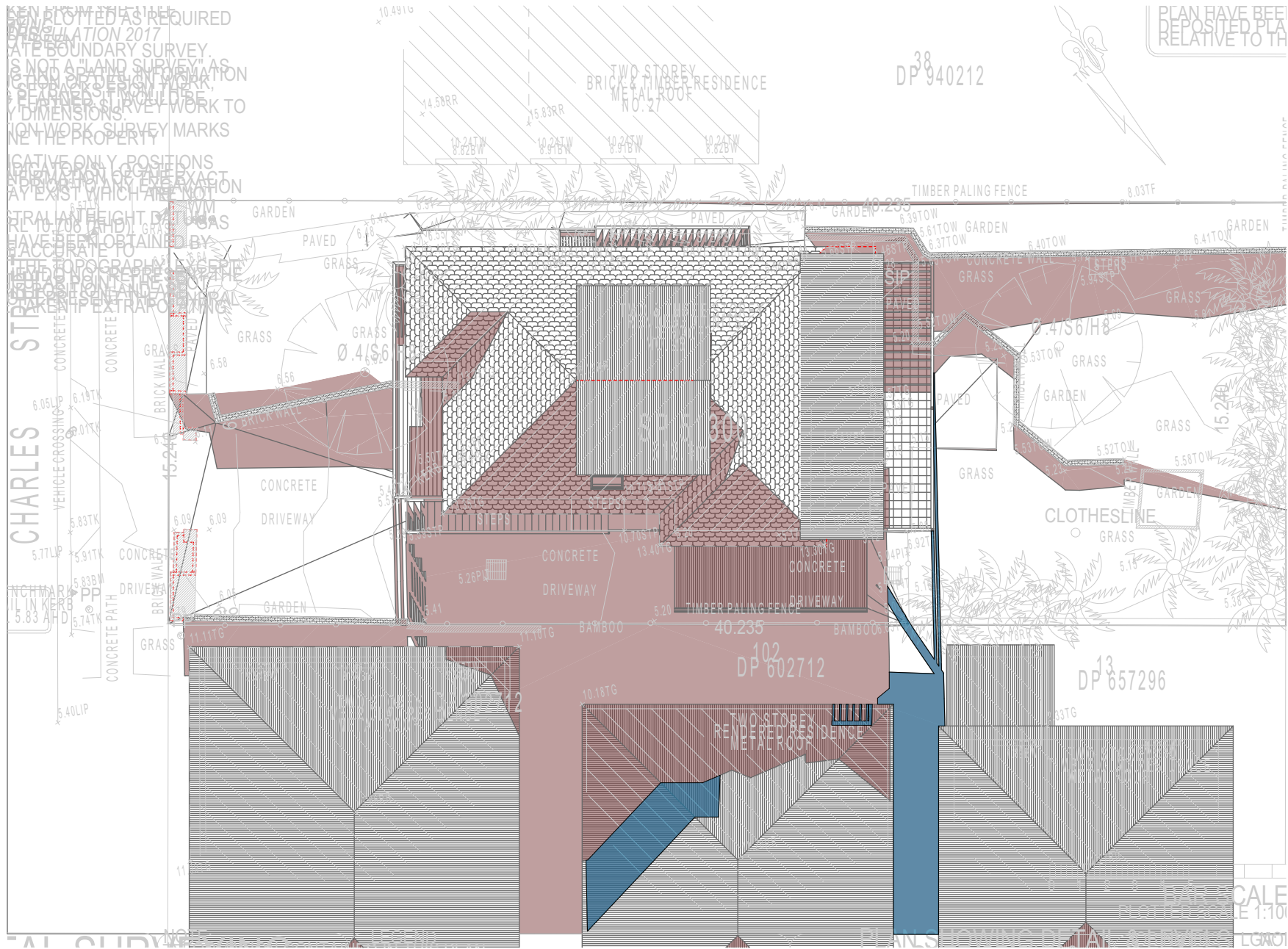
REVISION NO.	REVISION NO.
-	31-8-2020

DRAWING NO.
DA5001

Sheet Size: A3

Denotes Existing Shadow

Denotes Proposed Shadow



01 SHADOW PLAN 21 JUN at 0900h
1:200

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

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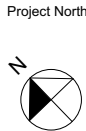


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



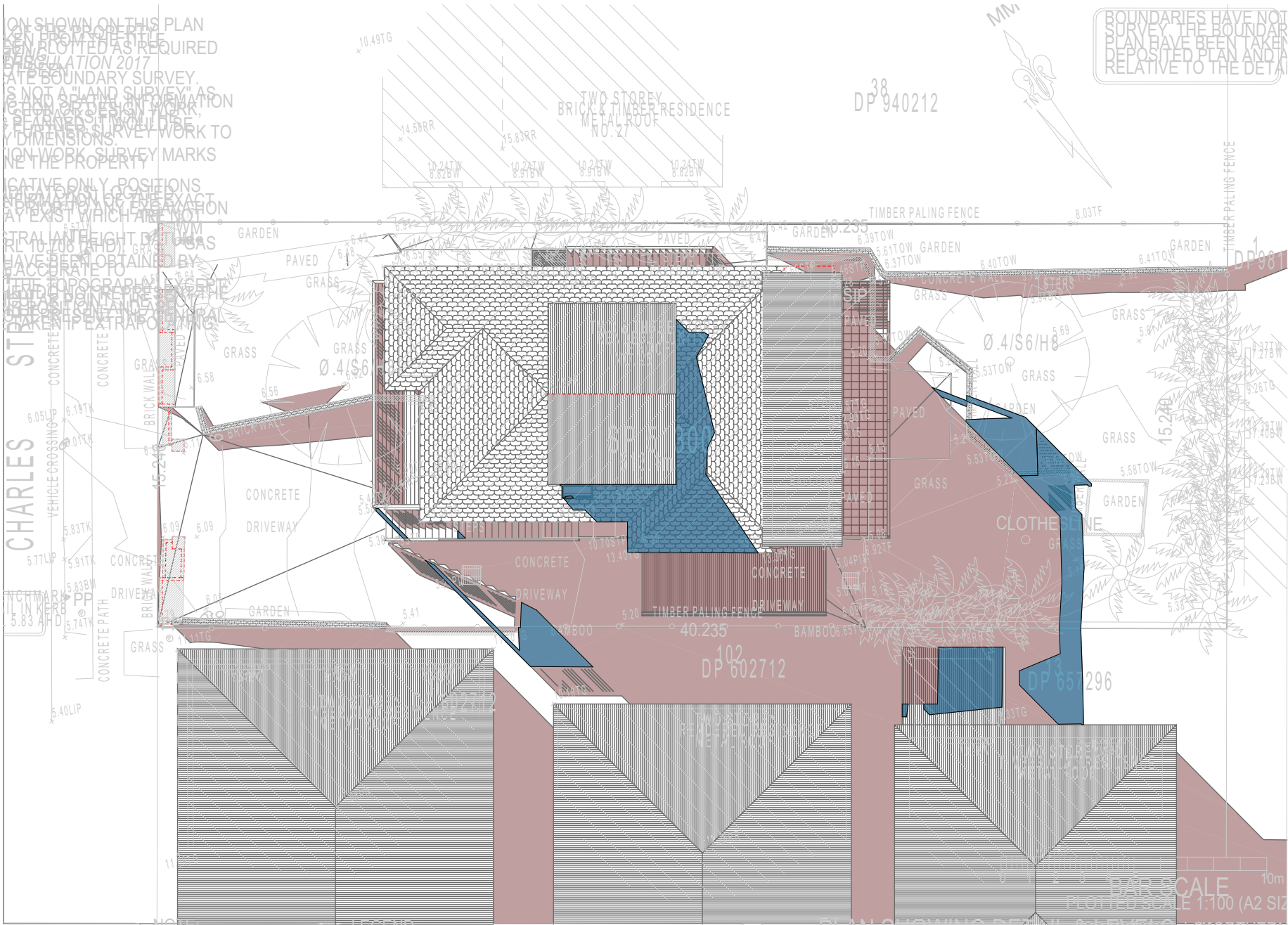
Checked Plot Date: Project Status
GBJ 31/08/2020 RP0320ROS DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21 JUN at 0900h
PROJECT NAME : **Alterations & Additions**

REVISION NO.
DATE: **31-8-2020**
DRAWING NO.
DA5002

Denotes Existing Shadow

Denotes Proposed Shadow



02 SHADOW PLAN 21 JUN at 1200h
1:200

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

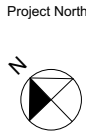


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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
31/08/2020
RP0320R0S
DA

Client
Site:

Marcus Rosenberg and Charlotte Ralph
2/25 Charles Street, Freshwater
2096

Sheet Size: A3

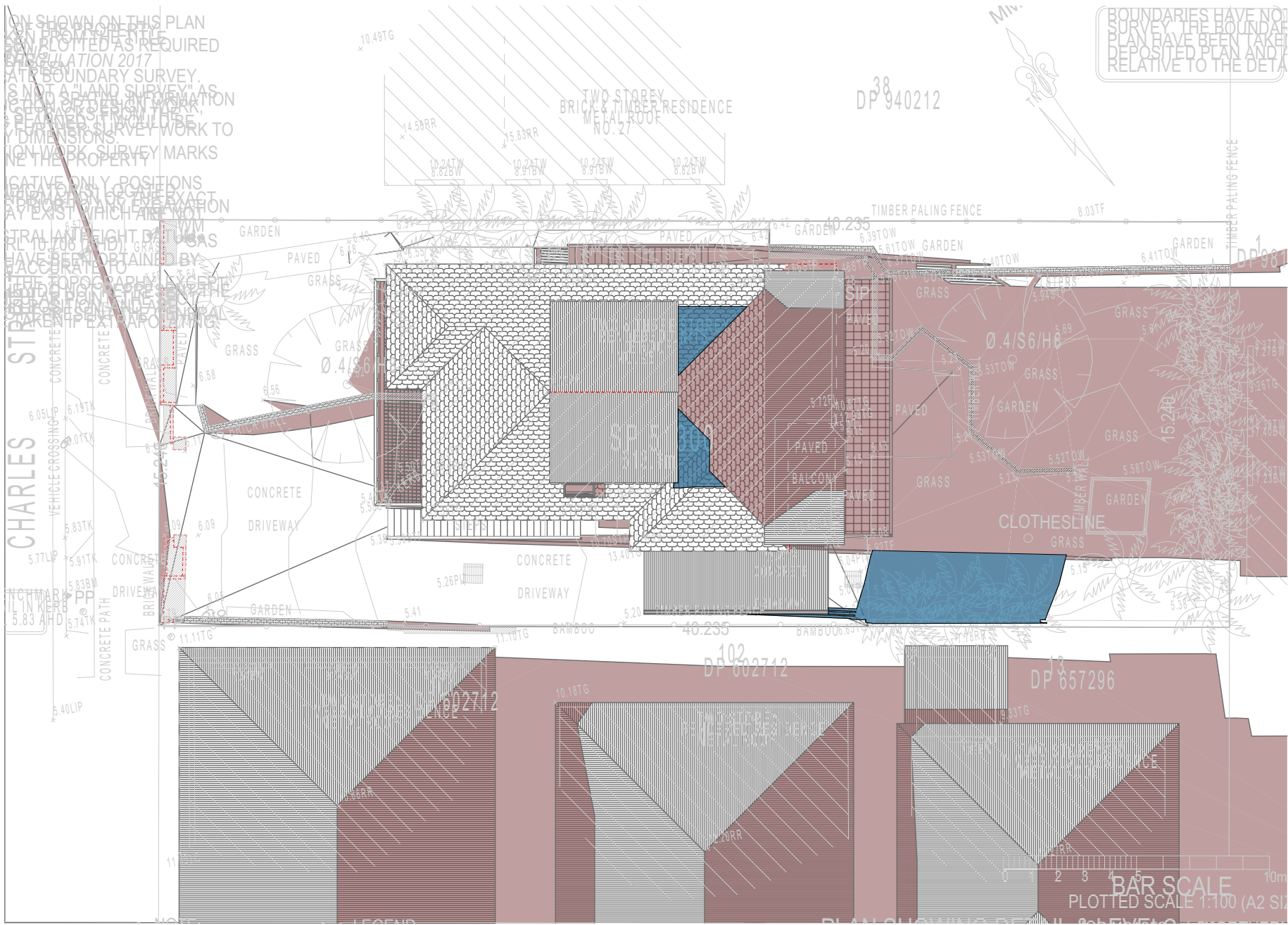
DRAWING TITLE :
**SHADOW PLANS
SHADOW PLAN 21 JUN at
1200h**

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
31-8-2020
DRAWING NO.
DA5003

Denotes Existing Shadow

Denotes Proposed Shadow



03 SHADOW PLAN 21 JUN at 1500h
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

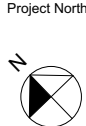


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



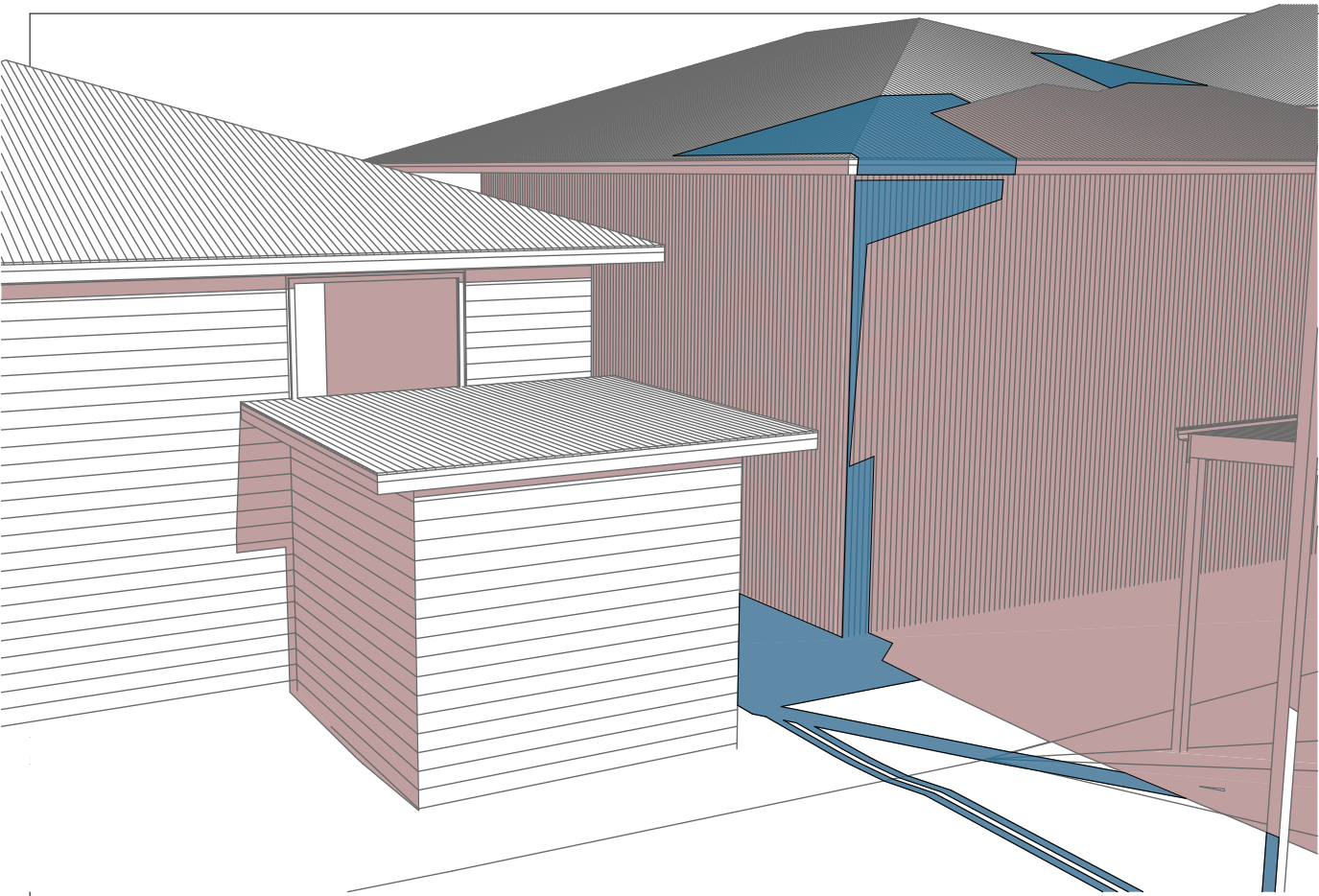
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



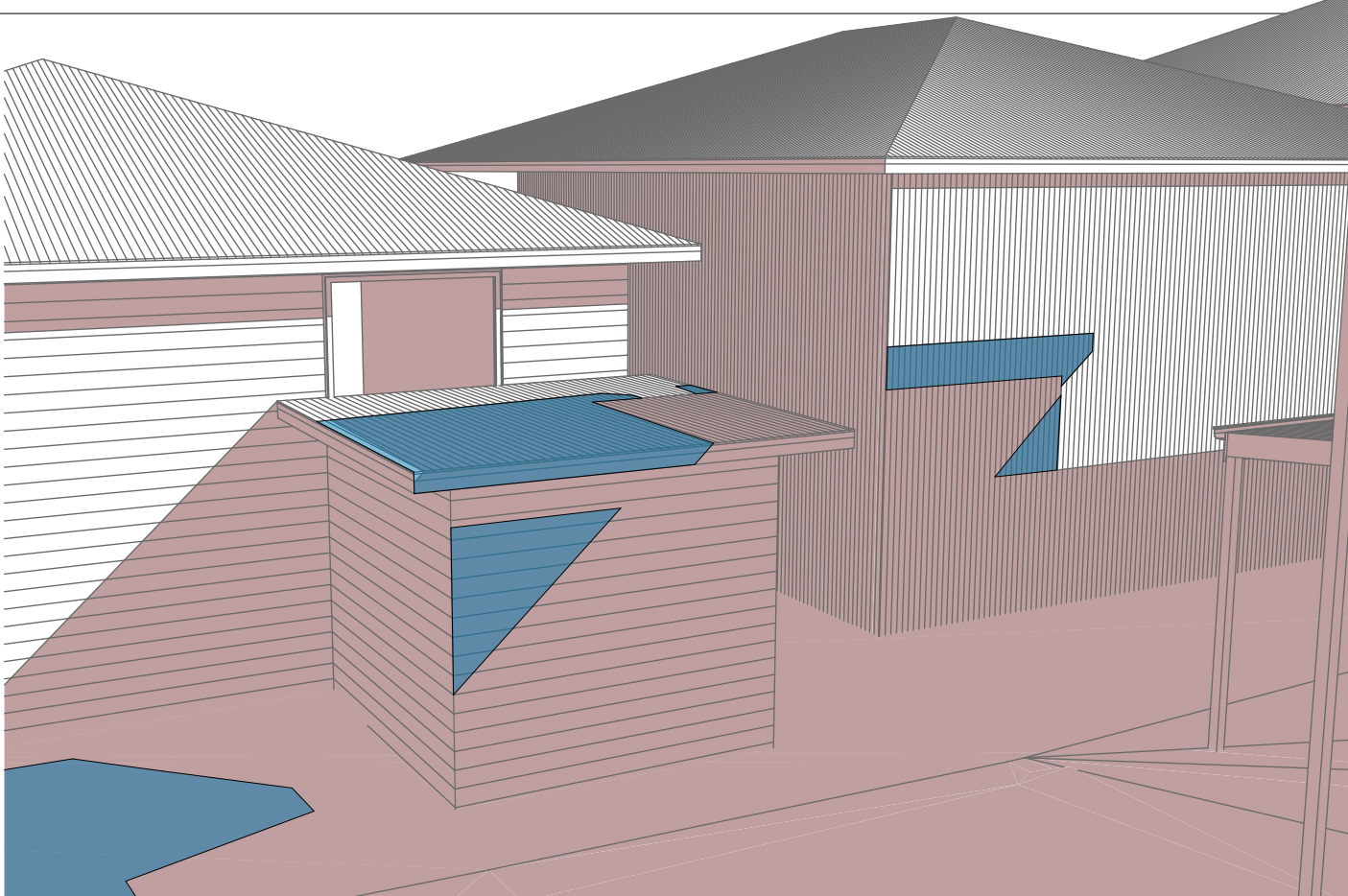
Checked
Plot Date: 31/08/2020
Project NO: RP0320ROS
Project Status: DA
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21 JUN at 1500h
PROJECT NAME : Alterations & Additions

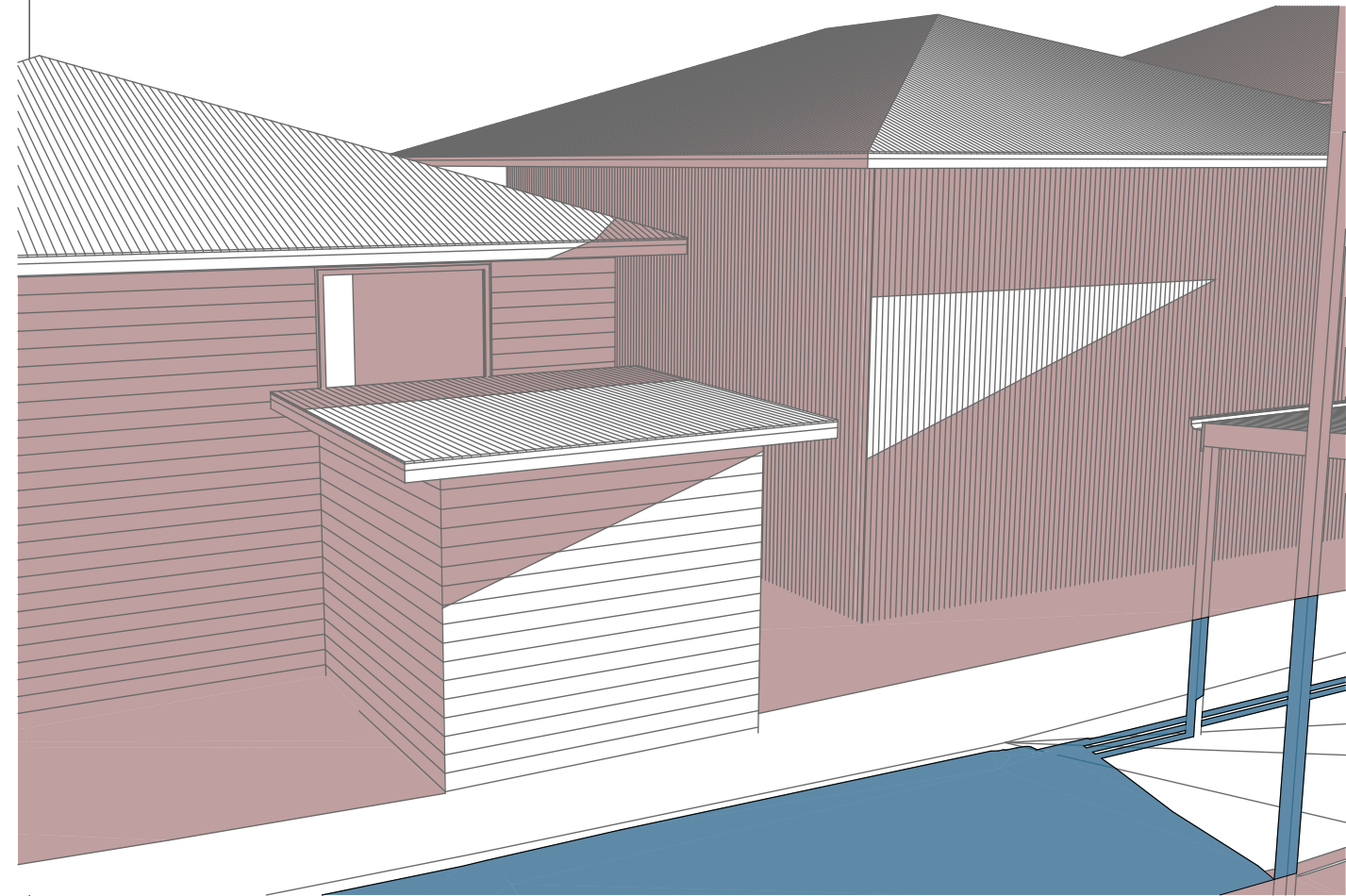
REVISION NO.
-
DATE: 31-8-2020
DRAWING NO.
DA5004



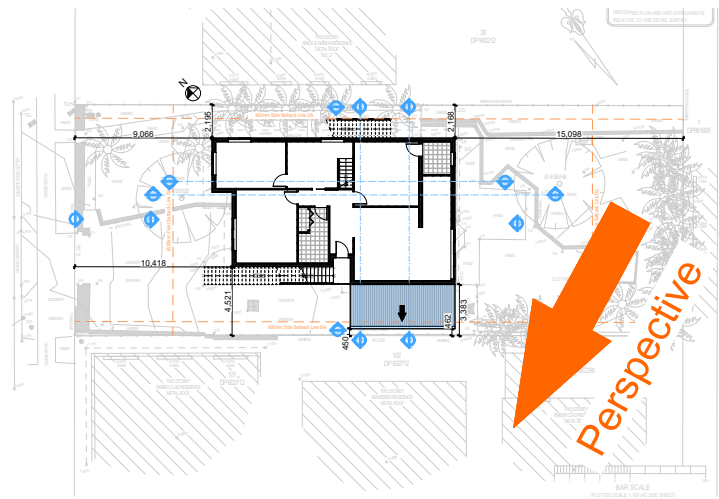
1 WALL ELEVATION 21 JUN at 0900h
1:200



2 WALL ELEVATION 21 JUN at 1200h
1:200



3 WALL ELEVATION 21 JUN at 1500h
1:200



2 SITE PLAN
1:500

Denotes Existing Shadow

Denotes Proposed Shadow

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



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Building Design and Architectural Drafting

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A383346
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 31/08/2020
Project NO.: RP0320R0S
Project Status DA

Client Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME:
Alterations & Additions

REVISION NO.	REVISION NO.
-	31-8-2020

DRAWING NO.
DA5005

Sheet Size: A3