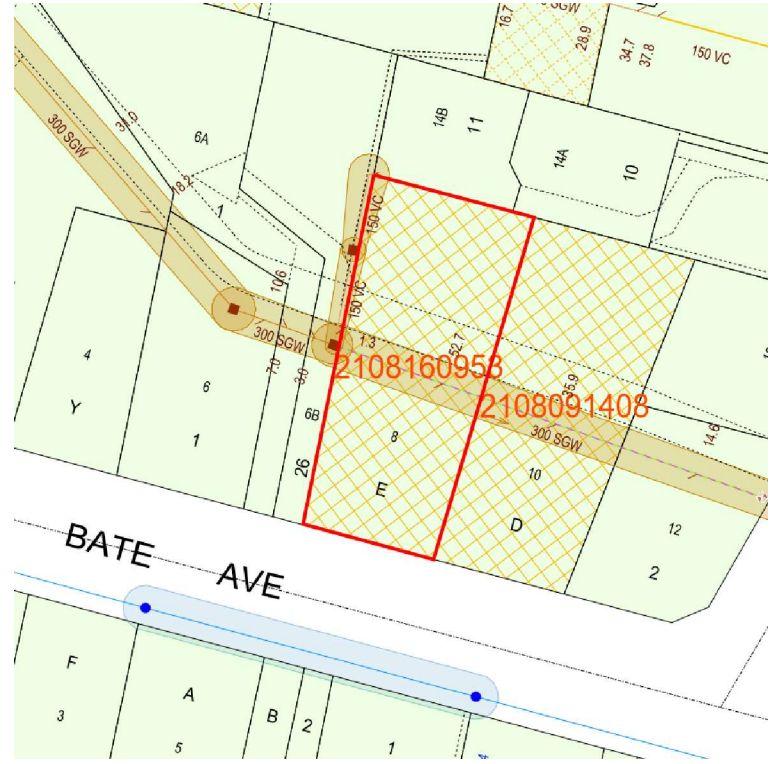
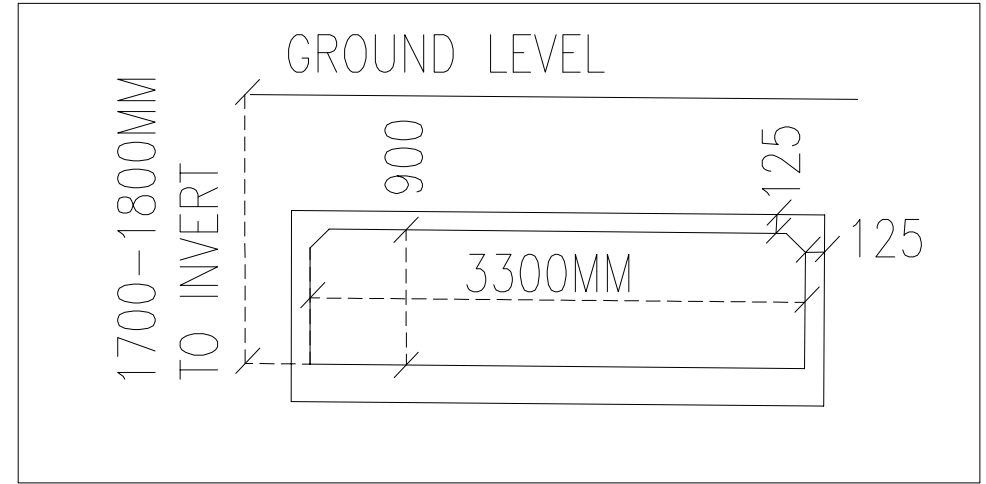
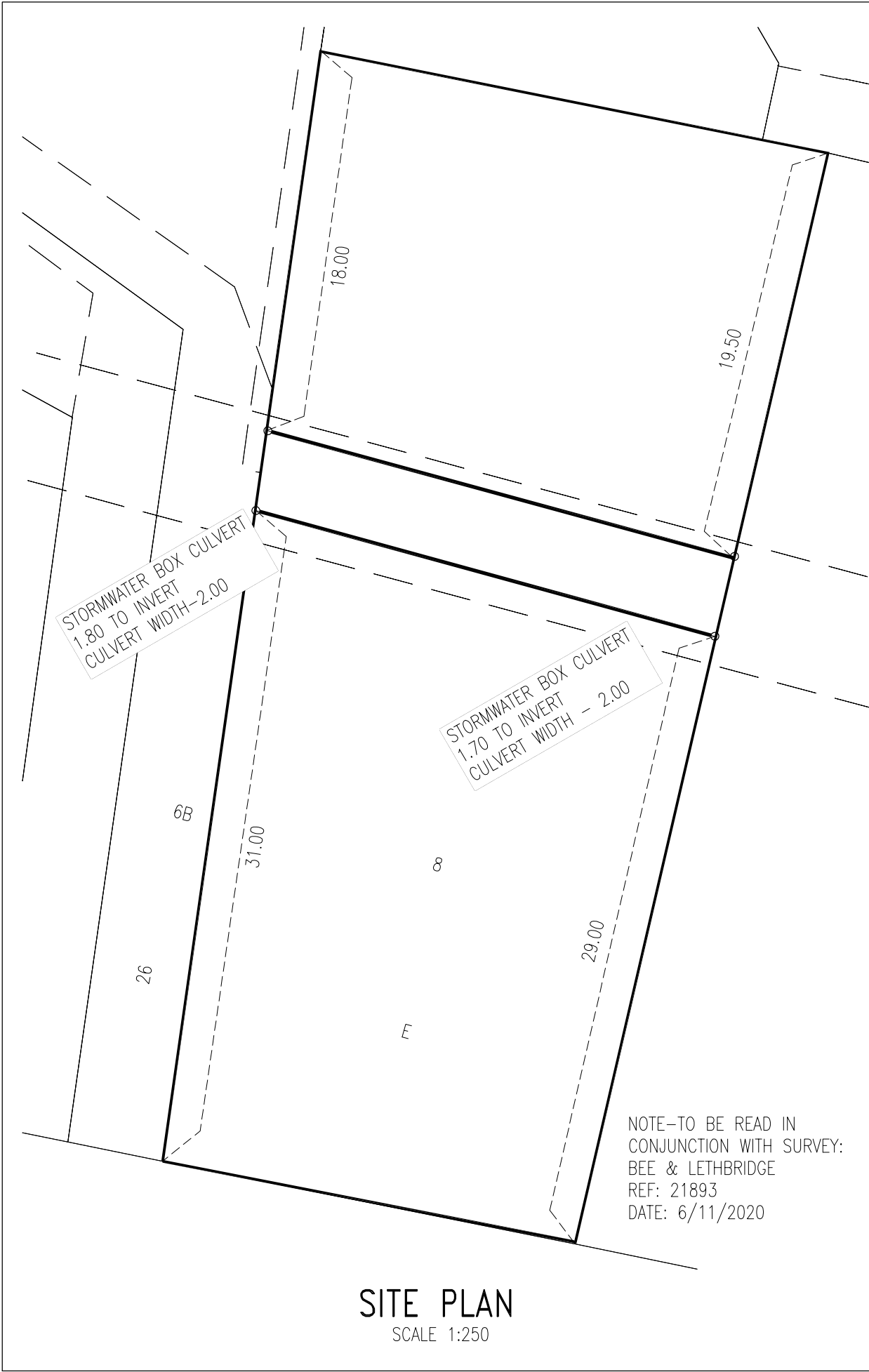
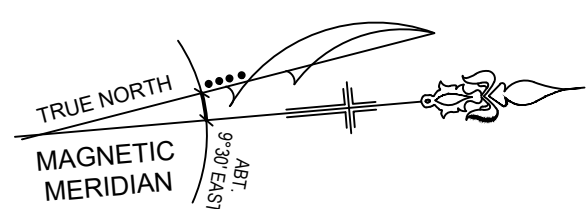




- NOTES:
1. I, MARC GAUDRY OF MGP BUILDING & INFRASTRUCTURE SERVICES PTY LTD BEING ACCREDITED TO CARRY OUT A SERVICE PROTECTION REPORT, CERTIFY THAT THE INFORMATION SHOWN ON THIS REPORT HAS BEEN PREPARED IN ACCORDANCE WITH THE RELEVANT INSTRUCTIONS AND ACCEPT FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION ON THIS REPORT.
SIGN: *Marc Gaudry*
 2. FOR THE PURPOSE OF THIS REPORT, "BOUNDARY" REFERS TO THE ACTUAL PROPERTY BOUNDARY AS IDENTIFIED IN THE PROPERTY SURVEY PLAN. PHYSICAL MEASUREMENTS HAVE BEEN TAKEN FROM FIXED STRUCTURES (FENCES, RETAINING WALLS, BUILDINGS ETC) AND USED TO TIE THE LOCATION OF THE SYDNEY WATER ASSET(S) TO THE PROPERTY BOUNDARY.
 3. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREA ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.
 4. SOME SURFACE EVIDENCE MAY NOT HAVE BEEN IDENTIFIED AT THE TIME OF THE SURVEY DUE TO SITE IMPEDIMENTS.
 5. SERVICES BETWEEN SURFACE EVIDENCE (SUCH AS MANHOLES) HAVE BEEN ASSUMED TO BE STRAIGHT UNLESS PLANS INDICATE OTHERWISE.
 6. WHERE THE LOCATION OF A SERVICE COULD NOT BE CONFIRMED DUE TO LACK OF INTERNAL/EXTERNAL ACCESS, LACK OF ACCESS TO THE MAINTENANCE STRUCTURES, LACK OF SURFACE EVIDENCE; THE SERVICES HAVE BEEN PLOTTED FROM SYDNEY WATER RECORDS AND NOTATED ACCORDINGLY. MGP IS TO BE CONTACTED AT THE CONSTRUCTION PHASE OF THE PROJECT TO CONFIRM THE LOCATION OF THE ASSETS AND PLACEMENT OF RECOVERABLE MARKS ONCE THESE ASSETS ARE EXPOSED BY THE DEVELOPER
 7. SEWER LOCATIONS MARKS ARE NOT NECESSARILY ON BOUNDARY.
 8. DO NOT SCALE FROM THIS PLAN, USE DIMENSIONS ONLY.
 9. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
 10. THIS STATEMENT IS AN INTEGRAL PART OF THIS PLAN. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS STATEMENT BEING INCLUDED IN FULL WILL RENDER THE INFORMATION INVALID AND NOT SUITABLE FOR USE.
 11. PLEASE NOTE THE ZONE OF INFLUENCE IS 1 IN 1.
 12. DATA OBTAINED IN THIS REPORT HAS BEEN TAKEN USING ON-SITE INSPECTION SONAR DETECTION, SURVEY & SYDNEY WATER HYDRA RECORDS.
 13. STRATA: ROCK SOIL
PIPE SIZE: 900X3300
PIPE TYPE: CONC.

LEGEND:		
SEWER MAIN		RODDING POINT
MAINTENANCE HOLE		VENT SHAFT (Induct or Educt)
ASSET INDICATOR		VERTICAL RISER
Water Servicing Coordinator		Drawing
		ASSET LOCATION REPORT
building & infrastructure services		8 BATE AVENUE
Suite 203, 18 Aquatic Drive, Frenchs Forest NSW 2086		ALLAMBIE HTS 2086
T: 02 9451 7555 F: 02 9451 8555 E: info@mgp.com.au		
JUNCTION (PCP)		CONCRETE ENCASED SECTION
LAMP HOLE		
Drawn By	DS	Date
Design By	MG	Scale
Approved	MG	Sheet
Job.No.	2021-00	
Dwg.No.	ALR1	Issue
		1



AVENUE

BATE

D.P. 500136

D.P. 788286

D.P. 620529

SITE AREA
1165m²

NOTES:

- CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- A FIELD SURVEY OF THE BOUNDARIES HAS BEEN CONDUCTED. AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM P.M. 525 RL 31.067 A.H.D.
- TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- SPOT LEVELS ARE ACCURATE.
- BEARINGS SHOWN ARE ON MAGNETIC MERIDIAN.
- CONTOUR INTERVAL 0.5 METRE.
- CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.

INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

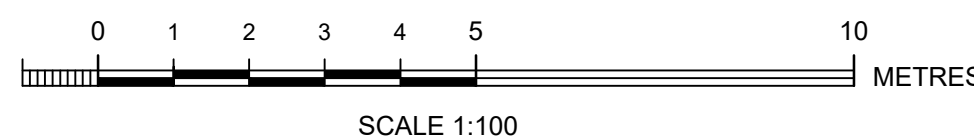
MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL. 1100



WARREN L. BEE
REGISTERED SURVEYOR N.S.W.
IDENTIFICATION No. SU000448

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER LOT E IN D.P. 399909 KNOWN AS No. 8 BATE AVENUE, ALLAMBIE HEIGHTS.

L.G.A.: NORTHERN BEACHES



02	17/08/2021	W.B.	S.C.	BOX CULVERT ADDED
01	15/04/2021	W.B.	S.P.	TREES REMOVED
No.	DATE	SURVEYED	DRAWN	DESCRIPTION
CLIENT Mr J. & Mrs M. ELLIOTT				
PROPERTY No. 8 BATE AVENUE, ALLAMBIE HEIGHTS				
REF No. 21893				
DATUM	A.H.D.	SCALE	1:100 @ A1	DATE 6/11/2020
SURVEYED	W.B./M.R.	DRAWN	S.P.	DWG No. 21893-02
SHEET No. 1 of 1				REV No. 02



Bee & Lethbridge
Quality Surveying & Development Solutions

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Phone: 9451 6757
Email: survey@beeeth.com.au
ABN: 13 003 194 447
www.beeeth.com.au

LEGEND

TREE
0.10m
SH, 4S
DENOTES APPROX. 0.10m DIAMETER OF TREE
DENOTES APPROX. 5m HEIGHT OF TREE
DENOTES APPROX. 4m SPREAD OF TREE

GUTTER
TOW
TOF
DENOTES CENTRE LINE OF ROAD
DENOTES TOP OF GUTTER
DENOTES TOP OF WALL
DENOTES TOP OF FENCE

OVERHEAD ELECTRIC LINES
BOARDS SEWER
TELECOMMUNICATION LINES
GAS LINES