

Rapid Plans www.rapidplans.com.au
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Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

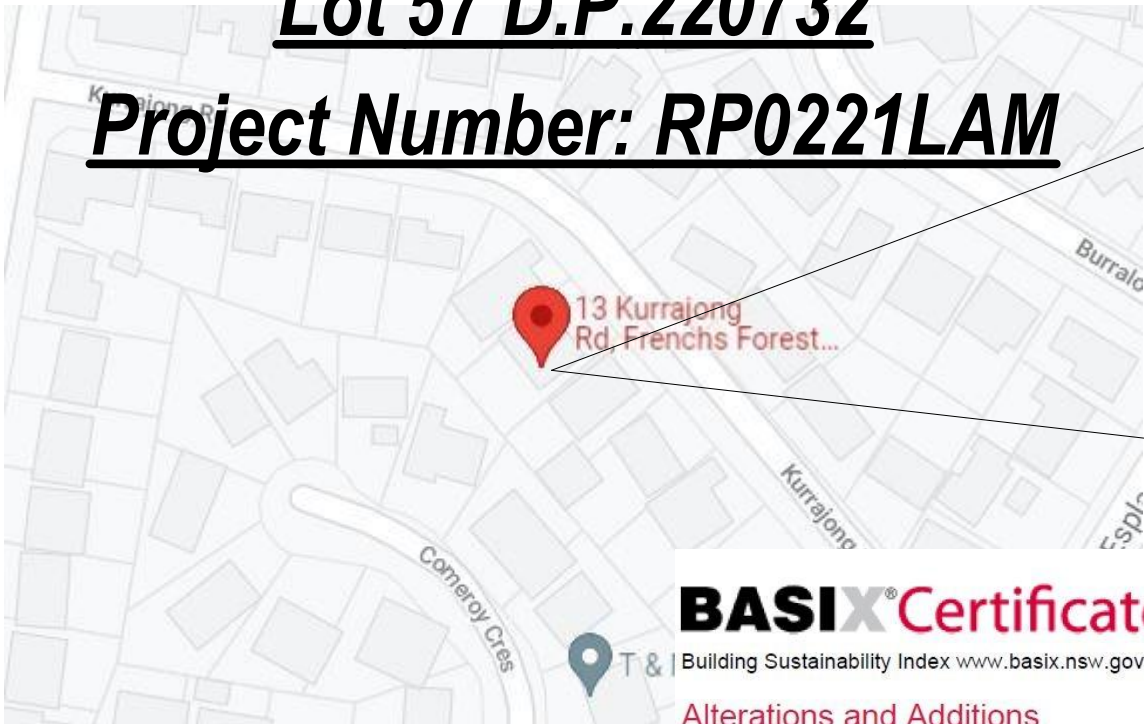
For Ben Lamb

13 Kurrajong Road, Frenchs Forest

Lot 57 D.P.220732

Project Number: RP0221LAM

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 15/12/21
DA1001	A4 NOTIFICATION PLAN	-	- 15/12/21
DA1002	SITE SURVEY	-	- 15/12/21
DA1003	SITE PLAN	-	- 15/12/21
DA1004	Existing Ground Floor Plan	-	- 15/12/21
DA1005	Existing Roof Plan	-	- 15/12/21
DA1006	Demolition Ground Floor Plan	-	- 15/12/21
DA1007	Demolition Roof Plan	-	- 15/12/21
DA1008	Landscape Open Space Plan Existing	-	- 15/12/21
DA1009	Landscape Open Space Plan Proposed	-	- 15/12/21
DA1010	Landscape Plan	-	- 15/12/21
DA1011	Sediment & Erosion Plan	-	- 15/12/21
DA1012	Waste Management Plan	-	- 15/12/21
DA1013	Stormwater Plan	-	- 15/12/21
DA2001	GROUND FLOOR	-	- 15/12/21
DA2002	ROOF	-	- 15/12/21
DA3000	SECTION 1	-	- 15/12/21
DA4000	ELEVATIONS 1	-	- 15/12/21
DA4001	ELEVATIONS 2	-	- 15/12/21
DA4002	ELEVATIONS 3	-	- 15/12/21
DA5000	PERSPECTIVE	-	- 15/12/21
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 15/12/21
DA5002	SHADOW PLAN 21st June 9am	-	- 15/12/21
DA5003	SHADOW PLAN 21st June 12pm	-	- 15/12/21
DA5004	SHADOW PLAN 21st June 3pm	-	- 15/12/21
DA5005	WALL ELEVATION SHADOWS	-	- 15/12/21



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

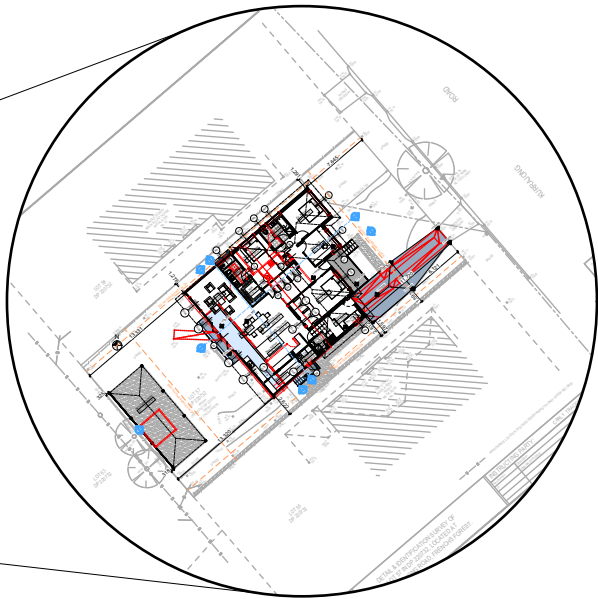
Certificate number: A444195

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 15, December 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment



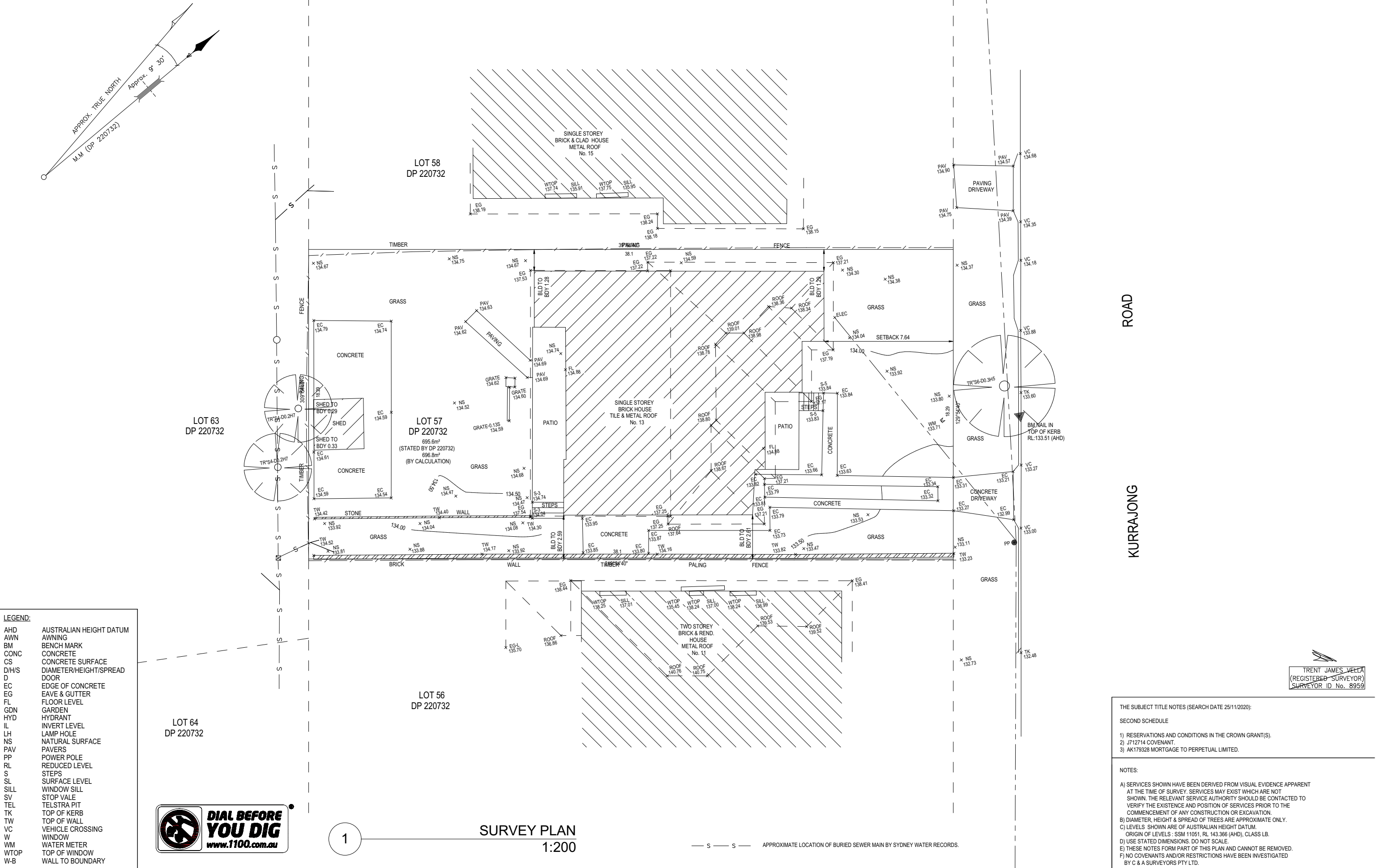
Description of project

Project address	
Project name	Lamb
Street address	13 Kurrajong Road Frenchs Forest 2086
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 220732
Lot number	57
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

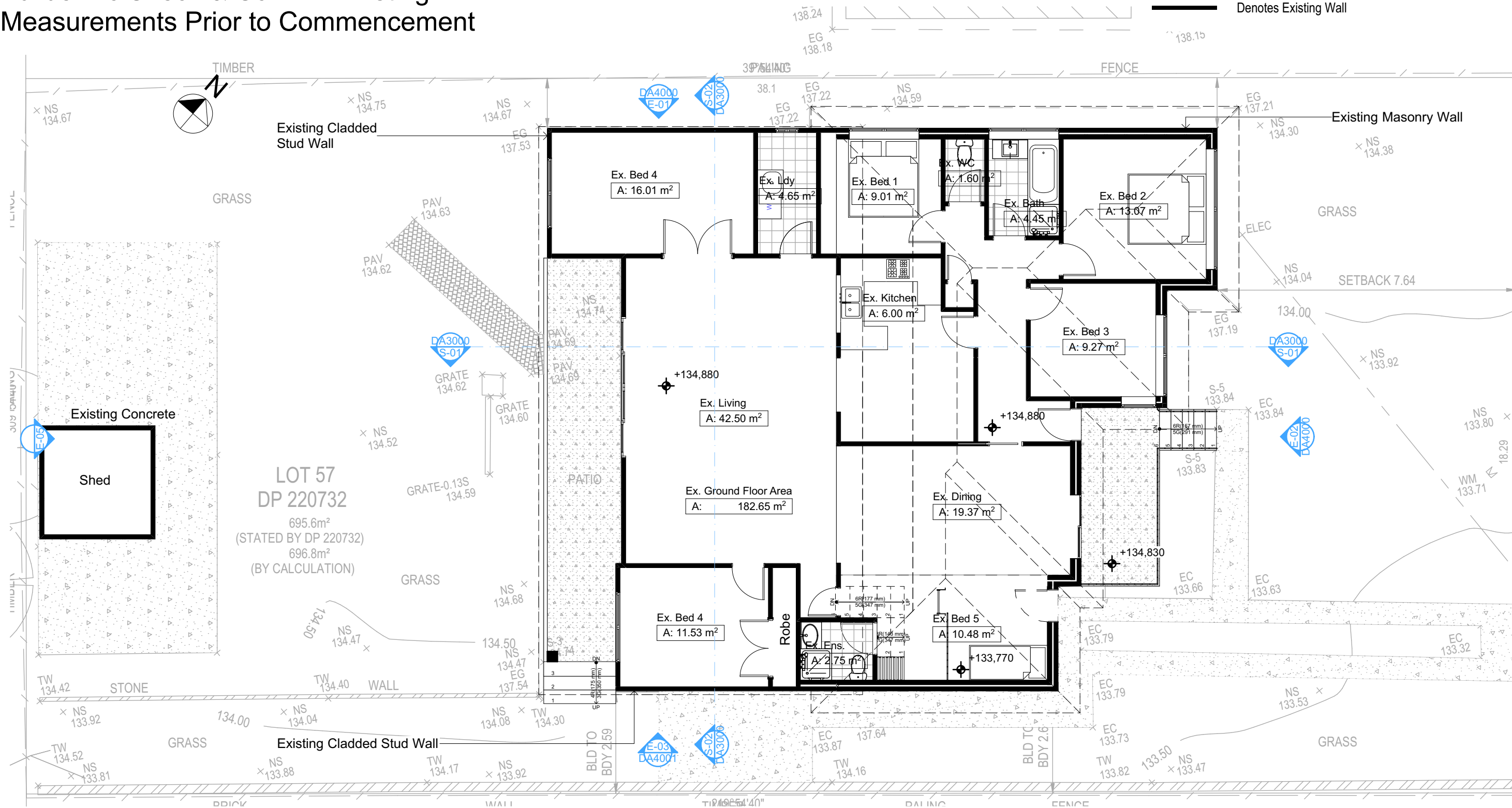
ABN (if applicable): 43150064592



Revision No	Description	Date
01	DRAWN FOR ISSUE	27/11/2020

Builder To Check & Confirm Existing Measurements Prior to Commencement

Wall Legend
Denotes Existing Wall



2
EXISTING GROUND FLOOR
1:100

NOTES
13 Kurrajong Road, Frenchs Forest is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
13 Kurrajong Road, Frenchs Forest is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A444195
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6 m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

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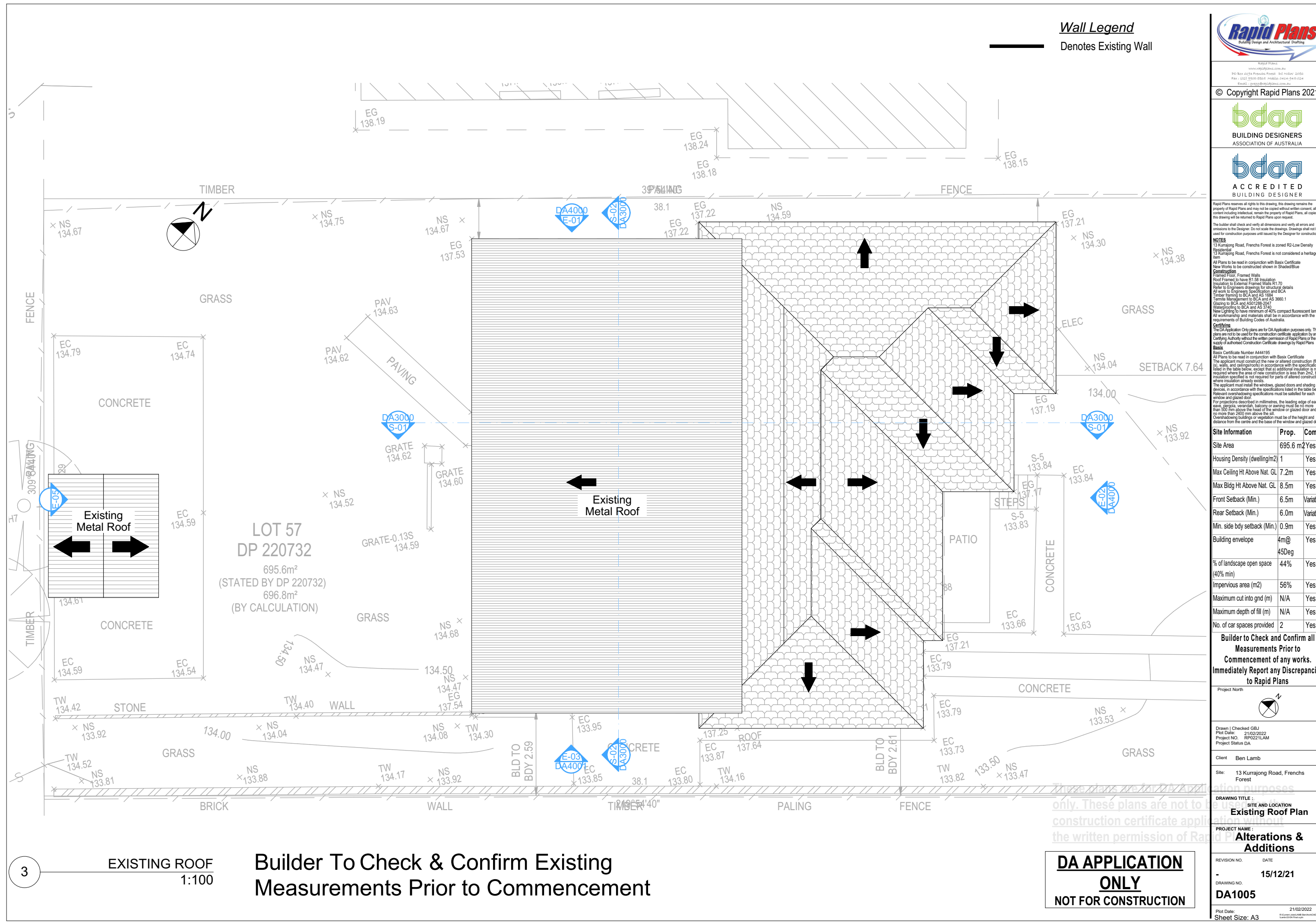
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 21/02/2022
Project NO: RP0221LAM
Project Status: DA
Client: Ben Lamb
Site: 13 Kurrajong Road, Frenchs Forest
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/12/21
DRAWING NO.
DA1004



Wall Legend
Denotes Existing Wall

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NOTES
13 Kurrang Road, Frenchs Forest is zoned R2-Low Density Residential.
Kurrang Road, Frenchs Forest is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
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Basic Certificate Number A444195
All Plans to be read in conjunction with Basic Certificate.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6 m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 21/02/2022
Project NO.: RP02211AM
Project Status DA

Client Ben Lamb

Site: 13 Kurrang Road, Frenchs Forest

DRAWING TITLE:
SITE AND LOCATION
Existing Roof Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	15/12/21

DRAWING NO. **DA1005**

Plot Date: 21/02/2022
Sheet Size: A3

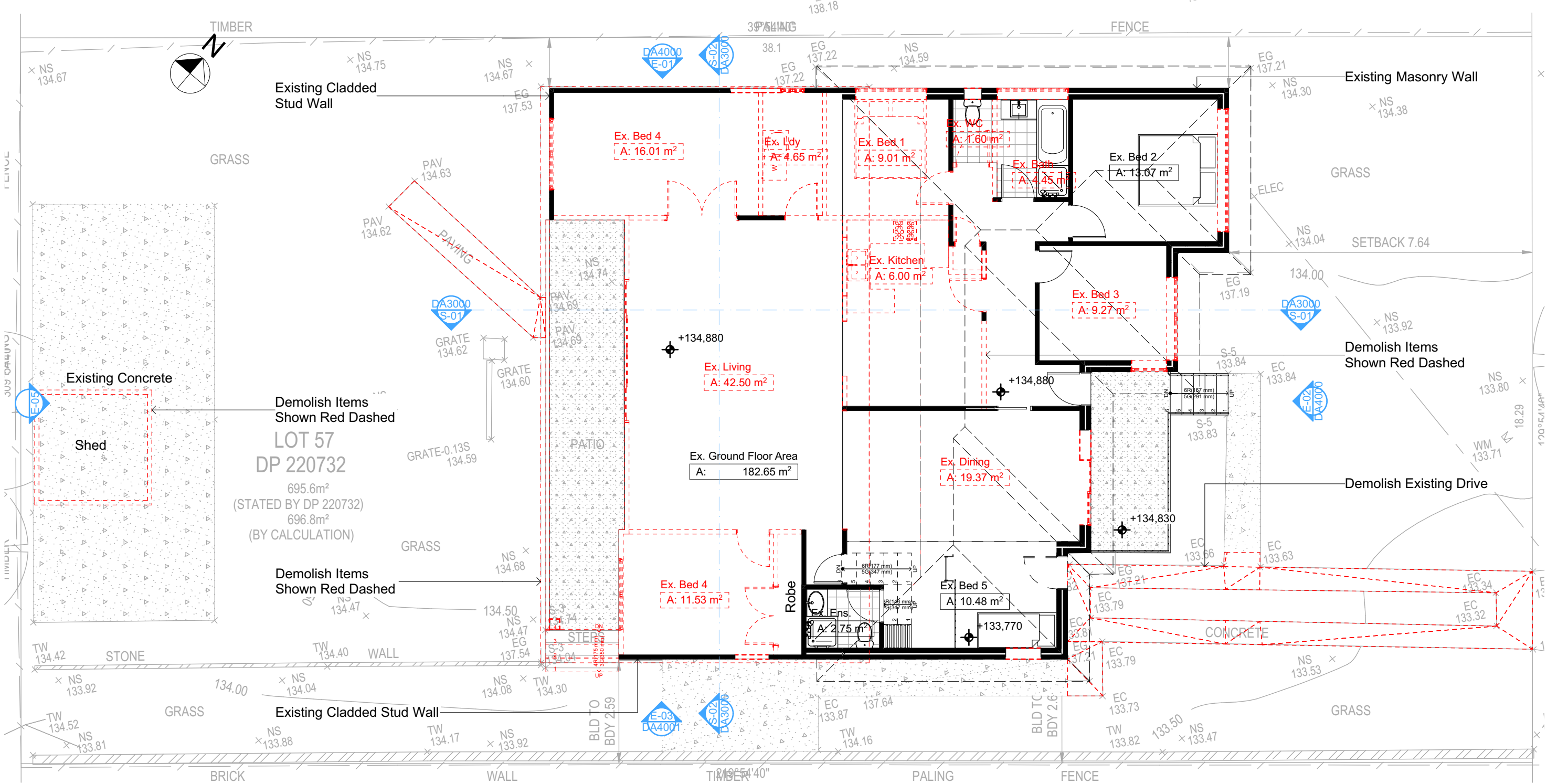
Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



DEMOLITION GROUND FLOOR
1:100

NOTES
13 Kurrang Road, Frenchs Forest is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
13 Kurrang Road, Frenchs Forest is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A444195
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6 m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

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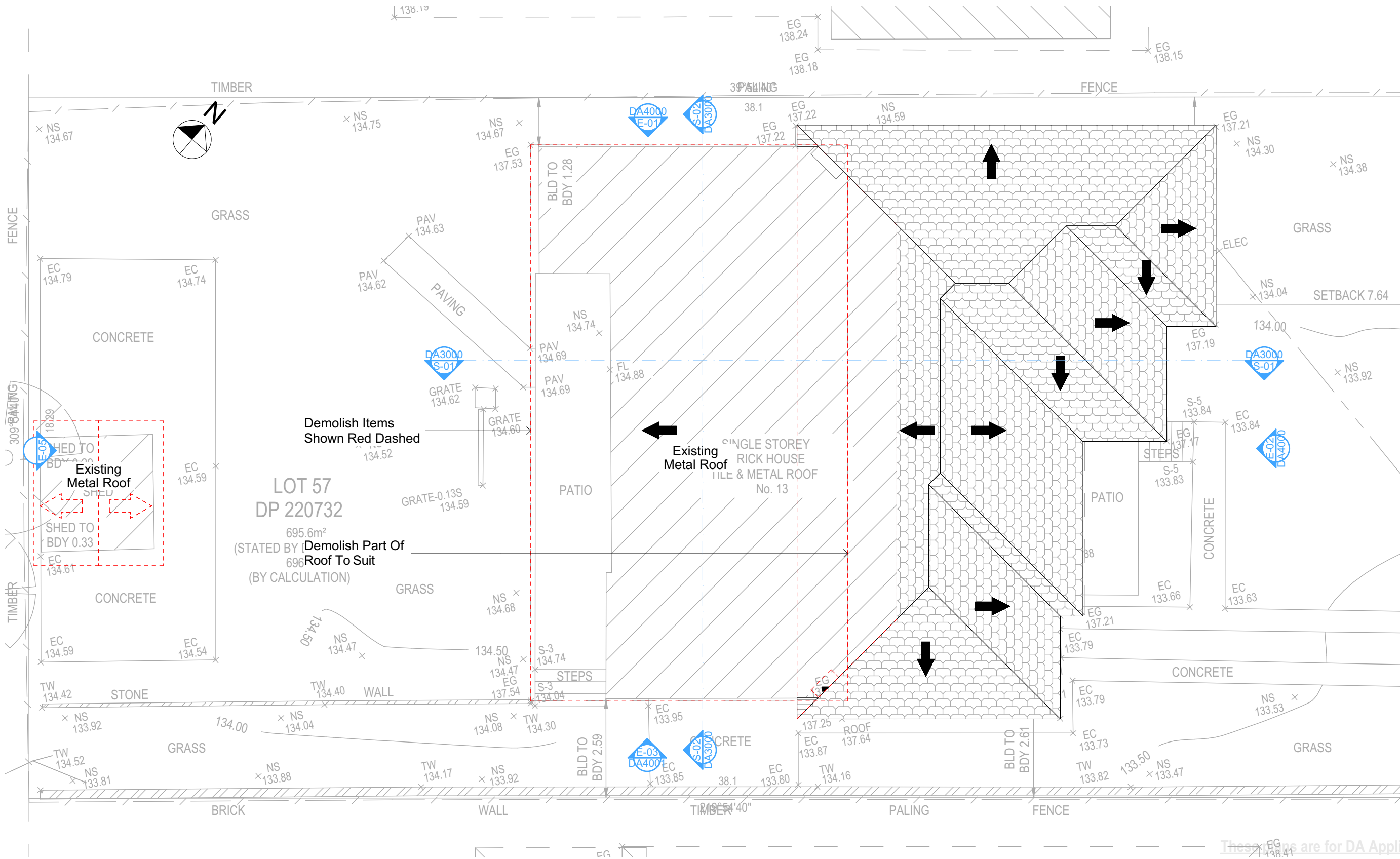
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 21/02/2022
Project NO: RP0221LAM
Project Status: DA
Client: Ben Lamb
Site: 13 Kurrang Road, Frenchs Forest
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/12/21
DRAWING NO.
DA1006



Wall Legend

— Denotes Existing Wall

- - - - - Denotes Demolished Item

Building Design and Architectural Drafting

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bdaa
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bdaa
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NOTES
13 Kurrabung Road, Frenchs Forest is zoned R2-Low Density Residential.
Kurrabung Road, Frenchs Forest is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
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Basic Certificate Number A444195
All Plans to be read in conjunction with Basic Certificate.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6 m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 21/02/2022
Project: R20221AM
Project Status: DA

Client: Ben Lamb

Site: 13 Kurrabung Road, Frenchs Forest

DRAWING TITLE:
SITE AND LOCATION
Demolition Roof Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	15/12/21

DRAWING NO.
DA1007

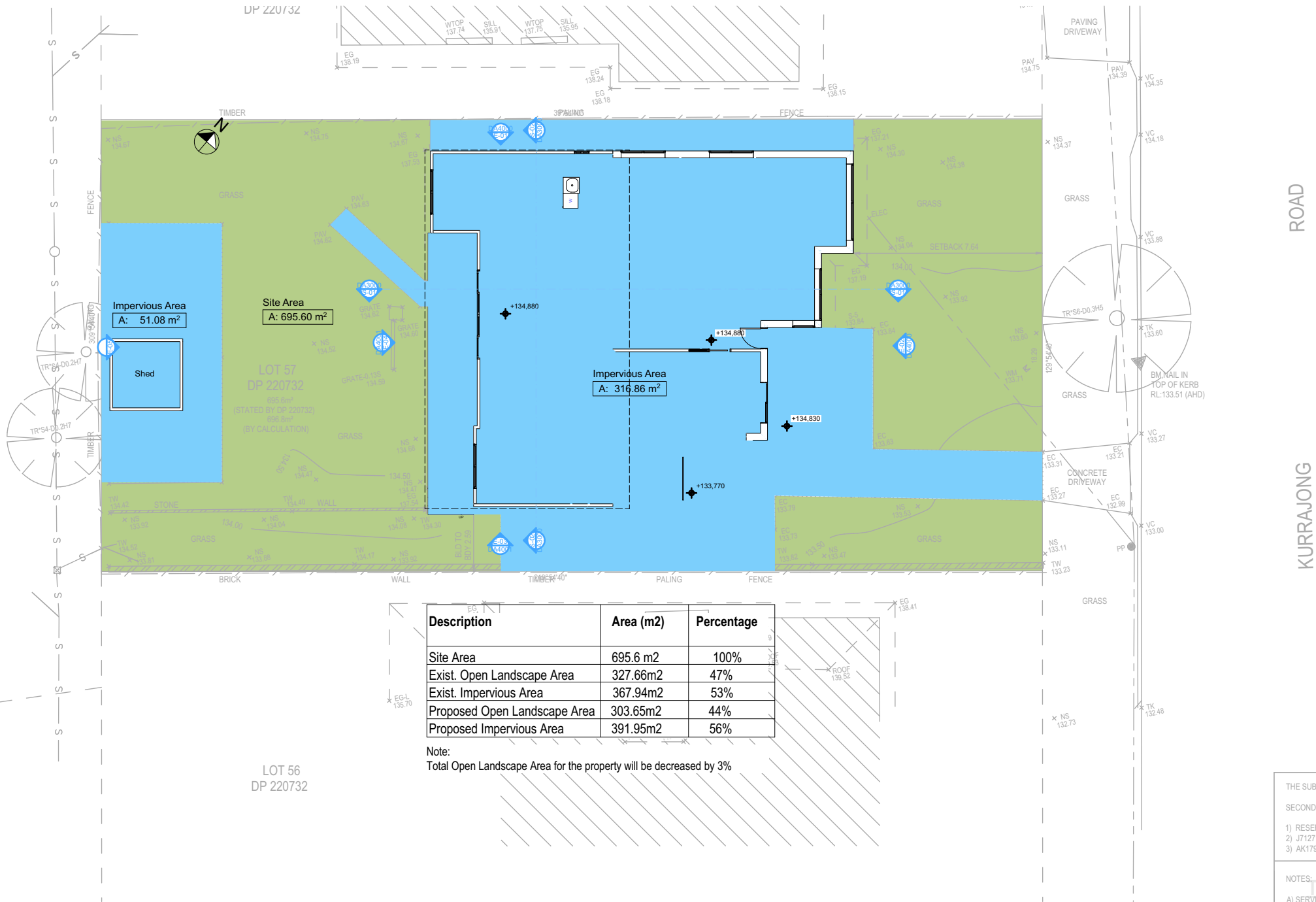
Plot Date: 21/02/2022
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

Denotes Impervious Area

Denotes Pervious Area



THE SUBJECT TITLE NOTES (SEARCH DATE 25/11/2020):

SECOND SCHEDULE

1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S).
2) J712714 COVENANT.
3) AK179328 MORTGAGE TO PERPETUAL LIMITED.

NOTES:
A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

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Ph: (02) 9505-8545 Mob: 0414-545-024
Email: info@rapidplans.com.au

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NOTES
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13 Kurrajong Road, Frenchs Forest is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Setbacks
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Basic
Basic Certificate Number A444195
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6 m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 21/02/2022
Project NO.: RP0221LAM
Project Status DA

Client Ben Lamb

Site: 13 Kurrajong Road, Frenchs Forest

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

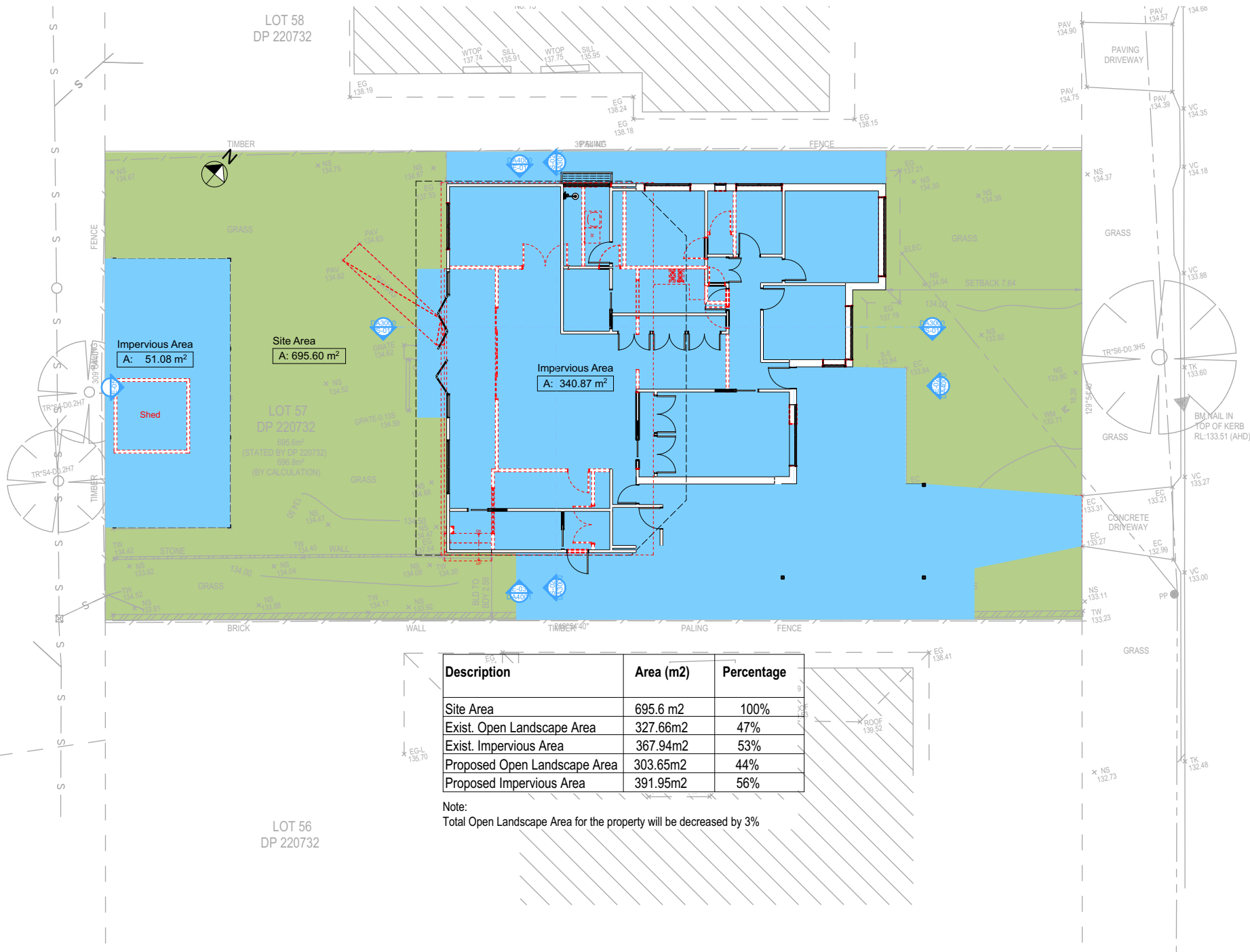
REVISION NO.	DATE
-	15/12/21

DRAWING NO.
DA1008

Plot Date: 21/02/2022
Sheet Size: A3

Denotes Impervious Area

Denotes Pervious Area



KURRAJONG ROAD

THE SUBJECT TITLE NOTES (SEARCH DATE 25/11/2020):

SECOND SCHEDULE

1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT
2) J712714 COVENANT.
3) AK179328 MORTGAGE TO PERPETUAL LIMITED.

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Building Design and Architectural Drafting

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Roof Framed to have R1.58 Insulation
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Glazing to BCA and AS1743.2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
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Conditioning
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Basic Certificate Number A444195
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Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 21/02/2022
Project NO.: RP0221LAM
Project Status DA

Client Ben Lamb

Site: 13 Kurrajong Road, Frenchs Forest

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

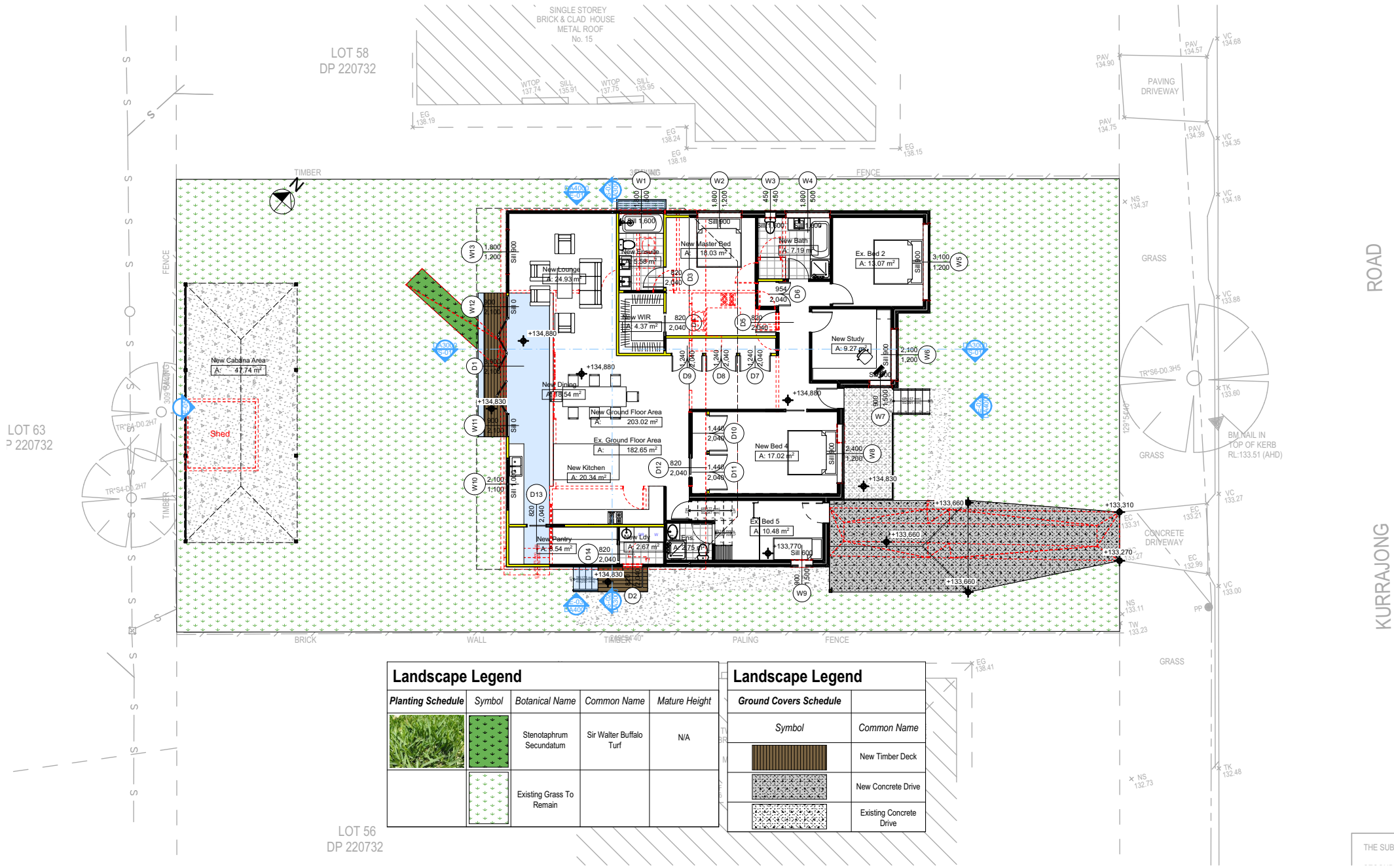
REVISION NO.	DATE
-	15/12/21

DRAWING NO.
DA1009

Plot Date: 21/02/2022
Sheet Size: A3

2

LANDSCAPE PLAN
1:200



Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Stenotaphrum secundatum	Sir Walter Buffalo Turf	N/A
		Existing Grass To Remain		

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	New Timber Deck
	New Concrete Drive
	Existing Concrete Drive

THE SUBJECT TITLE NOTES (

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Frenchs Forest NSW 1585
Ph: (02) 9505-8845 Mob: 0414-945-024
Email: info@rapidplans.com.au

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

NOTES
13 Kurrajong Road, Frenchs Forest is zoned R2-Low Density Residential.
13 Kurrajong Road, Frenchs Forest is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2.2.2
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 4000 compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A444195
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6 m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 21/02/2022
Project NO.: RP02211AM
Project Status DA

Client Ben Lamb

Site: 13 Kurrajong Road, Frenchs Forest

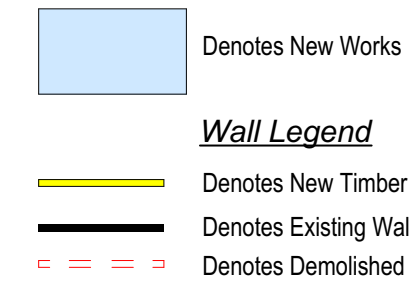
DRAWING TITLE: SITE AND LOCATION
Landscape Plan

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	15/12/21

DRAWING NO. **DA1010**

Plot Date: 21/02/2022
Sheet Size: A3

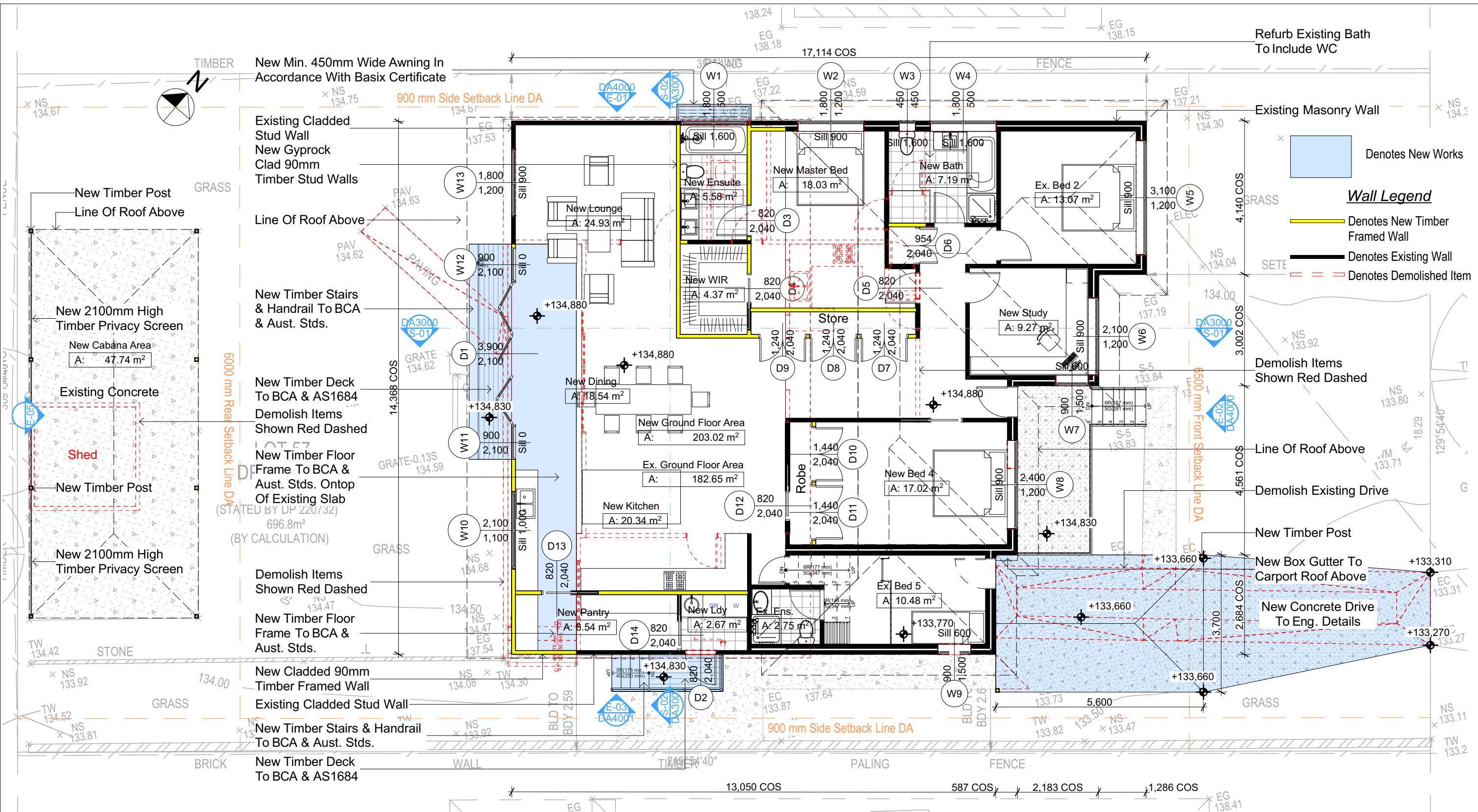


ce
fence
a

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapiplan Pty Ltd.</p>	<p>Forest</p>
	<p>DRAWING TITLE : SITE AND LOCATION</p> <p>Waste Management Plan</p>
	<p>PROJECT NAME :</p> <p>Alterations &</p>

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

 Building Design and Architectural Drafting <p style="font-size: small; margin: 0;">Rapid Plans Unit 10/11-12 The Arcade, 700 Box Hill Freeway Forest Rd Box Hill VIC 3081 Tel: (03) 9356 1806 Mob: 0418 345 624 Email: info@rapidplans.com.au</p>		
© Copyright Rapid Plans 2021		
 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA ACCREDITED BUILDING DESIGNER		
Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remains the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request. The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.		
NOTES 13 Kurrungong Road, Frenchs Forest is zoned R2-Low Density Residential 13 Kurrungong Road, Frenchs Forest is considered a heritage item All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction Framed or Framed Walls Roof Framed to have R1.56 Insulation Refer to Engineers Drawing P11 70 Refer to Engineers Drawing for structural details All work to comply with Specification and BCA Termite treatment to BCA and AS 1684 Fennel Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.		
Certification The DA Application Only plans are for DA-Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans. Basic Certificate Number 4444195 Basic Certificate must be read in conjunction with Basic Certificate The applicant must construct the new or altered construction (floor slabs, walls, ceilings etc.) in accordance with the specifications listed in the table below, except that if additional insulation is not required where the area of new construction is less than 2m ² , (b) insulation specification is not required for parts of altered construction. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. Maximum height of building above the ground level shall be no more than 4.0m, pergola, verandah, balcony or awning must be no more than 300 mm above the head of the window or glazed door and no more than 2400 mm above the site. Overshadowing buildings or vegetation must be of the height and distance from the corners and the base of the window and glazed door		
Site Information	Prop.	Comp
Site Area	695.6 m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bay setback (Min.)	0.9m	Yes
Building envelope	4m @	Yes
% of landscape open space	44%	Yes
(40% min)		
Impervious area (m ²)	56%	Yes
Maximum cut into grd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancy to Rapid Plans		
Project North <div style="text-align: center;"> </div>		
Drawn / Checked GBJJ Date: 21/02/2022 Project No.: RP022-11AM Project Status DA		
Client	Bern Lamb	
Site:	13 Kurrangong Road, Frenchs Forest	
DRAWING TITLE : SITE AND LOCATION Waste Management Plan		
PROJECT NAME : Alterations & Additions		
REVISION NO.	DATE	
-	15/12/21	
DRAWING NO. DA1012		
Plot Date: Sheet Size: A3		21/02/2022 <small>©Copyright 2021 AMB Research Pty Ltd All Rights Reserved</small>



2

GROUND FLOOR
1:100

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NOTES
13 Kurrang Road, Frenchs Forest is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
13 Kurrang Road, Frenchs Forest is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A444195
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6 m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

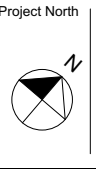


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 21/02/2022
Project NO: RP0221LAM
Project Status: DA
Client: Ben Lamb
Site: 13 Kurrang Road, Frenchs Forest
Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/12/21
DRAWING NO.
DA2001

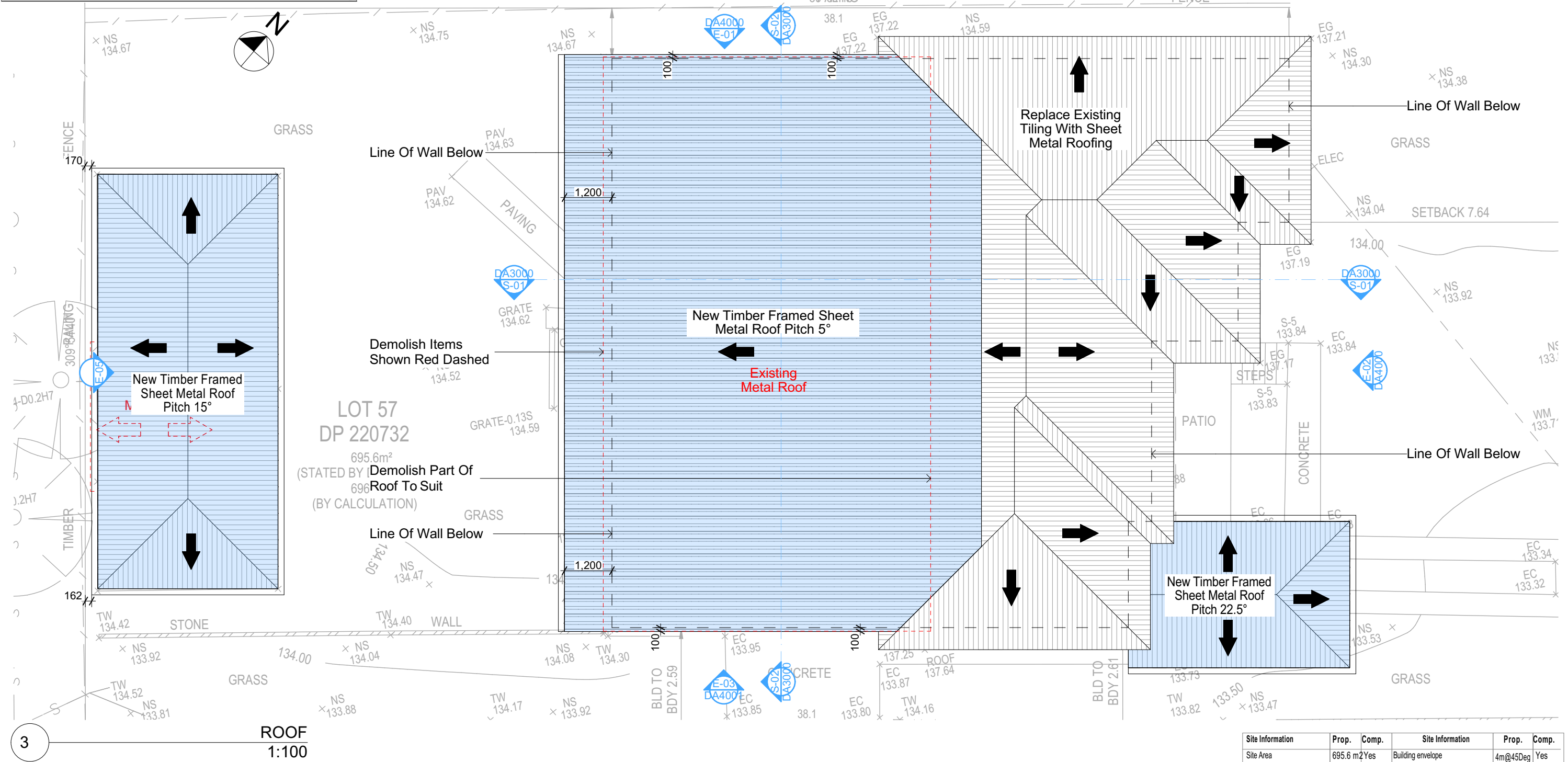
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works

Legend

Denotes Demolished Item



NOTES
13 Kurrajong Road, Frenchs Forest is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
13 Kurrajong Road, Frenchs Forest is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A444195
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6 m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

DRAWING TITLE :

PLANS
ROOF

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
15/12/21
DRAWING NO.
DA2002

Site Information	Prop.	Comp.
Site Area	695.6 m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 21/02/2022
Project NO.: RP0221LAM
Project Status DA

Client Ben Lamb

Site: 13 Kurrabung Road, Frenchs Forest

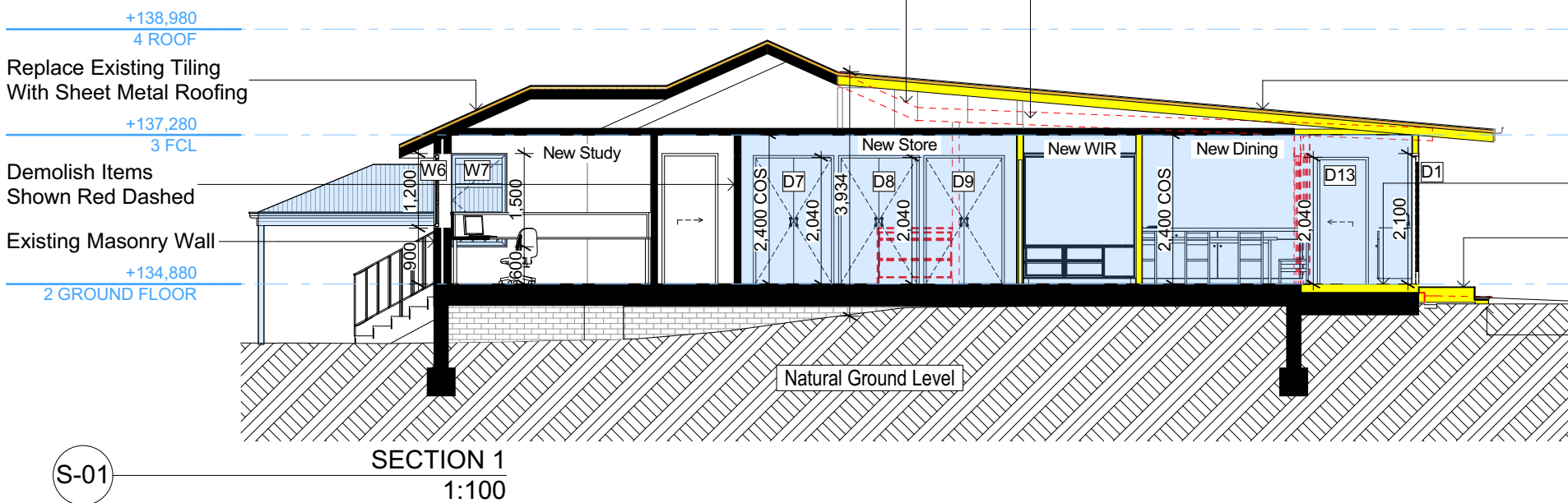
DRAWING TITLE: **SECTIONS SECTION 1**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
- 15/12/21

DRAWING NO. **DA3000**

Plot Date: 21/02/2022
Sheet Size: A3



Demolish Part Of Existing Roof To Suit Roof Cavity To Fit Ducted Air-Conditioning

+138,980
4 ROOF

New Timber Framed Sheet Metal Roof Pitch 5°

+137,280
3 FCL

New Timber Floor Frame To BCA & Aust. Stds. Ontop Of Existing Slab

New Timber Deck To BCA & AS1684

+134,880
2 GROUND FLOOR

New Timber Stairs & Handrail To BCA & Aust. Stds.

Replace Existing Tiling With Sheet Metal Roofing

+137,280
3 FCL

Demolish Items Shown Red Dashed

Existing Masonry Wall

+134,880
2 GROUND FLOOR

Demolish Items Shown Red Dashed

Existing Concrete

Demolish Items Shown Red Dashed

Demolish Items Shown Red Dashed

Demolish Items Shown Red Dashed

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Demolish Items Shown Red Dashed

Demolish Items Shown Red Dashed

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

Replace Existing Tiling
With Sheet Metal Roofing

+138,980
4 ROOF

Existing Masonry Wall

+137,280
3 FCL

New Timber Framed
Sheet Metal Roof
Pitch 22.5°

New Timber Post

+134,880
2 GROUND FLOOR

Demolish Items
Shown Red Dashed

Extend Existing
Timber Framed Wall

New Min. 450mm Wide Awning In
Accordance With Basix Certificate
New Timber Framed
Sheet Metal Roof Pitch 5°

Existing Cladded Stud Wall
Block In Window
To Match Existing

New Timber Deck
To BCA & AS1684

+138,980
4 ROOF

New Timber Framed
Sheet Metal Roof
Pitch 15°

+137,280
3 FCL

Demolish Items
Shown Red Dashed

New Timber Post

+134,880
2 GROUND FLOOR

Natural Ground Level

E-01

North
1:100

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

New Timber Framed
Sheet Metal Roof Pitch 5°

New Cladded 90mm
Timber Framed Wall

+138,980
4 ROOF

Building Envelope

+137,280
3 FCL

New Timber Framed
Sheet Metal Roof
Pitch 22.5°

New Timber Post

+134,880
2 GROUND FLOOR

Demolish Items
Shown Red Dashed

New Concrete Drive
To Eng. Details

New Box Gutter Where
Roof Meets Masonry Wall

Replace Existing Tiling With
Sheet Metal Roofing

New Cladded 90mm
Timber Framed Wall

+138,980
4 ROOF

Demolish Items
Shown Red Dashed

+137,280
3 FCL

Existing Masonry Wall

+134,880
2 GROUND FLOOR

Natural Ground Level

E-02

East
1:100

NOTES

13 Kurradjong Road, Frenchs Forest is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
13 Kurradjong Road, Frenchs Forest is not considered a heritage item

Certifying

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Construction

Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A444195
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

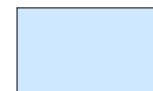
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	NW	0.9	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	NW	2.16	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	NW	0.2	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	NW	0.9	0	0	eave/verandah/pergola/balcony	improved aluminium, single pyrolytic low-e,



Denotes New Works

Legend



Denotes New Concrete



Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6 m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

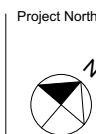
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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
21/02/2022
RP0221LAM
DA

Ben Lamb
13 Kurradjong Road, Frenchs
Forest

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 1

PROJECT NAME :

Alterations & Additions

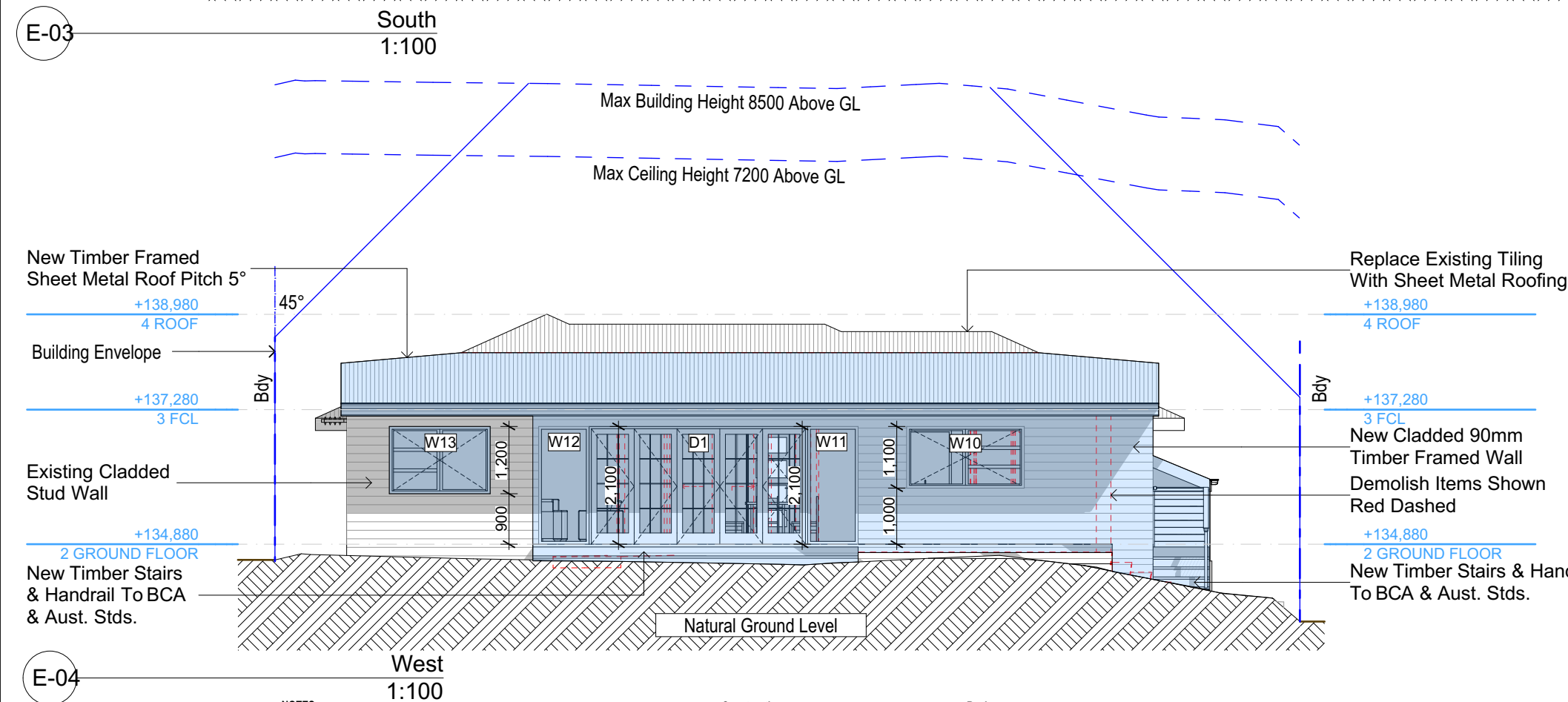
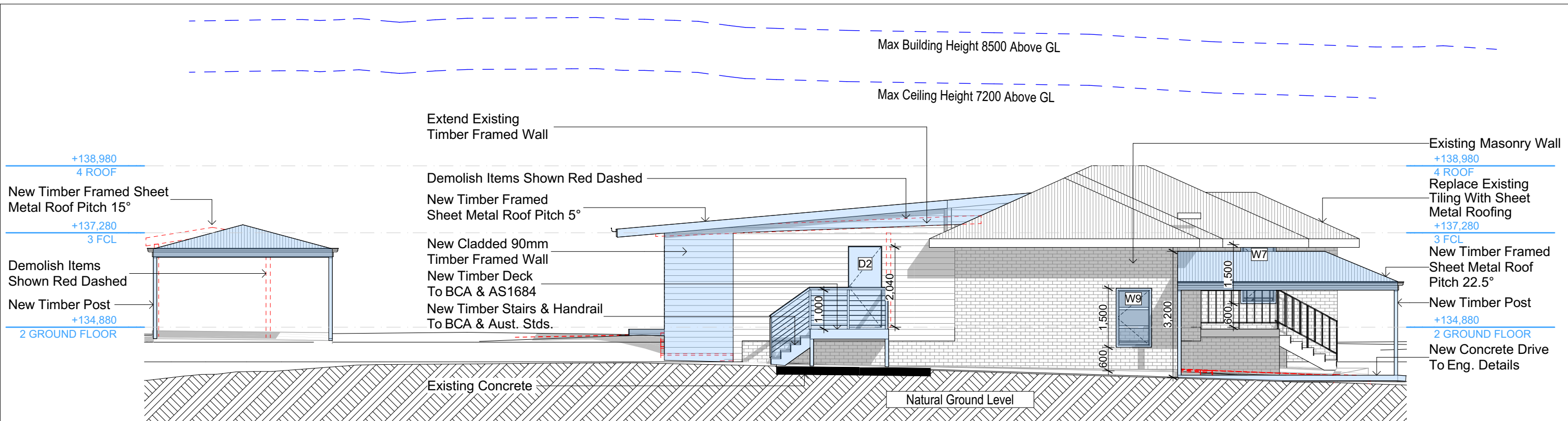
REVISION NO.

DATE:

15/12/21

DRAWING NO.

DA4000



Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W5	NE	3.72	0	0	>=450 mm eave/verandah/pergola/balcony >=450 mm	(U-value: 4.48, SHGC: 0.46) improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W6	NE	2.52	0	0	>=450 mm eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	SE	1.35	0	0	>=450 mm eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	NE	2.88	0	0	>=450 mm eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	SE	1.35	0	0	>=450 mm eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SW	2.31	0	0	>=900 mm eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	SW	1.89	0	0	>=900 mm eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SW	1.89	0	0	>=900 mm eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.16	0	0	>=900 mm eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	SW	8.19	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Denotes New Works

Wall Legend

Denotes Existing Item

Denotes Demolished Item

NOTES
13 Kurrjong Road, Frenchs Forest is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
13 Kurrjong Road, Frenchs Forest is not considered a heritage item

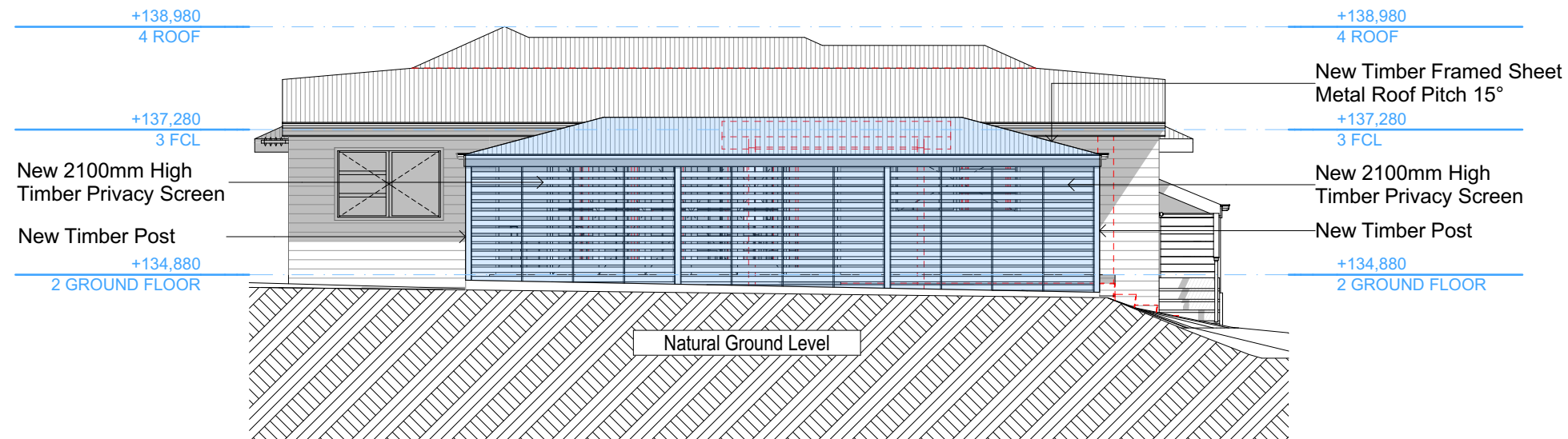
Certifying
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Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A444195
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6 m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

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E-05
-
West Cabana
1:100

NOTES

13 Kurradjong Road, Frenchs Forest is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
13 Kurradjong Road, Frenchs Forest is not considered a heritage item

Certifying

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Construction

Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A444195

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6 m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Variation	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

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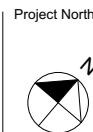
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**Builder to Check and Confirm
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Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
21/02/2022
RP0221LAM
DA

Client
Site:
Sheet Size: A3

Ben Lamb
13 Kurradjong Road, Frenchs
Forest

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 3

PROJECT NAME :

Alterations & Additions

REVISION NO.

-
DATE:
15/12/21
DRAWING NO.
DA4002

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

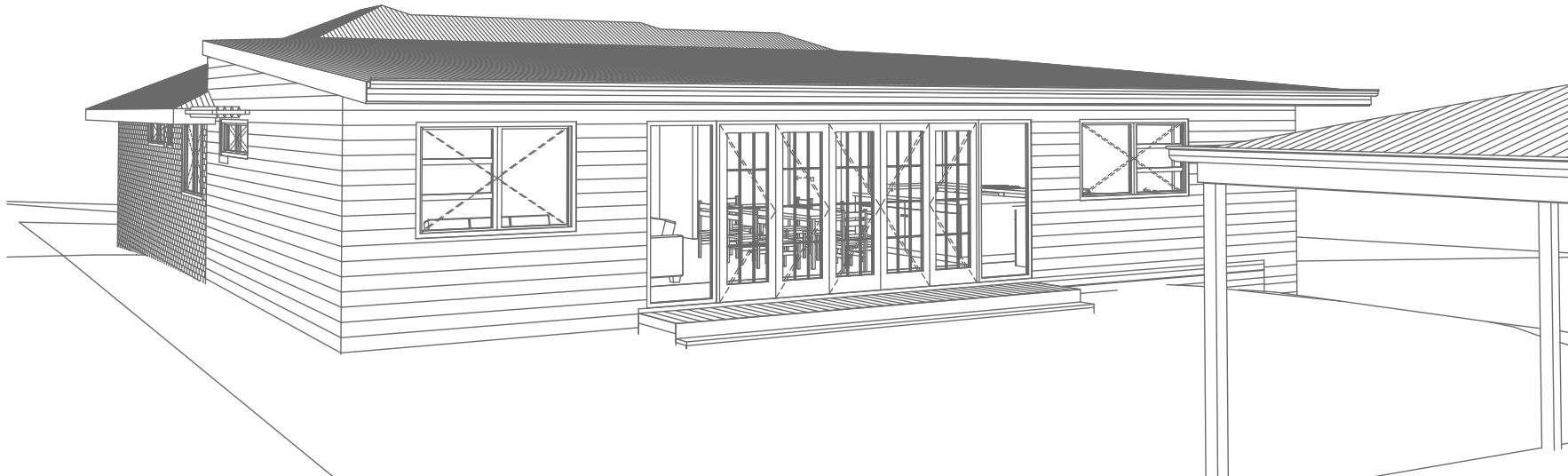
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

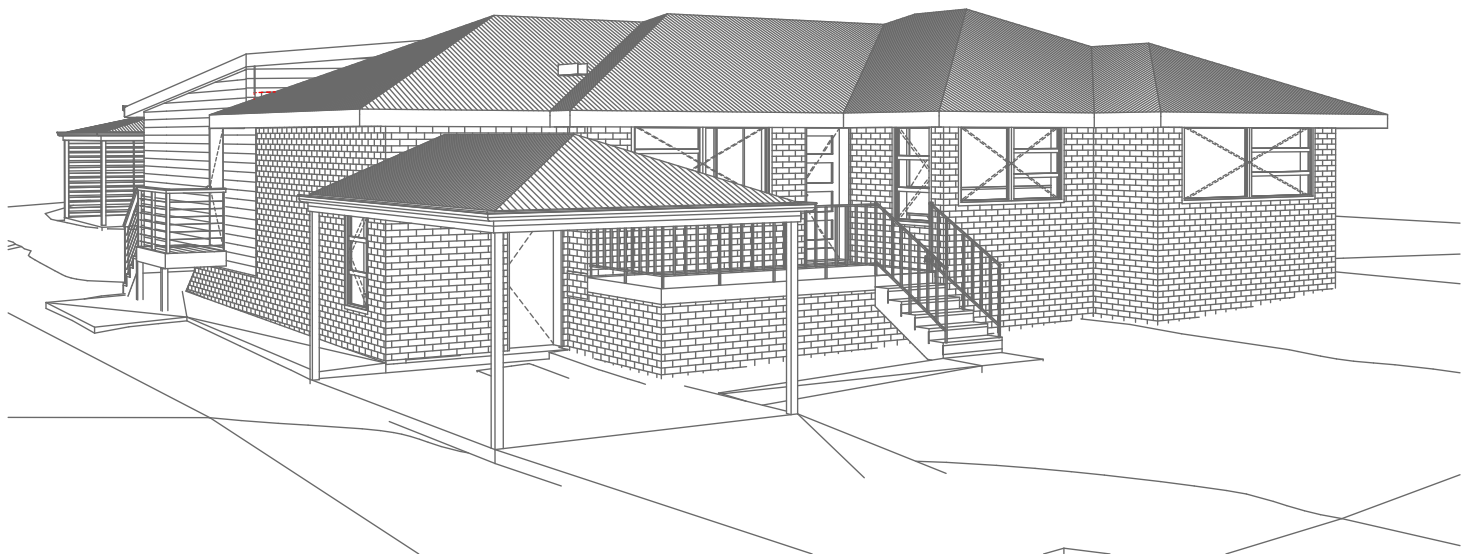
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NW	0.9	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	NW	2.16	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	NW	0.2	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	NW	0.9	0	0	eave/verandah/pergola/balcony	improved aluminium, single pyrolytic low-e,



1 REAR PERSPECTIVE 1:200



2 FRONT PERSPECTIVE 1:200

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
					>=450 mm	(U-value: 4.48, SHGC: 0.46)
W5	NE	3.72	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W6	NE	2.52	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	SE	1.35	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	NE	2.88	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	SE	1.35	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SW	2.31	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	SW	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SW	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	SW	8.19	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawing. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
13 Kurrajong Road, Frenchs Forest is zoned R2-Low Density Residential.
Kurrajong Road, Frenchs Forest is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A444195
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6 m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 21/02/2022
Project NO.: RP0221LAM
Project Status DA

Client Ben Lamb

Site: 13 Kurrajong Road, Frenchs Forest

DRAWING TITLE : SHADOW PLANS PERSPECTIVE

PROJECT NAME : Alterations & Additions

REVISION NO. DATE

- 15/12/21

DRAWING NO. DA5000

Plot Date: 21/02/2022
Sheet Size: A3



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Cladding (Typical).
Owner To Confirm Type & Colour



Denotes Timber Deck (Typical).
Owner To Confirm Type & Colour



Denotes Wire Balustrade (Typical).
Owner To Confirm Type & Colour



Denotes Concrete Drive (Typical).
Owner To Confirm Type & Colour



Denotes Horizontal Slat Privacy Screen (Typical).
Owner To Confirm Type & Colour



Denotes Window Awning (Typical).
Owner To Confirm Type & Colour

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NW	0.9	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	NW	2.16	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	NW	0.2	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	NW	0.9	0	0	eave/verandah/pergola/balcony	improved aluminium, single pyrolytic low-e,

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W5	NE	3.72	0	0	>=450 mm eave/verandah/pergola/balcony >=450 mm	(U-value: 4.48, SHGC: 0.46) improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W6	NE	2.52	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	SE	1.35	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	NE	2.88	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	SE	1.35	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SW	2.31	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	SW	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SW	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	SW	8.19	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

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NOTES
13 Kurrajong Road, Frenchs Forest is zoned R2-Low Density Residential
Kurrajong Road, Frenchs Forest is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue
Construction
Framed Floor, Framed Walls
Roof Framed to have R1.58 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A444195
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6 m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 21/02/2022
Project NO.: RP0221LAM
Project Status DA

Client Ben Lamb

Site: 13 Kurrajong Road, Frenchs Forest

DRAWING TITLE SHADOW PLANS MATERIAL & COLOUR SAMPLE BOARD

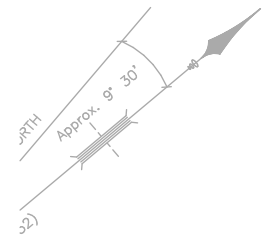
PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
-	15/12/21

DRAWING NO. **DA5001**

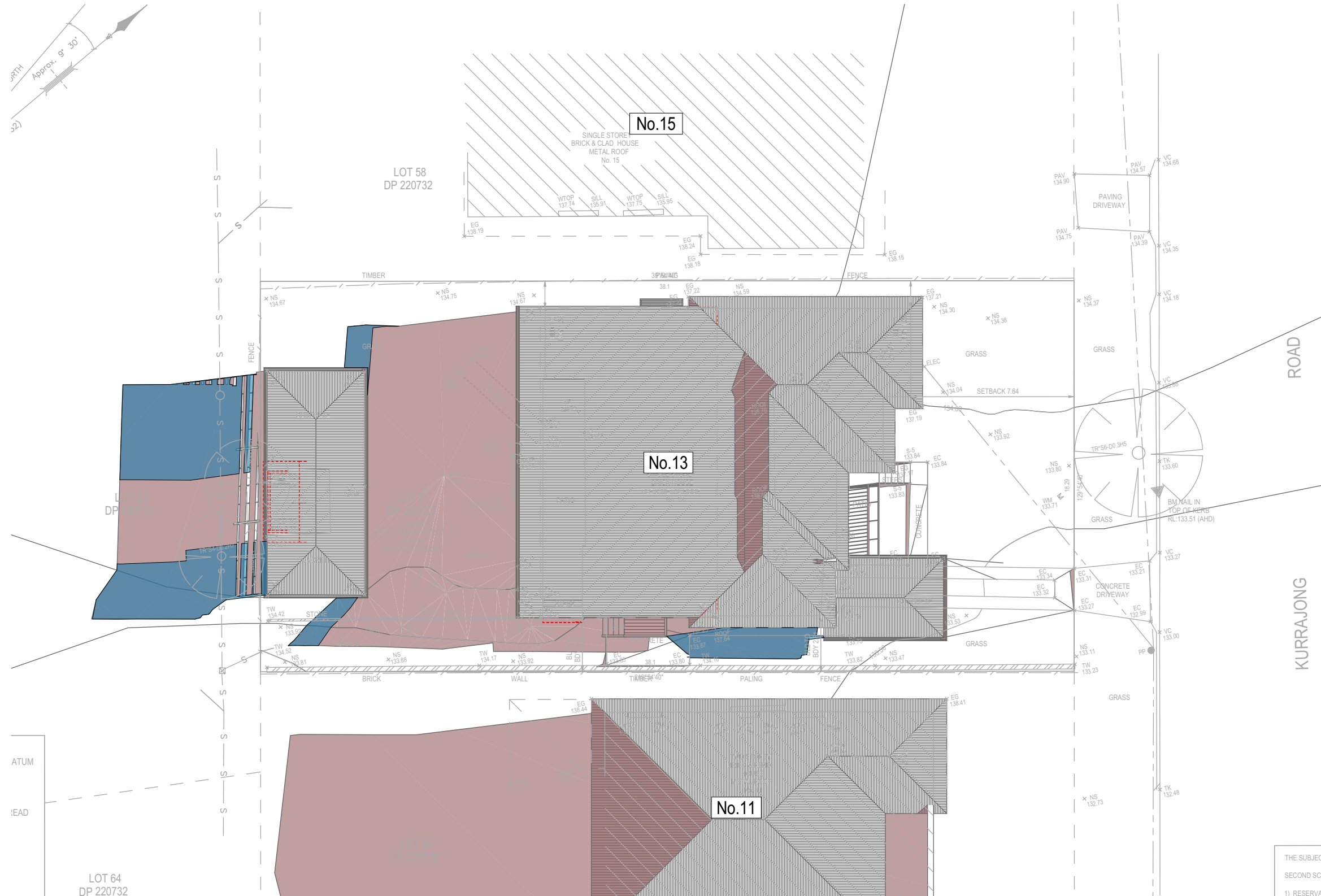
Plot Date: 21/02/2022
Sheet Size: A3

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Denotes Proposed Shadow

Denotes Existing Shadow



01 SHADOW PLAN 21 JUN at 0900h
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

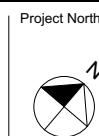


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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status
Client
Site:
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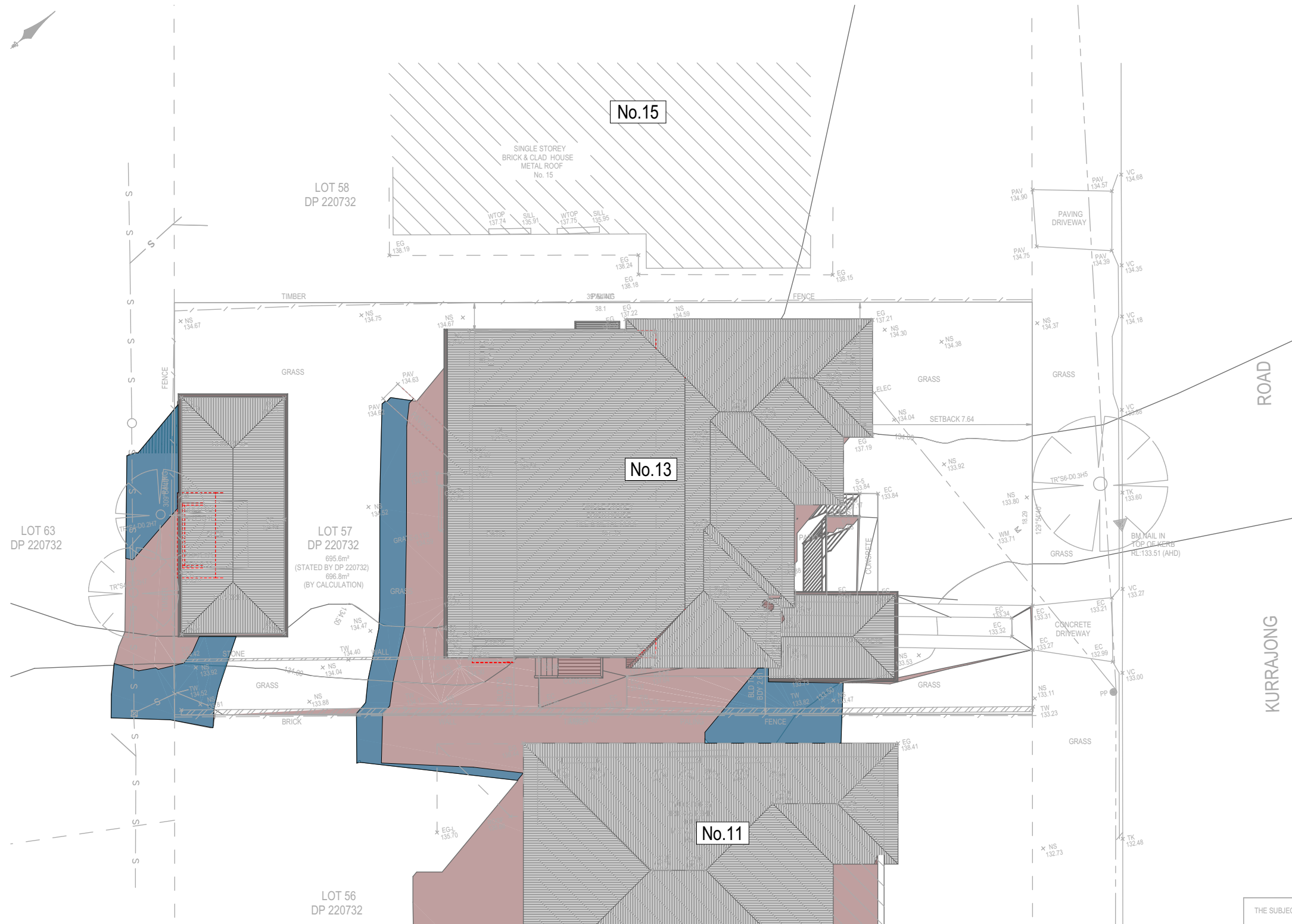
GBJ
21/02/2022
RP0221LAM
DA
Ben Lamb
13 Kurrajong Road, Frenchs
Forest

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
9am**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
15/12/21
DRAWING NO.
DA5002

Denotes Proposed Shadow

Denotes Existing Shadow

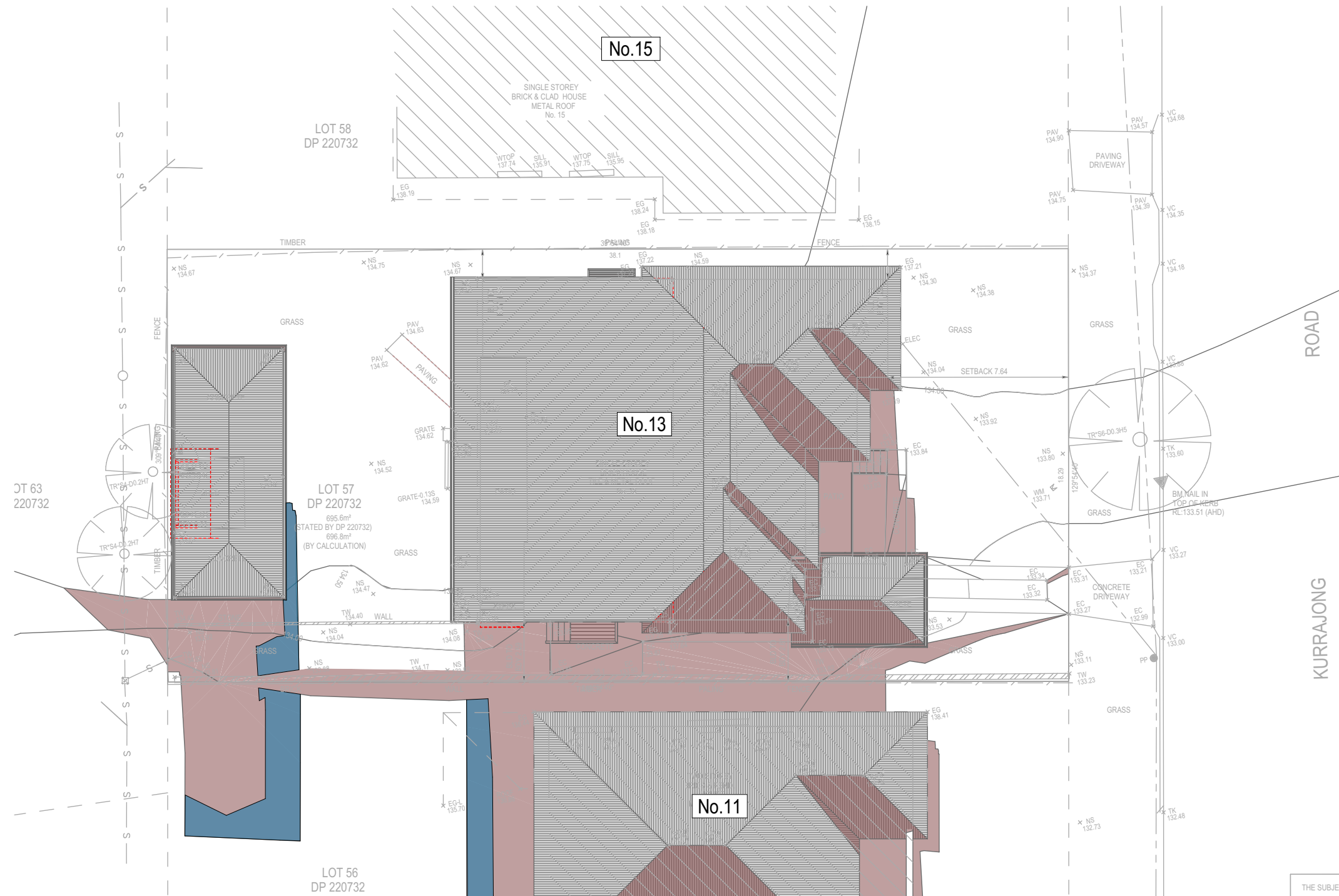


02 SHADOW PLAN 21 JUN at 1200h
1:200

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

Denotes Proposed Shadow

Denotes Existing Shadow



03

SHADOW PLAN 21 JUN at 1500h
1:200

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION



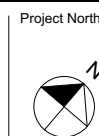
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ACCREDITED
BUILDING DESIGNER

**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

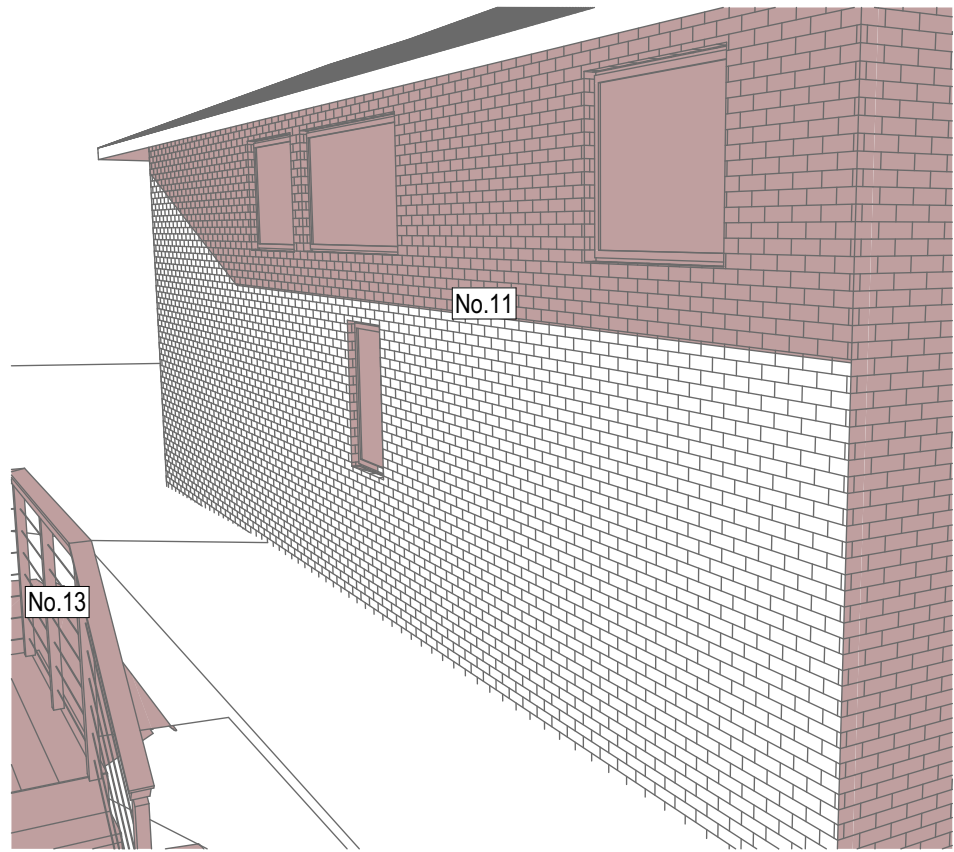
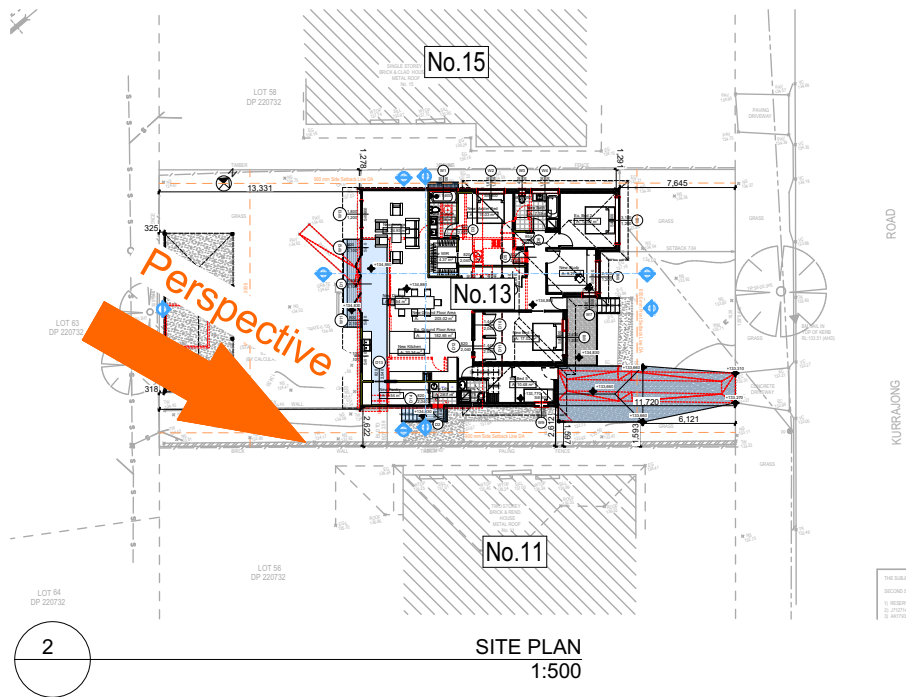
GBJ
21/02/2022
RP0221LAM
DA

Ben Lamb
13 Kurrajong Road, Frenchs
Forest

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
3pm**

PROJECT NAME :
Alterations & Additions

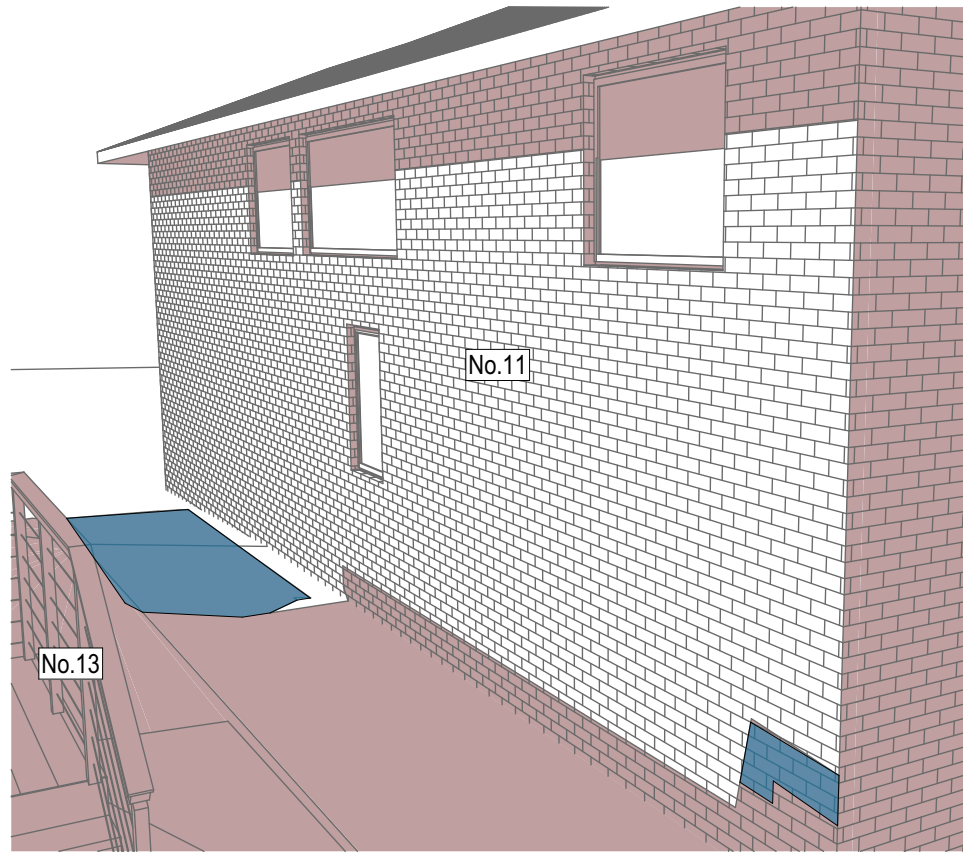
REVISION NO.
-
DATE:
15/12/21
DRAWING NO.
DA5004



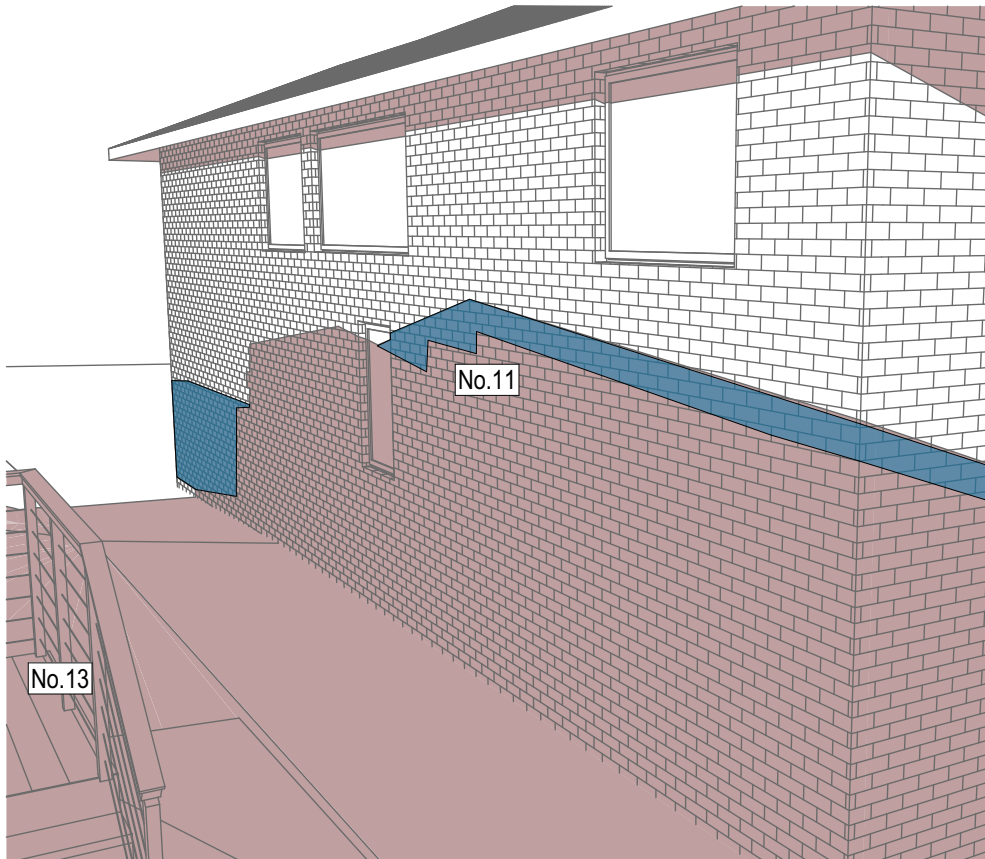
4 SHADOW ELEVATION 21 JUN at 0900h

Denotes Proposed Shadow

Denotes Existing Shadow



5 SHADOW ELEVATION 21 JUN at 1200h



6 SHADOW ELEVATION 21 JUN at 1500h

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

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ASSOCIATION OF AUSTRALIA

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NOTES
13 Kurralong Road, Frenchs Forest is zoned R2-Low Density Residential.
Kurralong Road, Frenchs Forest is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.
Framed Floor, Framed Walls
Roof Framed to have R1.55 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A444195
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6 m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Variation
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 21/02/2022
Project NO.: RP02211AM
Project Status DA

Client Ben Lamb

Site: 13 Kurralong Road, Frenchs Forest

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	15/12/21

DRAWING NO.
DA5005

Plot Date: 21/02/2022
Sheet Size: A3