ICON HOMES

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#75 Lorikeet Grove, Warriewood
Lot Number: 4
DP Number: 270907

Accurate design and drafting

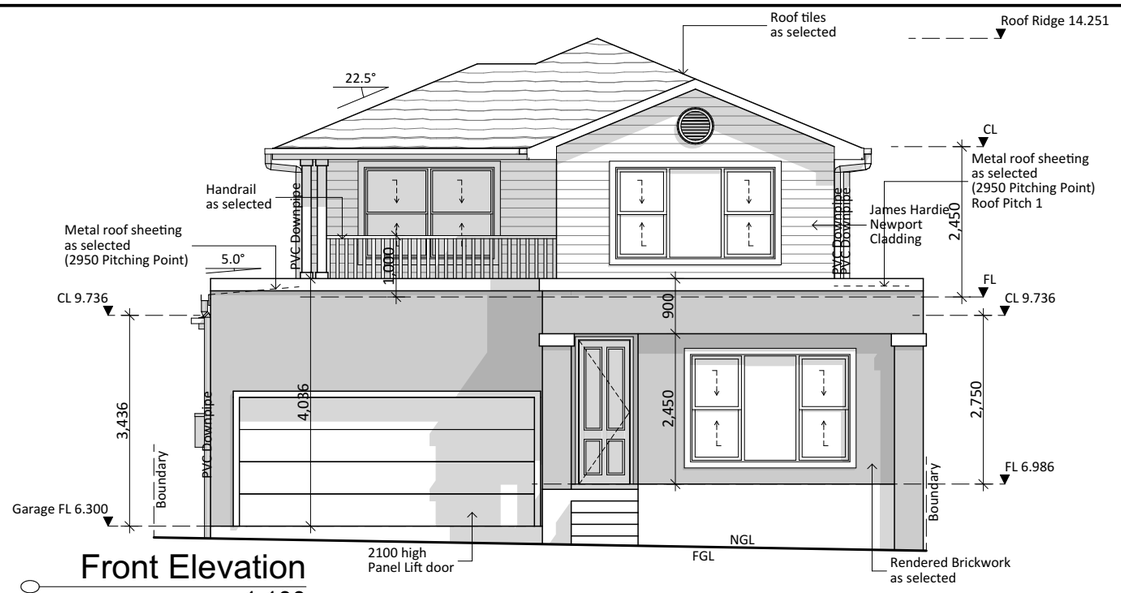
Office: 1a/10 Exchange Parade
Narellan NSW 2567
Phone : 0246472552
Email: info@accuratedesign.com.au

Icon Job Number: J0/390

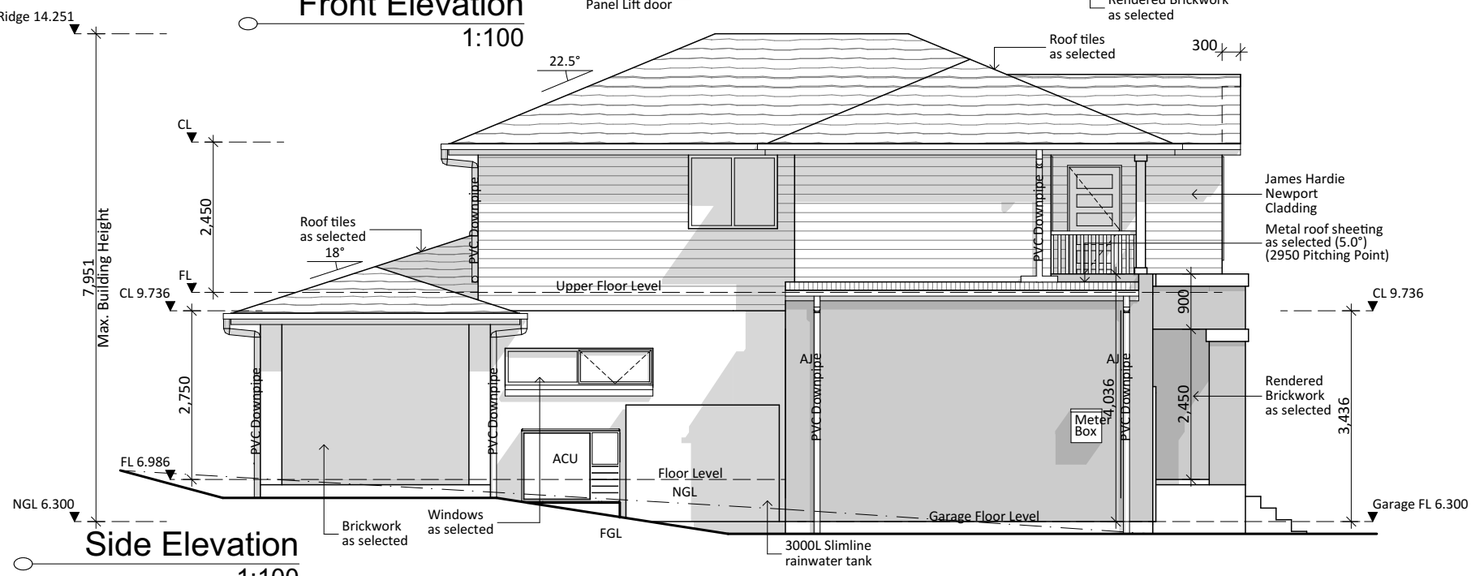
Tampa 24 MODIFIED

Client Approval:	Date:
Job: Proposed B/V Residence	
Drawing: Perspective Views	
Scale: -	Date: 02-07-20
Drawing No: 20003-6	Sheet: 2/10 / Issue: G

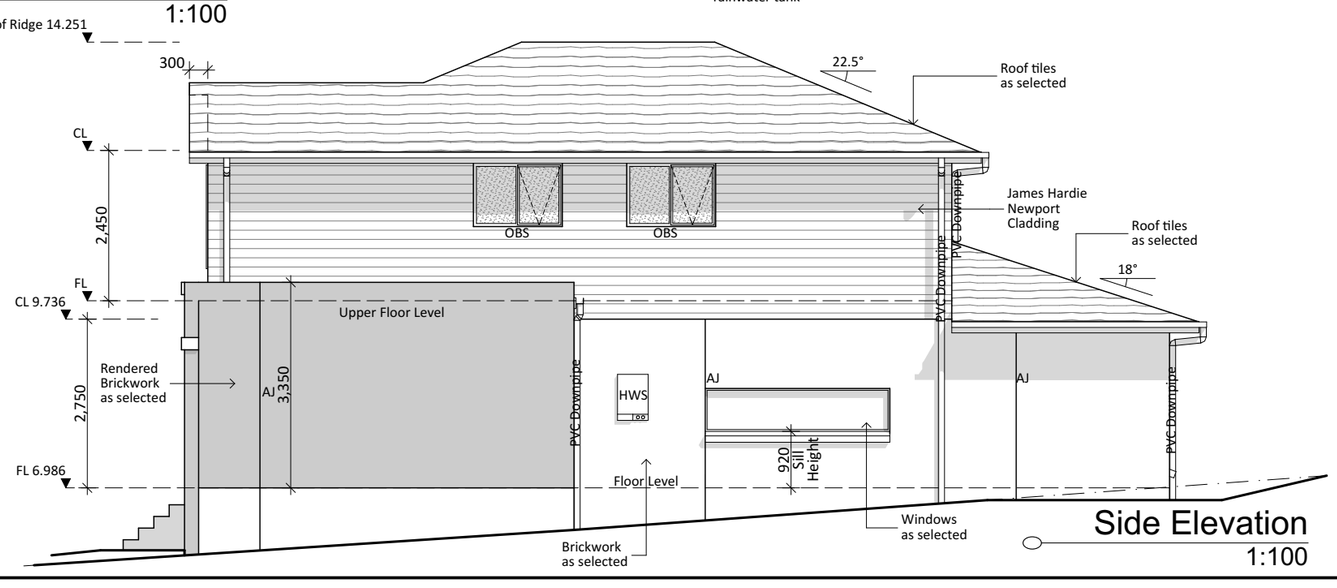
Legend:
ACU - Air Conditioning Unit
AJ - Articulation Joint
CL - Ceiling Level
FGL - Finish Ground Line
FL - Floor Level
HWS - Hot Water System
NGL - Natural Ground Line
OBS - Obscure
DP - Downpipe
RW - Retaining Wall



Front Elevation
1:100



Side Elevation
1:100



Side Elevation
1:100

Notes:
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6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
7. Final AJ's to engineers specifications
8. Plus or minus 200mm to floor levels
9. Steel beam required if any openings have more than 6 courses of brickwork above

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Job:
Proposed B/V Residence

LOT: 4 DP: 270907
#75 Lorikeet Grove, Warriewood

Drawing:
Elevations

Scale:	Date:	
1:100	02-07-20	
Drawing No: 20003-6	Sheet: 5/10	Issue: G

House Design: Tampa 24 MODIFIED

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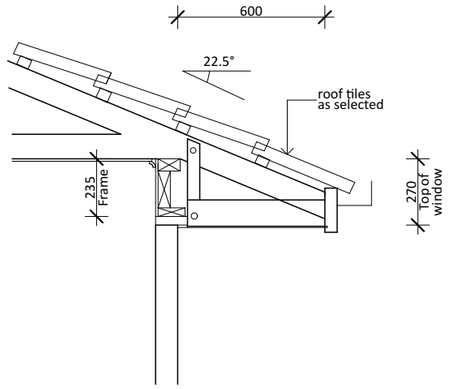
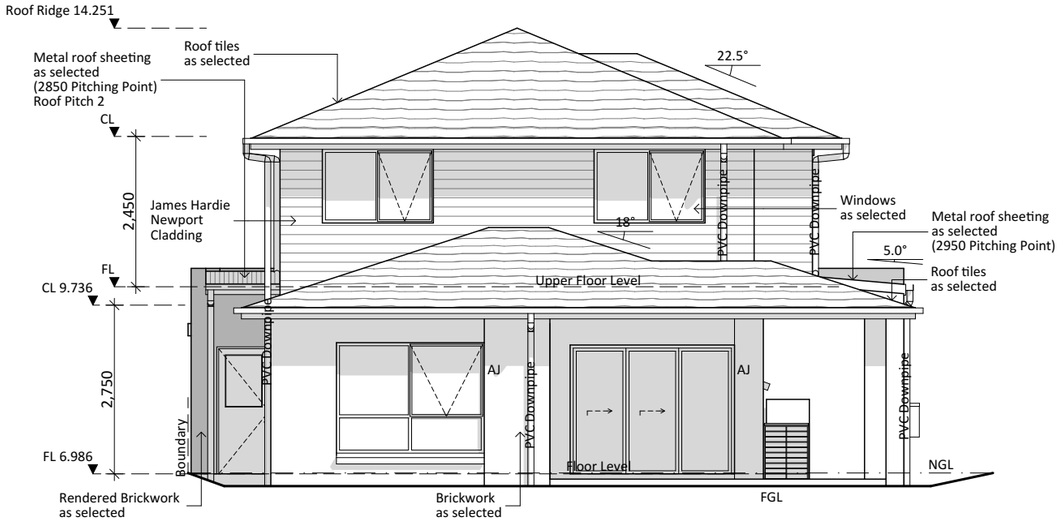


Eave Details
1:25



Rear Elevation
1:100

Legend:
ACU - Air Conditioning Unit
AJ - Articulation Joint
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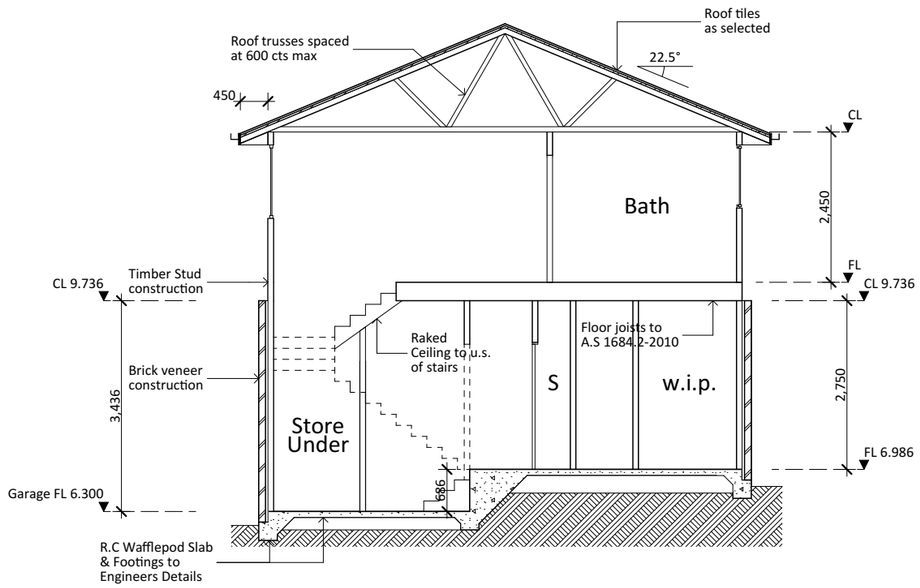
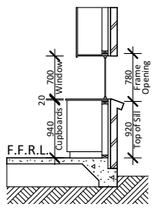


Section A-A
1:100



Kitchen Sill Detail
1:100

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Job:
Proposed B/V Residence

LOT: 4 DP: 270907
#75 Lorikeet Grove,
Warriewood

Drawing:
Elevation, Section & Details

Scale:	Date:	
1:100, 1:25	02-07-20	
Drawing No: 20003-6	Sheet: 6/10	Issue: G

House Design: Tampa 24 MODIFIED

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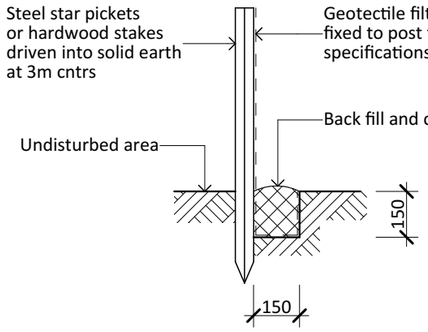
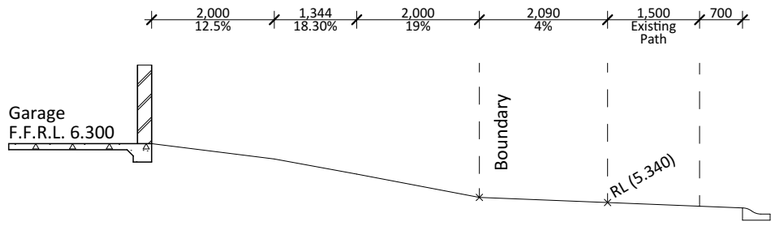


Soil Erosion and Sediment Control Fence
1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any ajoining property or to the street. This measure is to be placed prior to any excavation work beggining and is to be removed only when the sites surface as been stabalized, i.e. paved, landscaped or turfed
2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

Typical Silt Fence
1:20



Driveway Profile
1:100

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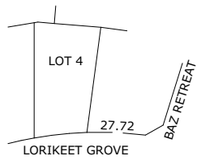
LOCATION PLAN

LAT: -33.6880
LONG: 151.2997



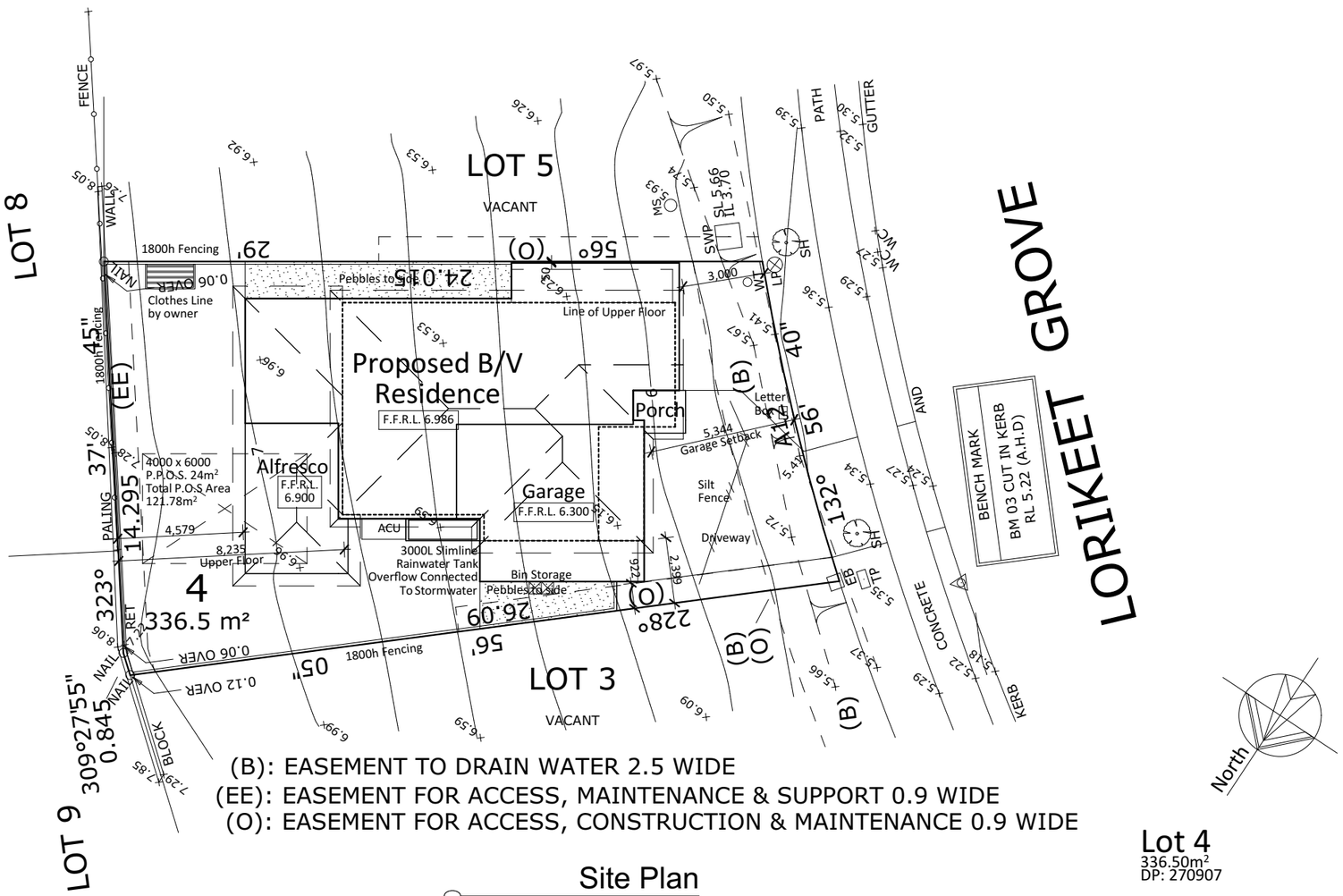
LEGEND

	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS

EB - ELECTRICAL BOX
EM - ELECTRICAL METER
GM - GAS METER
H - HYDRANT
KO - KERB OUTLET
LH - LAMP HOLE
LP - LIGHT POLE
MH - MAN HOLE
MS - MAINTENANCE SHAFT
PP - POWER POLE
R - HYDRANT RECYCLED
SH - SHRUB
SIO - SEWER INSPECTION OPENING
SMH - SEWER MAN HOLE
SR - STOP VALVE RECYCLED
SV - STOP VALVE
SVP - SEWER VENT PIPE
SWP - STORM WATER PIT
T - TREE
TP - TELECOMMUNICATIONS PIT
VER - VERANDAH
WT - WATER TAG
WM - WATER METER
WMR - WATER METER RECYCLED
WC, GC, EC, TC - SERVICE CONDUIT
W/C - WATER CLOSET

SOURCE OF LEVELS
SSM 24845 RL 12.835
S.C.I.M.S



(B): EASEMENT TO DRAIN WATER 2.5 WIDE
(EE): EASEMENT FOR ACCESS, MAINTENANCE & SUPPORT 0.9 WIDE
(O): EASEMENT FOR ACCESS, CONSTRUCTION & MAINTENANCE 0.9 WIDE

Site Plan
1:200

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Drawing:
Site Plan

Scale:	Date:	
1:200, 1:20	02-07-20	
Drawing No:	Sheet:	Issue:
20003-6	7/10	G

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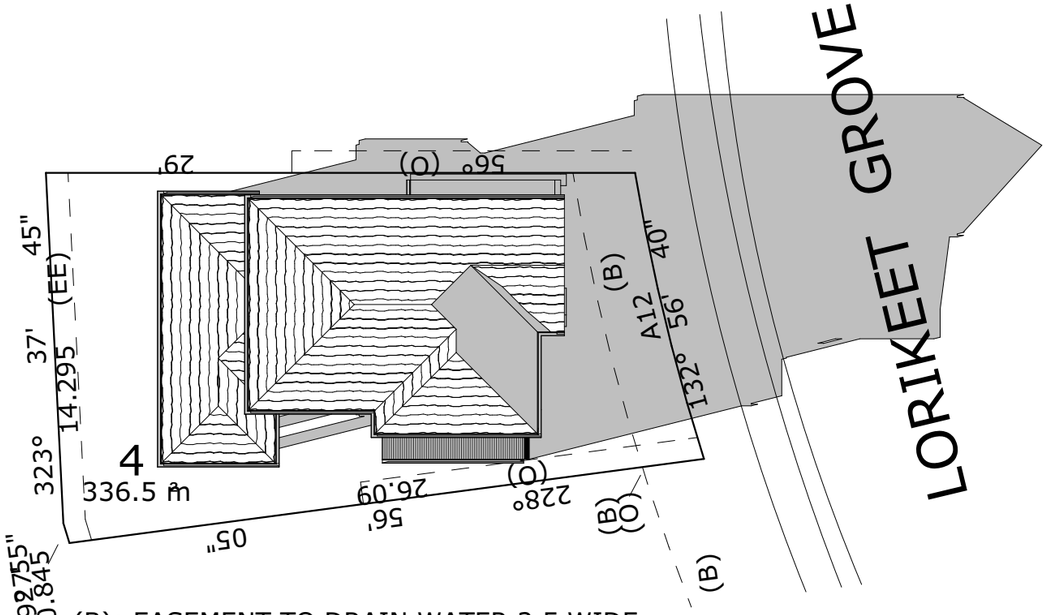

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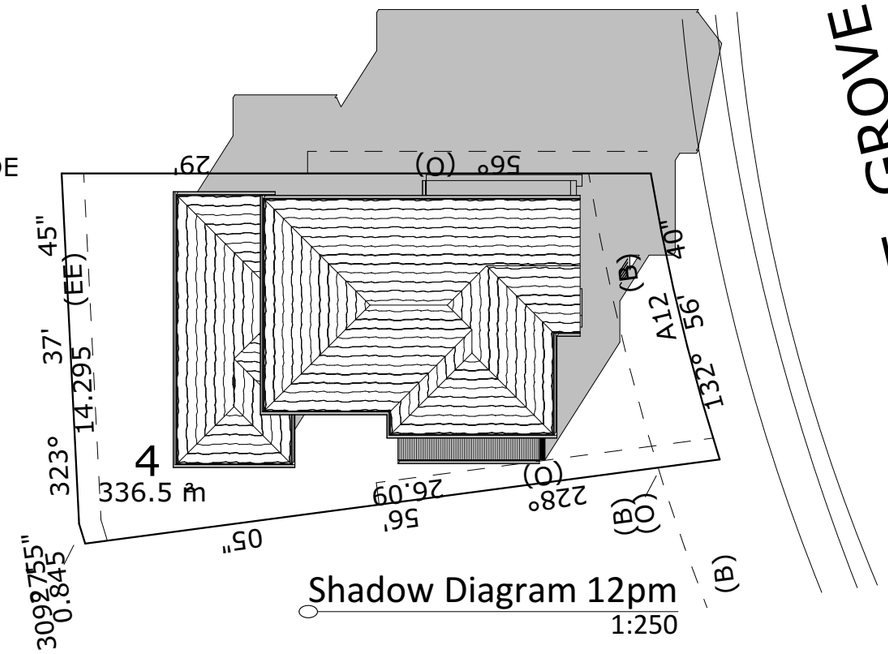
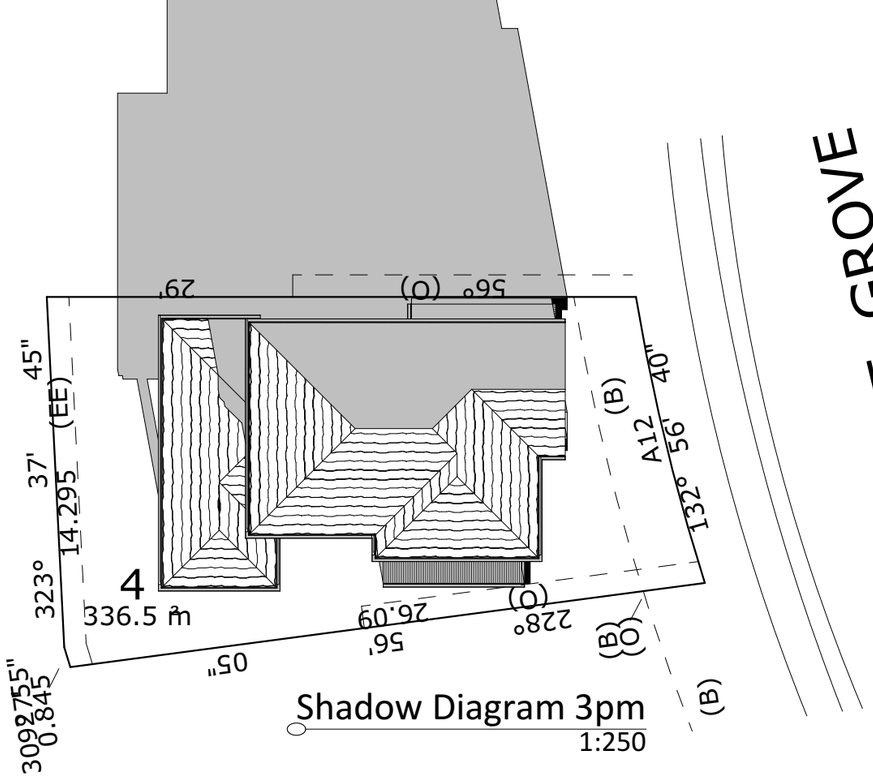
Shadow Diagram 9am
1:250



Shadow Diagram 12pm
1:250



Shadow Diagram 3pm
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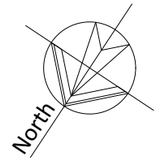

Lot 4
336.50m²
DP: 270907

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Drawing:
Shadow Diagrams

Scale:	Date:	
	02-07-20	
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