

29 January 2008

General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir,

**Re Development Application No N0680/07
125 Avalon Parade, Avalon**

For Council's information, please find enclosed Construction Certificate No 2008/2541 issued for a new dwelling, driveway & detached garage only at the above address, accompanied by

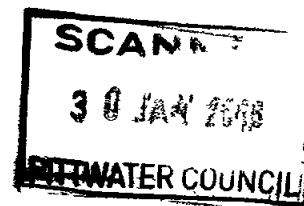
- Copy Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Copy of Owner Builder Permit
- Cheque for \$30 00 being the prescribed fee to receive the above certificate

NB Please forward receipt for the above fee to Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660

Yours faithfully



Tom Bowden
Insight Building Certifiers Pty Ltd



R232731 31/1/08
\$30 00

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b) 81A (2) and 81A (4)

Certificate No 2008/2541

Council	Pittwater
Determination date of issue	Approved 29 January 2008
Subject land Address Lot No DP No	125 Avalon Parade Avalon Lot 1 DP 212992
Applicant Name Address Contact No (phone)	Mr Terry & Mrs Melissa Willesee 125 Avalon Parade, Avalon NSW 2107 9918 0123 / 0414 489 731
Owner Name Address Contact No (phone)	Mr Terry & Mrs Melissa Willesee 125 Avalon Parade, Avalon NSW 2107 9918 0123 / 0414 489 731
Description of Development Type of Work	New Dwelling, Driveway & Detached Garage ONLY
Builder or Owner/Builder Name Contractor Licence No/Permit	Terry Willesee 351856P
Value of Work Building	\$400,000 00

Attachments

- Copy of completed Construction Certificate Application Form
- Basix Certificate no 177730S dated 21 January 2008
- Hazardous Material Work Method Statement, Reference no BB prepared by City Civil Demolition & Excavation Pty Ltd dated 17 January 2008
- Council Receipt nos 232047 for payment of Long Service Levy

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- Architectural Plans & Construction Specifications including Basix Compliance Statement reference nos A-704 drawing nos 1A 2 & 3A prepared by A H Design dated November 2007
- Structural Details including driveway certification reference no 33207, drawing nos 1/A & 2 prepared & endorsed by T J Taylor Consultants Pty Ltd dated 22 January 2008
- Stormwater Details including certification reference no 33207 drawing no 3/A prepared & endorsed by T J Taylor Consultants Pty Ltd, dated January 2008
- Access Driveway Profiles reference no PWC-DW02/B issued by Pittwater Council dated 18 January 2008
- Section 139 Consent for works on Public Road Reserve issued by Pittwater Council dated 15 January 2008
- Schedule of Exterior Finishes reference no AA prepared by A H Design dated 24 January 2008
- Sydney Water Approval dated 25 January 2008

Certificate


I hereby certify that the above Plans documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

Signed

Date of endorsement
Certificate No


29 JAN 2008
2008/2541

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road Mona Vale NSW 2103

Development Consent

Development Application No
Date of Determination

N0680/07
21 December 2007

BCA Classification

1a & 10a

**SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

Dolphin No: ...D07/8-07108.....

Quick Check Ref No: 2187658...

e-Developer Case No:

Property Location

Street No:125.....

Lot No:1.....

Street Name: ...AVALON PARADE.....

Suburb:AVALON.....

Building/Structure Description: ...NEW RESIDENCE & RETAINING WALL...

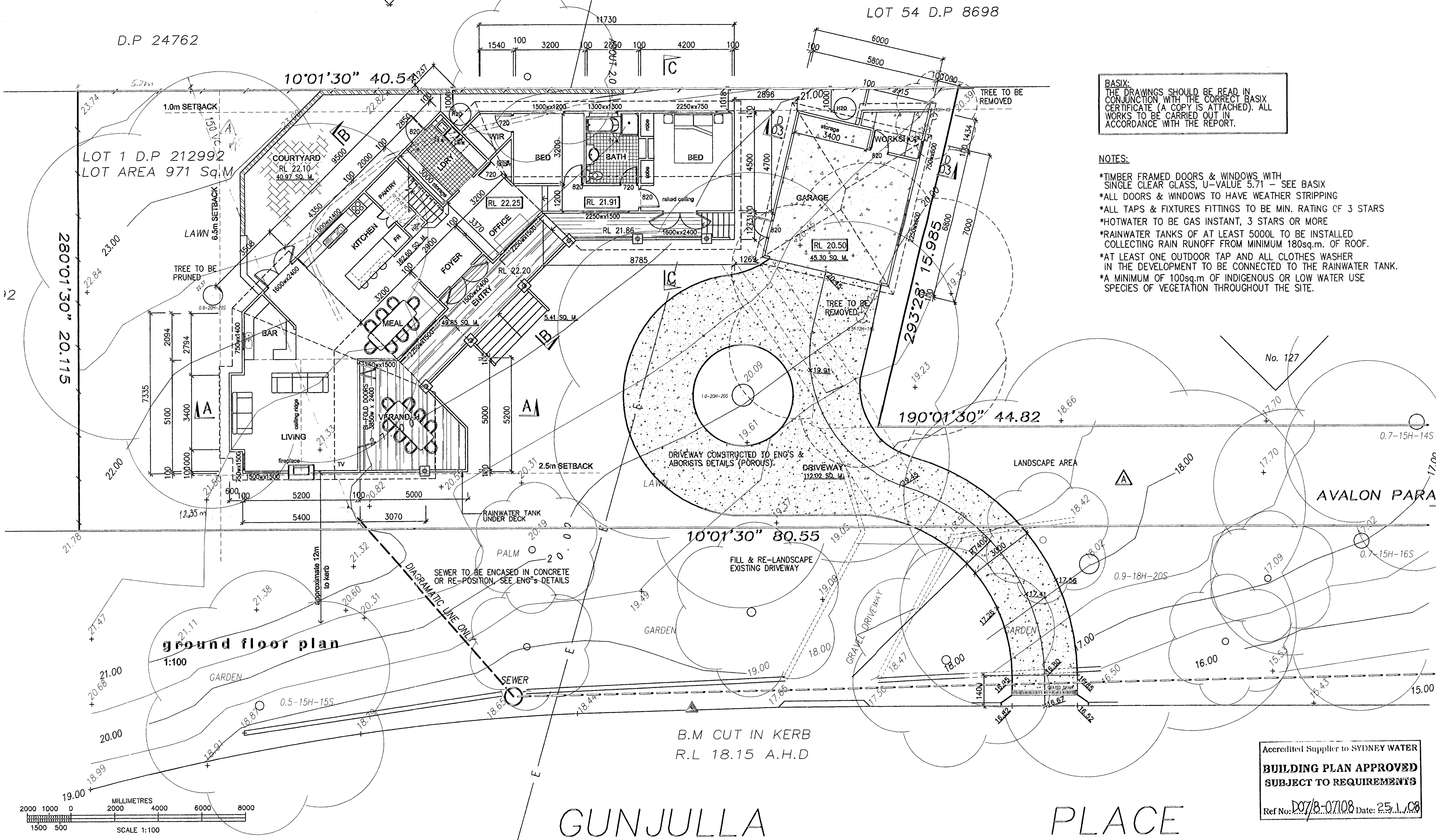
Building Plan No: ...A-704 A.... Engineers Plan No: ...33207-1/A...

Proposed building/structure is **APPROVED** to construct ~~OVER/ADJACENT TO~~ a Sydney Water sewer/asset, subject to the following requirements:
(NB. Delete non applicable requirements)

1. The foundations/piers are to be founded below 1:1 zone of influence or to rock; mostly soil strata.
2. No part of the building/structure or its foundations to be less than a minimum 0.6 metre, horizontal distance from the centreline of the sewer.
3. ~~No part of the swimming pool or its foundations to be less than a minimum metre, horizontal distance from the centreline of the sewer to the outer edge of the pool coping.~~
4. No part of the building/structure or swimming pool coping to be less than 1 m horizontal distance from outside edge of maintenance hole rim / maintenance shaft rim / lamphole rim / vertical rim / redding point or edge of ventshaft.
5. ~~No piercing of building/structure to be less than 2 m horizontal distance from centreline of maintenance hole to edge of piers.~~
6. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
7. All foundations/piers are to be founded to below the zone of influence or to solid rock.
8. ~~Indemnity letter to be signed by owner/s of property and returned to Water Servicing Coordinator prior to issue of building plan approval.~~
9. Concrete encase approximately 14 metres of sewer. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.
10. Concrete encasement must extend a minimum of 600 mm past the external walls of the building/structure.
11. Minimum of 150mm vertical clearance between top of concrete encasement to underside of concrete slab.
12. Minimum of 50mm of compressible membrane between top of concrete encasement to underside of concrete slab.
13. ~~Property connection point (junction) to be inserted under Minor Works Agreement.~~
14. ~~All works are to be completed in accordance with Case No.~~

first floor plan
1:100

D.P. 24762



RIDGE R.L. 30.17

TOP PLATE R.L. 27.80

F.F.L. R.L. 25.55

F.C.L. R.L. 25.25

F.F.L. R.L. 22.25

F.F.L. R.L. 21.91

section A-A
1:100

SINGLE STOREY BRICK COTTAGE

RIDGE 26.13

SILL 23.29

section B-B
1:100

H/W BEARER & JOIST CONSTRUCTION WITH ANCHORING ON ENGAGED & ISOLATED PIERS ON CONCRETE FOOTINGS TO STRUCTURAL ENGINEER'S DETAILS

REINFORCED CONCRETE STRIP FOOTINGS FOUNDED ON UNDISTURBED NATURAL GROUND TO ENGINEER'S DETAILS & SPECIFICATIONS

10mm PLASTERBOARD TO WALLS & CEILINGS

BATH/DRY - CERAMIC FLOOR TILES ON AN APPROVED WATERPROOF MEMBRANE OVER OFC SHEETING

SETDOWN JOISTS 30mm FOR FALLS TO WASTE

section C-C
1:100

AVOLON BEACH LOCALITY

ALLOWABLE SITE COVERAGE 40% + 6% LANDSCAPING

SITE CALCULATIONS

SITE AREA 971.00 SQ. M

PROPOSED:

FLOOR AREA 162.60 SQ. M

DECK AREA 49.85 SQ. M*

GARAGE & WORKSHOP AREA 45.30 SQ. M

DRIVEWAY AREA 112.02 SQ. M

COURTYARD AREA 40.97 SQ. M*

ENTRY STAIR AREA 5.41 SQ. M*

TOTAL BUILT UPON AREA 416.15 SQ. M

37% ± 6%

CARPARKING 2 CARS

* INCLUDED IN THE 6% LANDSCAPED AREA (D1.14)

BASIX:

THE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE CORRECT BASIX CERTIFICATE (A COPY IS ATTACHED). ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REPORT.

NOTES:

- *TIMBER FRAMED DOORS & WINDOWS WITH SINGLE CLEAR GLASS, U-VALUE 5.71 SEE BASIX
- *ALL DOORS & WINDOWS TO HAVE WEATHER STRIPPING
- *ALL TAPS & FIXTURES FITTINGS TO BE MIN. RATING OF 3 STARS
- *HOTWATER TO BE GAS INSTANT, 3 STARS OR MORE
- *RAINWATER TANKS OF AT LEAST 5000L TO BE INSTALLED COLLECTING RAIN RUNOFF FROM MINIMUM 180sq.m. OF ROOF.
- *AT LEAST ONE OUTDOOR TAP AND ALL CLOTHES WASHER IN THE DEVELOPMENT TO BE CONNECTED TO THE RAINWATER TANK.
- *A MINIMUM OF 100sq.m. OF INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT THE SITE.

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB.
2. ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
4. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY SEWER MAINS OR EASEMENTS OR ANY OTHER CONDITIONS WHICH WILL AFFECT THE BUILDING DESIGN.
5. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
6. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE S1681.
7. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
8. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
9. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
10. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
11. ALL ELECTRICAL POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
12. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
13. ANY DETAILING IN ADDITION TO THAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED TO THE OWNER & THE BUILDER.

mark	date	amendments.
A	17/1/08	carport & impervious area removed - to comply with condition B9
-	16/11/07	issue to client for council approval

project.

A new residence
for
Mr. & Mrs. WILLESEE
at 125 Avalon Parade, AVALON NSW 2107

drawing title.

WORKING DRAWINGS- Site- & floor plans, sections

scale. 1:100

date. NOV. 2007

Draftperson.

ANNA HENRY
AH DESIGN
22 WANDEEN ROAD, CLAREVILLE NSW 2107
T. 02 9918 5790
E. ahdesign@gmail.com

© COPYRIGHT:
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project no. A-704

sheet no. 1

of 3

amendments. A

Accredited Supplier to SYDNEY WATER

BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS

Ref No: D07/B-07108 Date: 25.1.08



T J TAYLOR CONSULTANTS PTY LIMITED

ABN 98 002 360 054

Consulting Civil and Structural Engineers

'Seascope', Suite 7, 22-26 Fisher Road, Dee Why NSW 2099
Telephone 99827092 Fax: 99825898 Email: taylor_consultants@tpg.com.au



22 January 2008
Our Ref: DMS:dp 33207

General Manager
Pittwater Council
1 Park Street
MONA VALE NSW 2103

Dear Sir,

Re: Stormwater Drainage Details – 125 Avalon Parade, Avalon

With reference to the development application for the above property please find enclosed four copies of the site Stormwater Management Plan No.33207-3, for your perusal.

The plan shows a significant proportion of the dwelling roof area of the site and the rear courtyard draining to a 7200 litre detention storage system, located under a timber deck at the front of the building. The plan also shows the location of 5000 litres of rainwater storage proposed for the site. Overflows from all retention/detention tanks are directed to the kerb & gutter in Rayner Road.

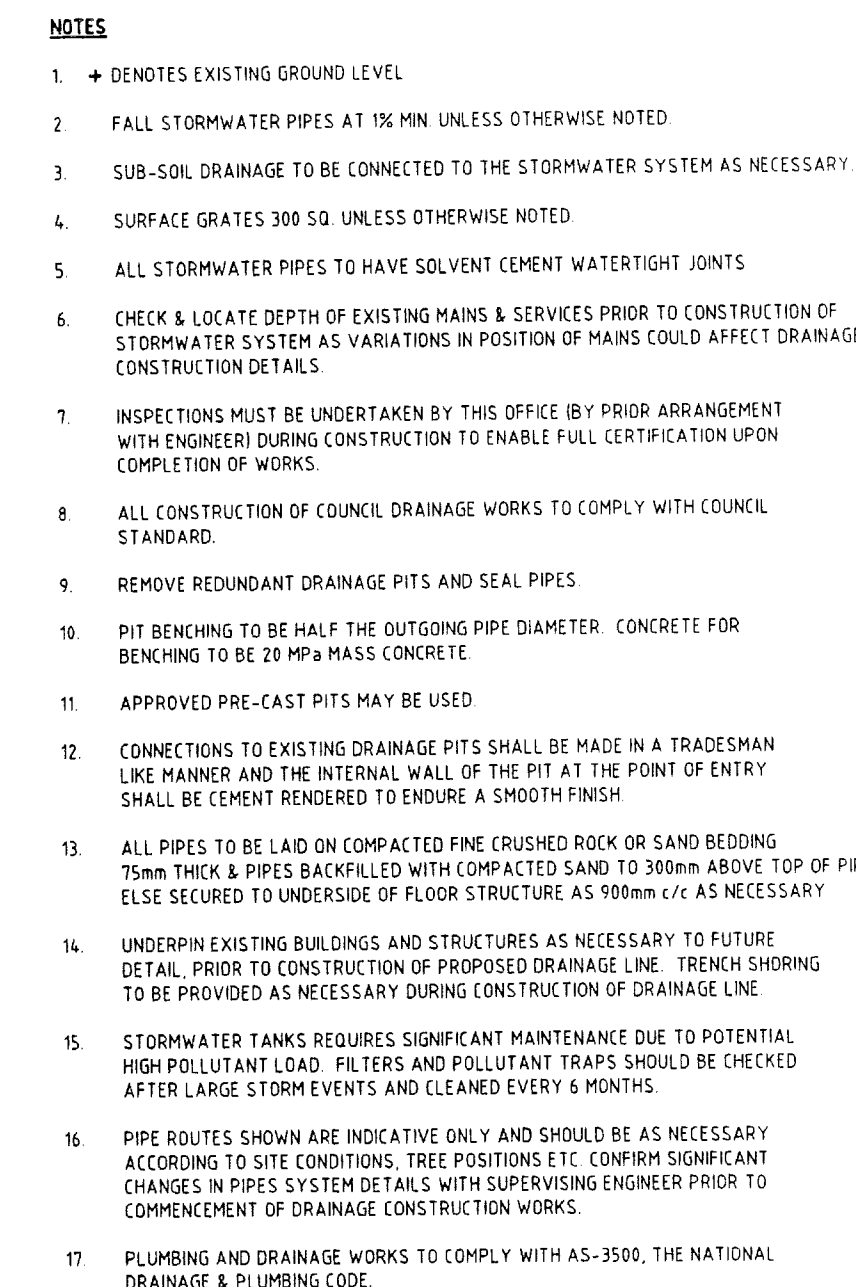
This is also to certify that the site stormwater drainage layout as shown on Plan No. 33207-3 by T.J. Taylor Consultants P/L, has been designed in accordance with section 3.1.2, 'Drainage', of the Building Code of Australia Housing Provision and AS/NZS 3500.3.2 – Stormwater Drainage and Section B5 of Pittwater Council's 'DCP 21'.

Should you have any questions or queries please contact the undersigned.

Yours faithfully,
T J TAYLOR CONSULTANTS PTY LTD

D M SCHAEFER
BE (Civil) MIEAust

C08/332071.01



RAINWATER RE-USE NOTES AND SPECIFICATIONS

1. ROOF WATER ONLY TO BE DRAINED TO THE RAINWATER RETENTION STORAGE TANKS AS REQUIRED BY THE OWNER
2. THE RAINWATER RETENTION STORAGE TANK NEEDS TO BE CONNECTED FOR RE-USE AS REQUIRED BY THE OWNER
3. RAINWATER RETENTION STORAGE TANK IS TO BE CONFIGURED IN ACCORDANCE WITH SYDNEY WATER SPECIFICATIONS' GUIDELINES FOR RAINWATER TANKS ON RESIDENTIAL PROPERTIES
4. PROVIDE MAINS 'TOP-UP' SUPPLY TO RAINWATER TANKS. MAINS TOP-UP ZONE IS TO BE BASED ON THE DAILY NON-POTABLE USAGE THAT MAY BE EXPECTED FROM THE TANK
5. PROVIDE A MECHANICAL PUMPING ARRANGEMENT IN SOUND, PROOF HOUSING TO PUMP SUPPLIES SUFFICIENT TO SUIT INTENDED USE OF RAINWATER STORAGE. PUMPING ARRANGEMENT MUST COMPLY WITH A EPA GUIDELINES
6. INLETS TO RAINWATER TANK MUST BE SCREENED TO PREVENT THE ENTRY OF FOREIGN PLANT, ANIMALS OR INSECTS
7. A SIGN MUST BE AFFIXED TO THE RAINWATER TANK CLEARLY STATING THAT THE TANK IS FOR RAINWATER TANK AND IS NOT TO BE USED FOR HUMAN CONSUMPTION
8. RAINWATER TANK TO BE PLACED ON A STRUCTURALLY ADEQUATE BASE IN ACCORDANCE WITH THE MANUFACTURER'S OR STRUCTURAL ENGINEER'S DETAILS
9. THE TANK MUST NOT BE INSTALLED OVER ANY MAINTENANCE STRUCTURE OR FITTING USED BY A PUBLIC AUTHORITY
10. RAINWATER TANK AND ASSOCIATED PUMPING WORKS TO BE INSTALLED AND CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN

OSD SYSTEM DESIGN DATA

SITE DATA

MODELLED SITE AREA = 860 sqm
DEVELOPED IMPERVIOUS AREA = 433 sqm
EXISTING GRASS FLOW LENGTH = 20m
EXISTING GRASS SLOPE = 10%

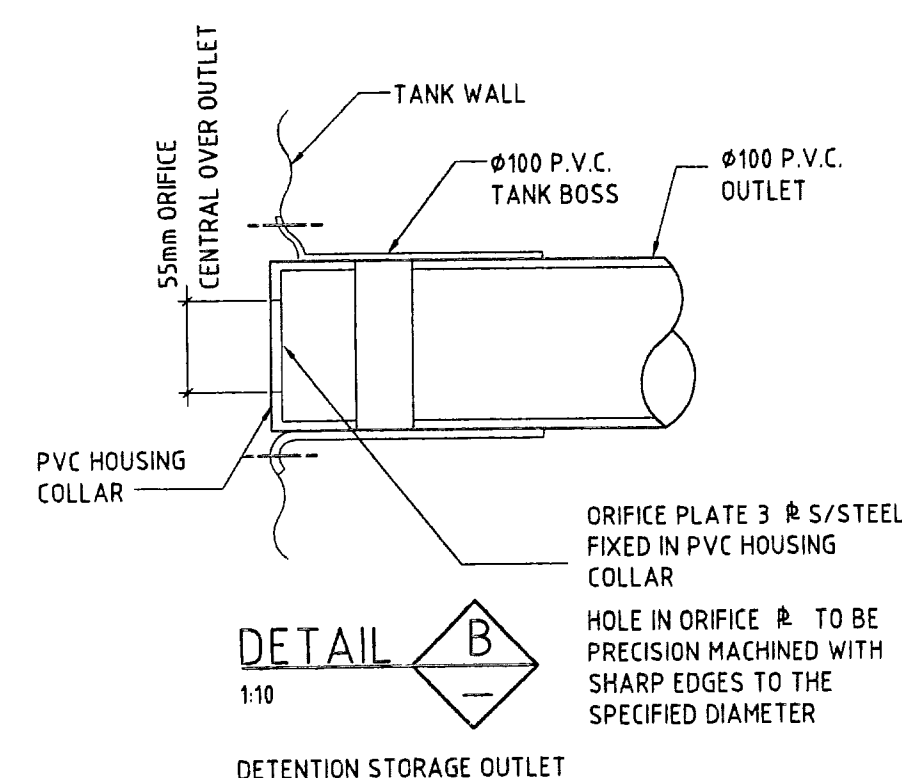
EXISTING SITE FLOWS



5 YR ARI = 27 l/s
100 YR ARI = 49 l/s

DEVELOPED SITE FLOWS
5 YR ARI = 26 l/s
100 YR ARI = 44 l/s

DETENTION SYSTEM DATA

AREA DRAINING TO THE TANK = 240sqm
ORIFICE DIAMETER = 55mm
SSR = 7.2cums

[illegible]

DATE	REVISION	BY	CHK	T. J. TAYLOR CONSULTANTS PTY LIMITED <i>Consulting Civil and Structural Engineers</i> <small>A.C.N. 002 200 004</small> 		
JAN 08	DRAINAGE AT REAR DELETED	DMS		22 Fisher Road, Dee Why, NSW 2099 Telephone: 9982 7092 Fax: 9982 5898 		
				STORMWATER MANAGEMENT PLAN 125 AVALON PARADE, AVALON.		
				DRAWN <i>DAMIAN</i>	CHECKED DMS <i>DESIGNER</i>	SCALE 1:100 1:120
				DRAWING No 33207-3/A		



T J TAYLOR CONSULTANTS PTY LIMITED

ABN 98 002 360 054

Consulting Civil and Structural Engineers

'Seascope', Suite 7, 22-26 Fisher Road, Dee Why, NSW 2099
Telephone: 9982 7092 Fax: 9982 5898 Email: taylor_consultants@tpg.com.au



The Association of
Consulting Engineers
Australia

22 January 2008
Our Ref: DJS:33207

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

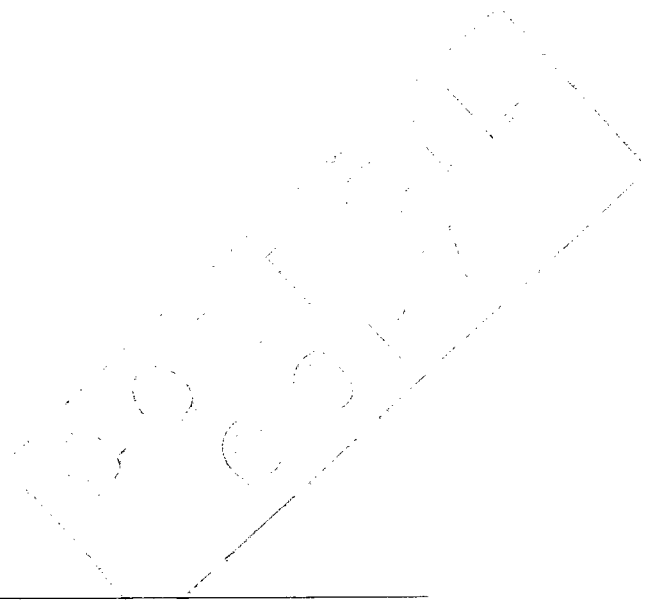
Re: New Residence – 125 Avalon Parade, Avalon

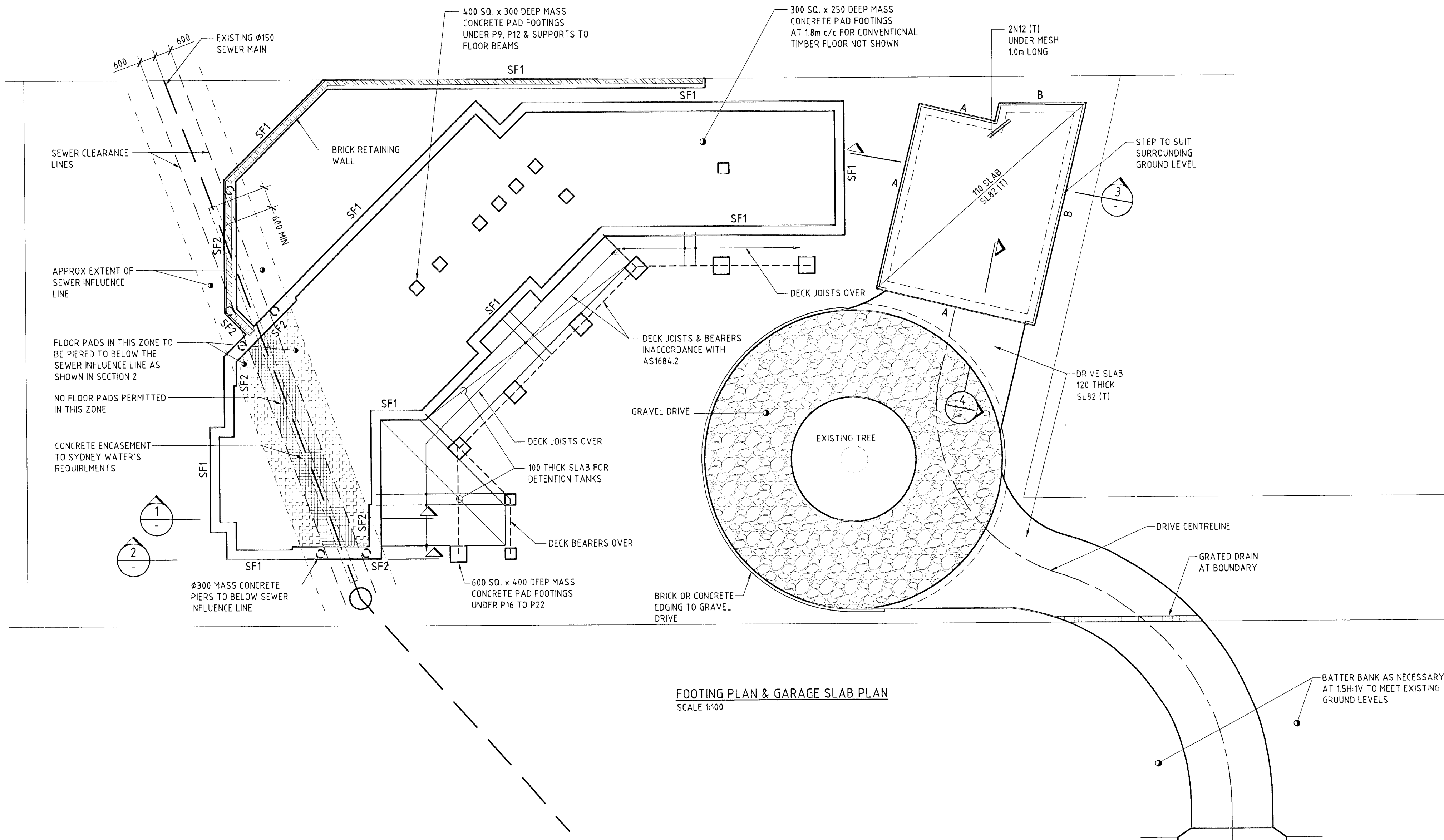
This is to certify that I have designed the access driveway as shown on the attached plans No 33207-1/A and 33207-2 in accordance with Pittwater Council's 21 DCP Control B6.1.

Yours faithfully
T J Taylor Consultants Pty Ltd

D J SQUIRE

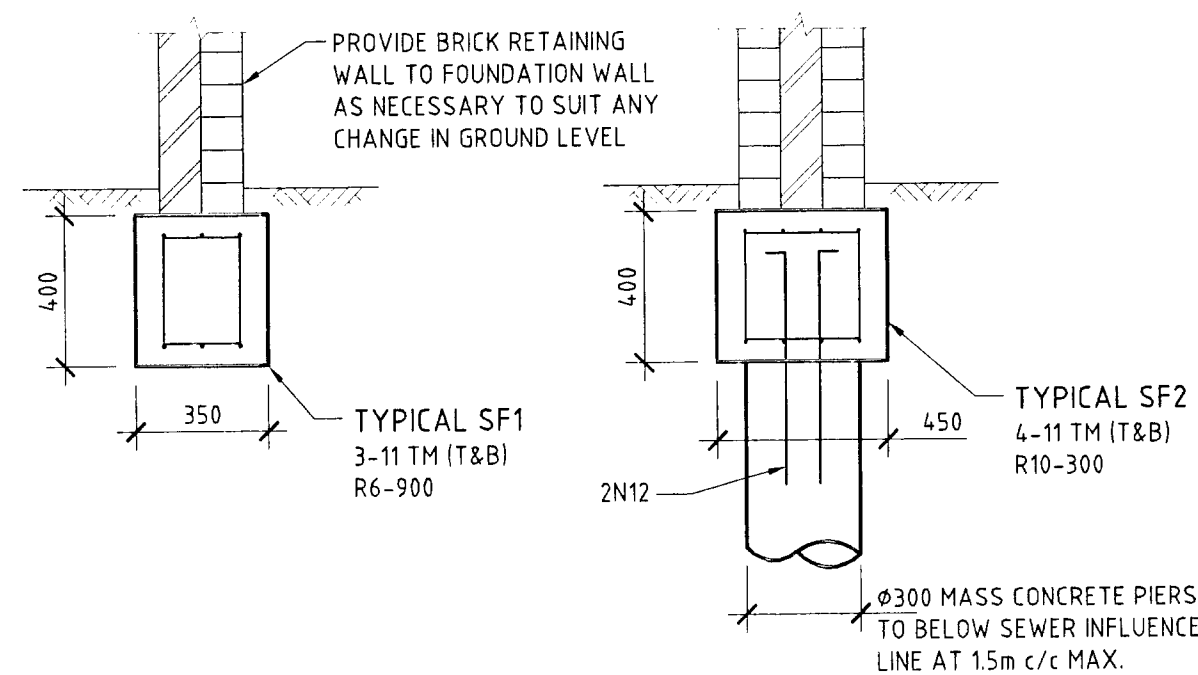
C08/33207 C01



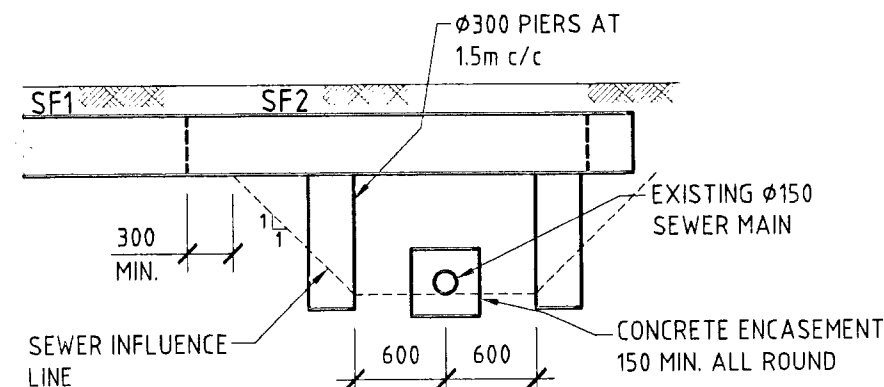


FOOTING PLAN & GARAGE SLAB PLAN
SCALE 1:100

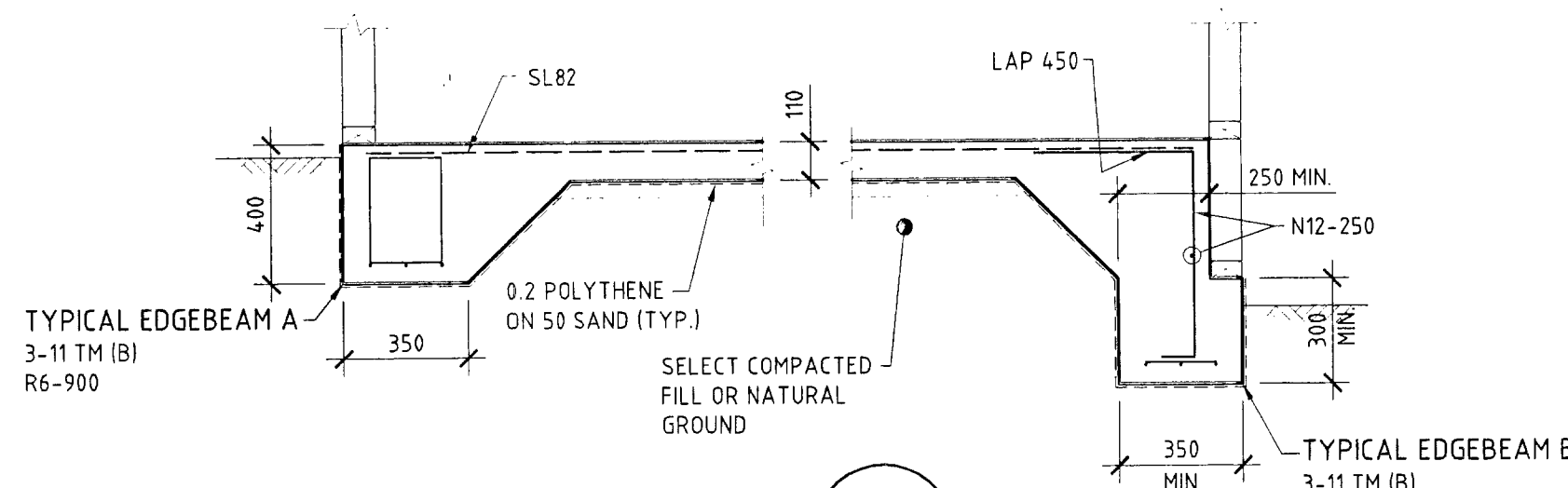
NOTE: ALL RETAINING WALLS & ASSOCIATED SUB-SURFACE DRAINAGE & BACKFILL MATERIAL TO BE LOCATED WHOLLY WITHIN THE BOUNDARIES OF THE SUBJECT ALLOTMENT.



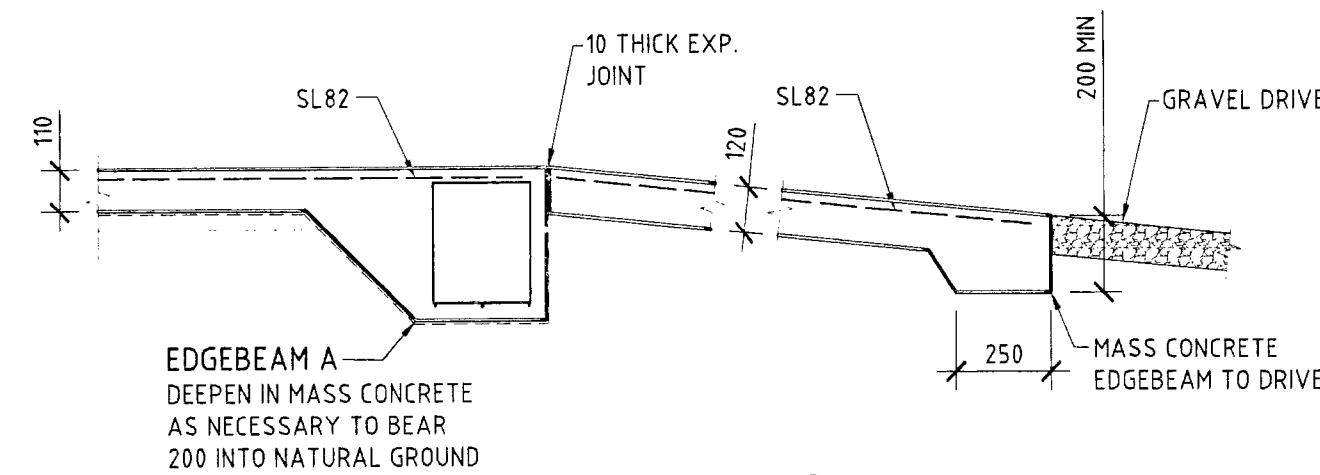
SECTION 1
SCALE 1:20



SECTION 2
SCALE 1:50



SECTION 3
SCALE 1:20



SECTION 4
SCALE 1:20

NOTE: SEE ATTACHED FLOOR SLAB SPECIFICATION.

CONSTRUCTION NOTES

- These drawings shall be read in conjunction with all architectural and other consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to the Supervising Officer for decision before proceeding with the work.
- Dimensions shall not be obtained by scaling the structural drawings.
- All dimensions shall be verified on site by the contractor who shall be responsible for their correctness.
- The contractor shall be responsible for maintaining the structure and neighbouring structures in a safe and stable condition during construction. He shall be over-stressed.
- All workmanship and materials shall be in accordance with the requirements of the current S.A. Codes and the By-Laws and Ordinances of the relevant Government Authority.

FOUNDATIONS

- Excavation shall be taken into FIRM NATURAL GROUND. The allowable bearing pressure on this material is assumed to be 150 kPa.
- Foundation material shall be approved immediately before placing concrete.

CONCRETE

- All workmanship and materials shall be in accordance with AS 3680, current edition with amendments.
- Concrete quality. All cement shall be Type A Normal Portland Cement.

Element	Slump mm	Max. Size Agg. mm	f _{cu} MPa	Special Requirements
FOOTINGS	80	20	20	-
GARAGE SLAB	80	20	25	-
DRIVE	80	20	25	-

- Strengths shall be verified by plant control testing.
- Clear concrete cover to reinforcement including ties and stirrups shall as follows unless shown otherwise:

Element	Exposure Classification		
	A1 Shored locations over 15m from salwater shoreline	B1 External locations within 15m of salwater shoreline	B2 External locations within 15m of salwater shoreline
Strip Footings	50	50	50
Columns and piers	20	40	40
Beams	20	40	40
Slabs and walls	20	40	40

Note: Hat slabs placed over a membrane on ground are included as A1.

- Reinforcement symbols:
N denotes Grade 500 deformed normal ductility bar to AS 4671.
R denotes Grade 250 plain round normal ductility bar to AS 4671.
SL denotes Grade 500 low ductility square welded mesh to AS 4671.
RL denotes Grade 500 low ductility rectangular welded mesh to AS 4671.
+ denotes direction of main bars of rectangular fabric (main bars down for bottom reinforcement, main bars up for top reinforcement).
□ denotes square fabric.
+ denotes extent of reinforcement.
- All unsupported bars shall be tied in the transverse direction to MESH unless otherwise noted.
- Reinforcement is shown diagrammatically and is not necessarily shown in the true projection.
- Splices in the reinforcement shall be made only in the positions shown. The written approval of the Supervising Officer shall be obtained for any other splices. Where the lap length is not shown it shall be sufficient to develop the full strength of the reinforcement.
- Welding of reinforcement will not be permitted unless shown on the structural drawings.
- Fabric lap detail:
Lap 2 wires.
Lap 2 wires.

- Slab reinforcement shall extend at least 45 onto masonry support walls unless shown otherwise.
- Cement sizes shown are minimum and no reductions by ducts, pipes, etc. shall be made without the approval of the Supervising Officer. Sizes do not include thickness of applied finishes.
- Beam depths are written first and do not include slab thickness.
- Pipes or conduits shall not be placed within the concrete cover to reinforcement without the approval of the Supervising Officer.
- No holes or chases other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Supervising Officer.
- Construction joints where not shown shall be located to the approval of the Supervising Officer.
- The contractor shall notify the Engineer 24 hours before pouring concrete.
- The concrete shall be compacted using high frequency vibrations.
- Columns, piers, and pedestals shall be placed 24 hours (min) before concrete in slabs or beams over.
- Curing of all concrete surfaces shall commence immediately after surfaces are finished as specified.

BRICK AND CONCRETE BLOCK MASONRY

- All workmanship and materials shall be in accordance with AS 3700.
- Two layers of approved metal based slip joint material shall be laid under all slabs where they bear on brickwork.
- Walls shown on structural drawings are load bearing walls. Non load bearing walls under slabs shall be separated from the concrete by a minimum of 10mm thick compressible material.
- No brickwork which is supported by the slab shall be erected until formwork has been removed.
- Brick mortar to be 1:1:5 proportions by volume of cement, lime and sand.
- Brick strength of load bearing brickwork to be a minimum of f_{cu} = 14 MPa.

REINFORCED CONCRETE BLOCK MASONRY

- All concrete masonry units shall conform to the requirements of AS 2733.
- The design strength of concrete masonry shall be:

Element	Strength Grade of Units	Mortar Mix Cement : Lime : Sand

- Workmanship involved in placing concrete units shall comply with AS 3700 and all units shall be fully bedded face shells and cross walls.
- Clean out holes shall be provided at the base of all reinforced cores.
- Unless noted otherwise the cores of all concrete masonry units shall be filled with concrete having a characteristic strength of 28 days f_{cu} of 20 MPa and a slump of 180mm to 220mm when being placed. The concrete filling shall be thoroughly compacted.
- No use of coarse aggregate in concrete used to fill cores shall be 15mm max shown otherwise.

STRUCTURAL STEELWORK

- All workmanship and materials shall be in accordance with AS 4700 and AS 1534 except where varied by the contract documents.
- Three (3) copies of all shop details shall be submitted to the engineer for approval of structural sufficiency before fabrication.
- All welds shall be 6mm continuous fillet, all bolts 20mm, all gusset plates 10mm thick, unless noted otherwise on the drawing.
- Concrete encased steelwork shall be wrapped with 3mm wire at 100mm centres and shall have a minimum 50 cover of concrete.
- Steel beams and trusses with span greater than 6m shall be fabricated with an average pretension of 1750 tons in each rope unless noted otherwise on the drawings.
- Structural steelwork is to be wire brushed to remove rust and loose mill scale and coated with one coat of approved primer unless noted otherwise on the drawings.
- All steelwork cast into brickwork is to be hot dipped galvanised.

TIMBER

- Timber construction is to be in accordance with AS 1710 and the Timber Framing Code AS 1684.
- Timber stress grade shall be F7 unless noted otherwise.

DATE	REVISION	BY	CHK
22/1/08	SEWER ENCASUREMENT REVISED	DJS	

T. J. TAYLOR CONSULTANTS PTY LIMITED
Consulting Civil and Structural Engineers
A.C.N. 060 360 054

22 Fisher Road, Dee Why, NSW 2099 Telephone: 9982 7092 Fax: 9982 5398

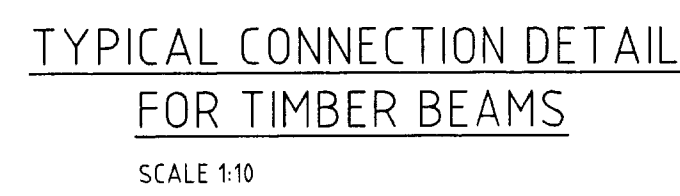
STRUCTURAL DETAILS - NEW RESIDENCE
125 AVALON PARADE, AVALON


DRAWN	CHECKED	SCALE	DRAWING No.
S BOND	22/1/08	1:100 1:20 1:50	33207-1/A



NOTES:

1. ALL EXPOSED STEEL MEMBERS, FITTINGS & FASTENERS TO BE HOT-DIP GALVANISED.
2. ALL EXPOSED TIMBER MEMBERS TO BE PRESERVATIVE TREATED TO H3 LEVEL OR HARDWOOD, DURABILITY GRADE 2 OR BETTER.
3. PROVIDE BRACING & ROOF TIE-DOWN IN ACCORDANCE WITH AS1684.2-2006 RESIDENTIAL TIMBER FRAMED CONSTRUCTION.



DATE	REVISION	BY	CHK	T. J. TAYLOR CONSULTANTS PTY LIMITED <i>Consulting Civil and Structural Engineers</i> <small>A.C.N. 003 360 034</small>				 <small>The Association of Professional Engineers Australia</small>	
				22 Fisher Road, Dee Why, NSW 2099 Telephone: 9982 7092 Fax: 9982 5898					
				STRUCTURAL DETAILS - NEW RESIDENCE 125 AVALON PARADE, AVALON					
				DRAWN S BOND JANUARY 2008	CHECKED <i>W. T. TAYLOR</i> 22/1/08	SCALE 1:300 1:10	DRAWING No. 33207-2		


-----AH DESIGN-----
Anna Henry * 22 Wandeen Road * Clareville NSW 2107
PH: 9918 5790

Clareville 22nd of January 2008

Dear Madam/Sir,

This letter is to confirm that the architectural drawings prepared by AH DESIGN, for the property located at 125 Avalon Parade, Avalon NSW 2107, are consistent with the Basix Certificate 17773OS.

Yours truly,


Anna Henry.

COPIED

- Building to incorporate BASIX commitments to comply with the attached BASIX Certificate No. 177 710 dated 21/11/07
- Smoke Alarms to be installed in accordance with AS 3786-1993 'Smoke alarms'
- Termite Management to comply with AS 3660 - 2000 'Termite Management - New Building Work'
- Glazing to comply with AS 1288 - 2006 'Glass in Buildings - Selection & Installation' and AS 2047 - 1999 'Windows in Buildings - Selection & Installation'
- Waterproofing of wet areas to comply with AS 3740 - 2004 'Waterproofing of Wet Areas in Residential Buildings'
- Doors to fully enclosed sanitary compartments to comply with Part 3.8.3 'Facilities' of the Building Code of Australia
- External Glazing & Cladding being of minimal reflectance (maximum of 20%)
- External Finishes being in natural, recessive, non-reflective colours and textures
- Balustrades construction to comply with Part 3.9.2.3 - 'Balustrades' of the Building Code of Australia
- Damp-proof membrane must be 'high impact', 0.2mm thick polyethylene film

first floor plan

1:100

RIDGE R.L. 30.17
TOP PLATE R.L. 27.80
F.F.L. R.L. 25.55
F.C.L. R.L. 25.25
F.F.L. R.L. 22.25
F.F.L. R.L. 21.91

section A-A

1:100

section B-B

1:100

section C-C

1:100

ALLOWABLE SITE COVERAGE 40% + 6% LANDSCAPING

SITE CALCULATIONS

SITE AREA	971.00 SQ. M
PROPOSED:	
FLOOR AREA	162.60 SQ. M
DECK AREA	49.85 SQ. M*
GARAGE & WORKSHOP AREA	45.30 SQ. M
DRIVEWAY AREA	112.02 SQ. M
COURTYARD AREA	40.97 SQ. M*
ENTRY STAIR AREA	5.41 SQ. M*
TOTAL BUILT UPON AREA	416.15 SQ. M
	37% + 6%
CARPARKING	2 CARS

* INCLUDED IN THE 6% LANDSCAPED AREA (D1.14)

- NOTES
1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB. ANY DISCREPANCIES MUST BE RESOLVED PRIOR TO COMMENCEMENT OF WORK.
 2. ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
 3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY SEWER MAINS OR EASEMENTS OR ANY OTHER CONDITIONS WHICH WILL AFFECT THE BUILDING DESIGN.
 4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
 5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE (S1684).
 6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
 7. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
 8. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
 9. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
 10. ALL ELECTRICAL, POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
 11. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
 12. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

BASIX: THE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE CORRECT BASIX CERTIFICATE (A COPY IS ATTACHED). ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REPORT.

- NOTES:
- *TIMBER FRAMED DOORS & WINDOWS WITH SINGLE CLEAR GLASS, U-VALUE 5.71 - SEE BASIX
 - *ALL DOORS & WINDOWS TO HAVE WEATHER STRIPPING
 - *ALL TAPS & FIXTURES FITTINGS TO BE MIN. RATING OF 3 STARS
 - *HOTWATER TO BE GAS INSTANT, 3 STARS OR MORE
 - *RAINWATER TANKS OF AT LEAST 5000L TO BE INSTALLED COLLECTING RAIN RUNOFF FROM MINIMUM 180sq.m. OF ROOF.
 - *AT LEAST ONE OUTDOOR TAP AND ALL CLOTHES WASHER IN THE DEVELOPMENT TO BE CONNECTED TO THE RAINWATER TANK.
 - *A MINIMUM OF 100sq.m OF INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT THE SITE.

A	17/1/08	carport & impervious area removed - to comply with condition 89
-	16/11/07	issue to client for council approval
mark	date	amendments.

project.

A new residence for
Mr. & Mrs. WILLESEE
at 125 Avalon Parade, AVALON NSW 2107

drawing title.

**WORKING DRAWINGS-
Site- & floor plans, sections**

scale.

1:100

date.

NOV. 2007

Draftsman.

ANNA HENRY
AH DESIGN
22 WANDEEN ROAD, CLAREVILLE NSW 2107
T. 02 9918 5790
E. ahdesign@gmail.com

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project no.

A-704

sheet no.

1

of

3

amendments.

A

CONSULTANT

10/06/07

DATE 21.12.07

CONSULTANT

2008/2501

CONSTRUCTION

CERTIFICATE PLANS

1. February 2008

2. condition No. GPD 0342

GUNJULLA PLACE

2000 1000 0
1500 500
MILLIMETRES
SCALE 1:100



project,
A new residence
for
Mr. & Mrs. WILLESEE
at 125 Avalon Parade, AVALON NSW 2107

drawing title,

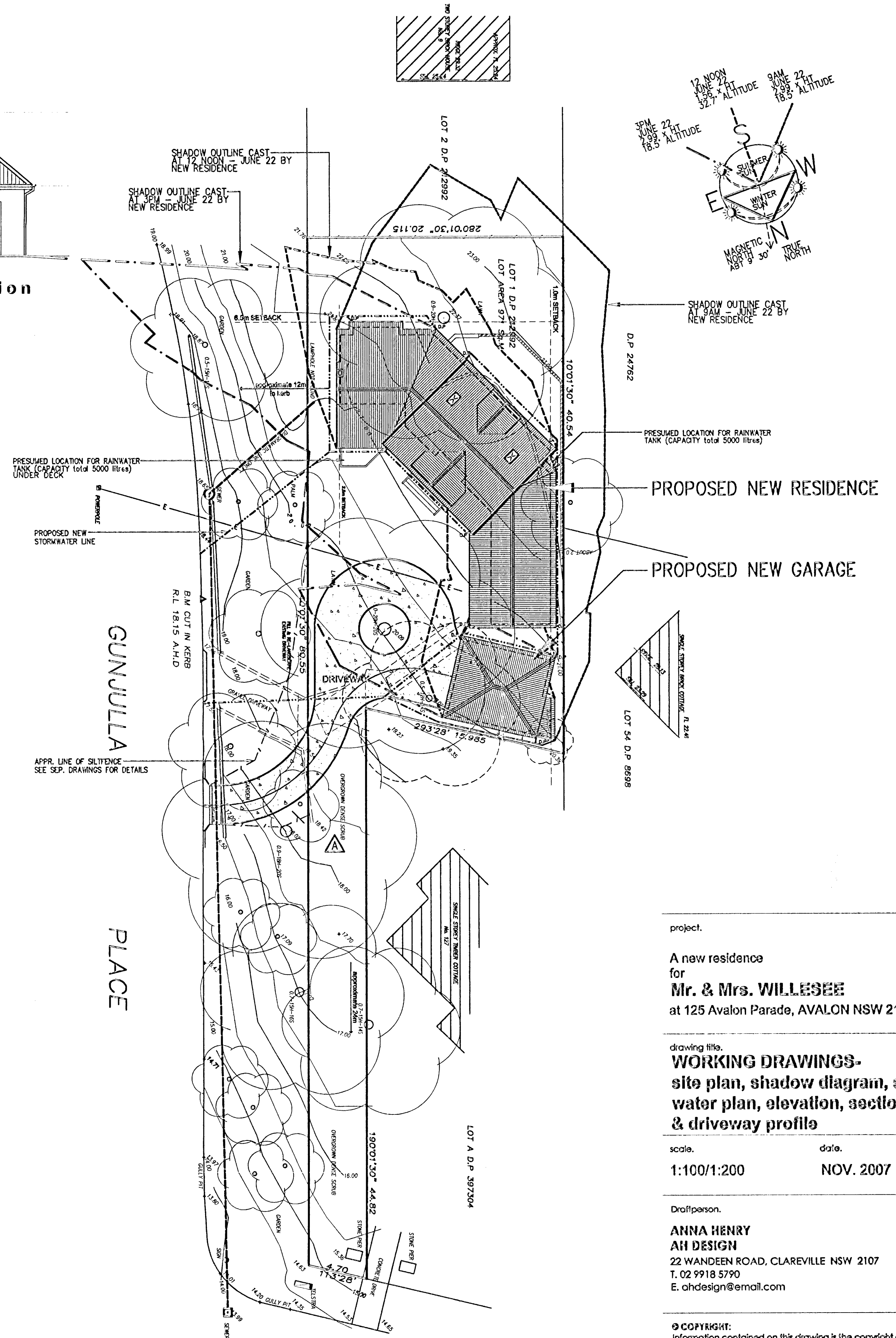
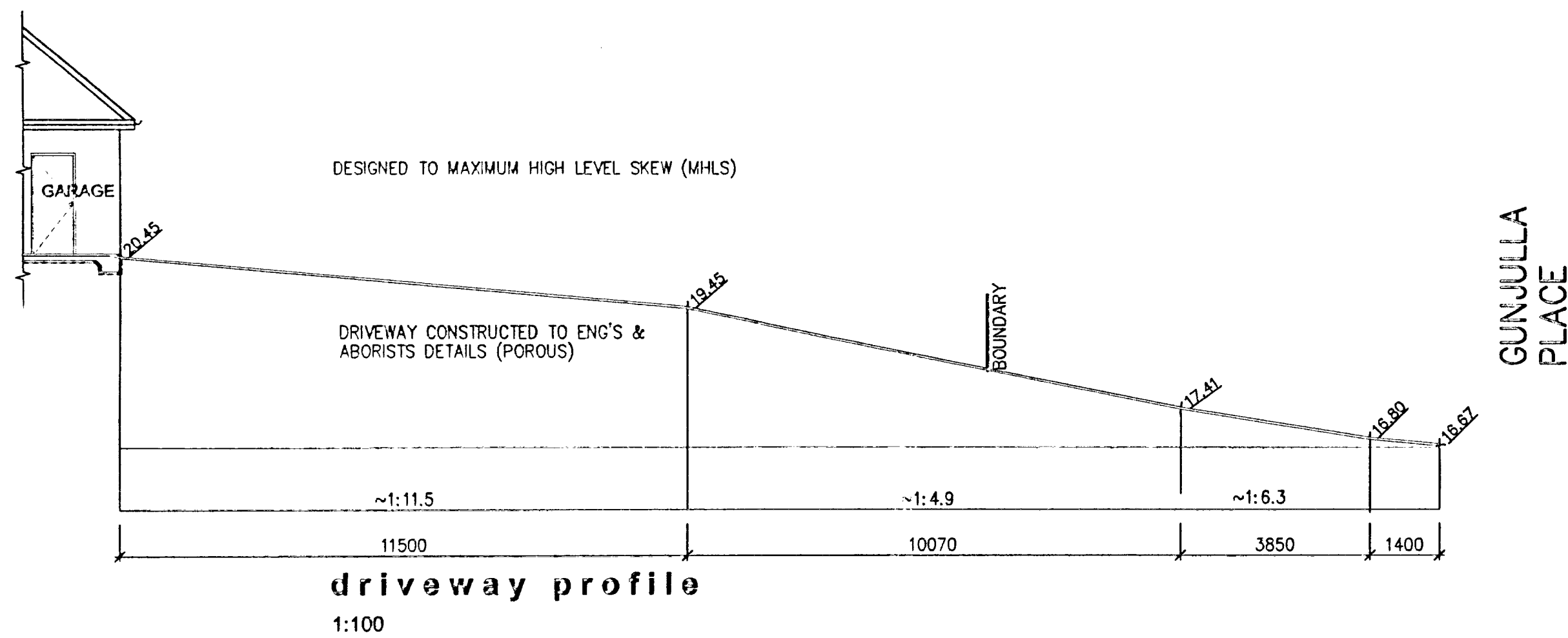
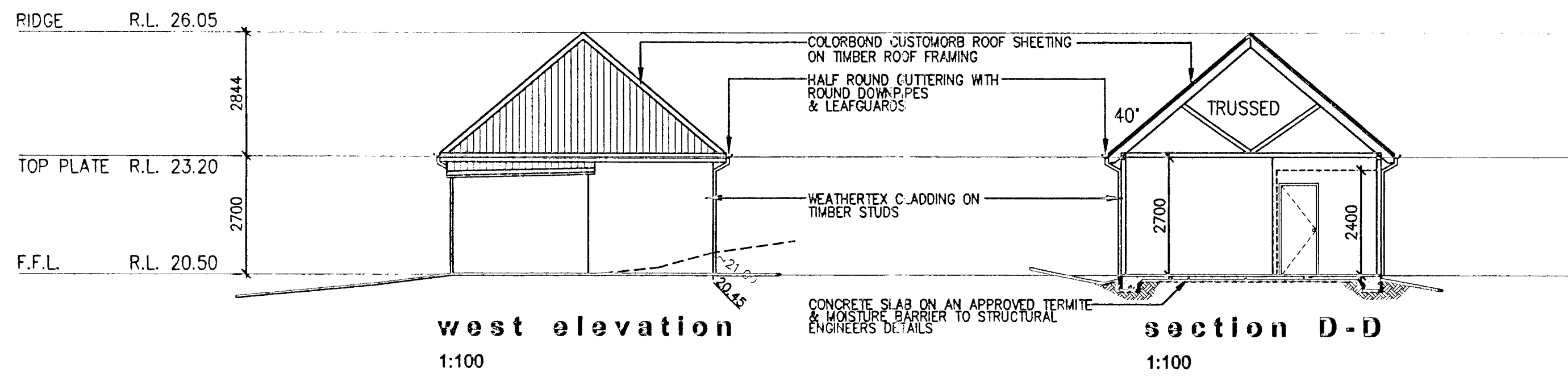
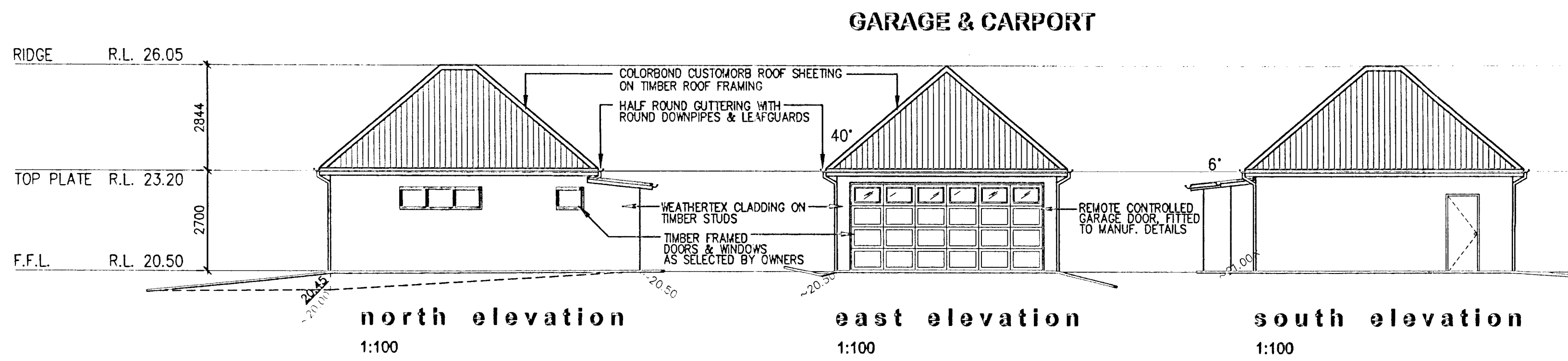
**WORKING DRAWINGS-
Elevations**

scale, date,
1:100 NOV. 2007

Draftperson,
**ANNA HENRY
AH DESIGN**
22 WANDEEN ROAD, CLAREVILLE NSW 2107
T. 02 9918 5790
E. ahdesign@email.com

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project no. sheet no. of
A-704 2 3
amendments.



site plan with
shadow diagrams - June 22
& stormwater plan
1:200

AVALON PARADE

project.
A new residence
for
Mr. & Mrs. WILLESEE
at 125 Avalon Parade, AVALON NSW 2107

drawing title.
WORKING DRAWINGS-
site plan, shadow diagram, storm-
water plan, elevation, section
& driveway profile

scale. date.
1:100/1:200 NOV. 2007

Draft person.
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AH DESIGN
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project no. sheet no. of
A-704 **3** **3**
amendment. **A**



APPLICATION FOR A CONSTRUCTION CERTIFICATE

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible

Mr ☒ Mrs ☒ Ms ☐ Dr ☐ Other

Given Names (or ACN) Terry & Melissa Family Name (or Company) Willesee

Postal Address (we will post all mail to this address)
125 Avalon Parade
Avalon NSW Post Code 2107

Daytime telephone 9918-0123 Alternate no 041-448 9731 Mobile no

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company, the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s) Terry J & Melissa L Willesee
Address
125 Avalon Parade
Avalon NSW 2107

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

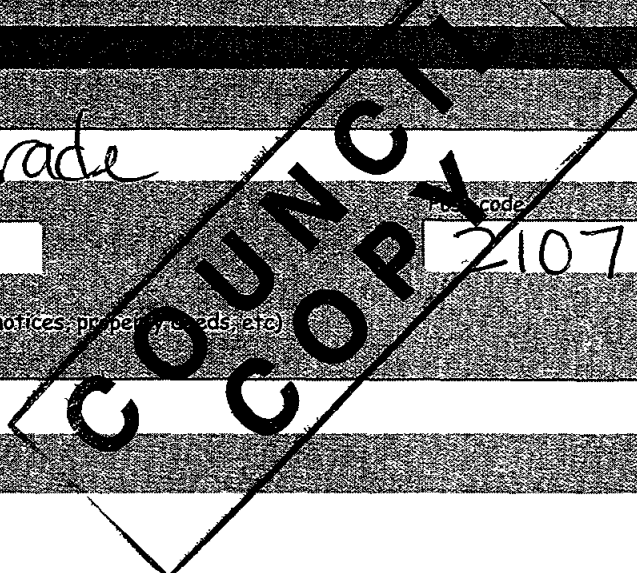
Signature(s)
T. Willesee M. Willesee

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg. power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no. 125 Street name Avalon Parade
Suburb Avalon NSW Post code 2107

Legal Property Description (these details are shown on your rate notices, property records, etc)
Lot no 1 DP no 212992



4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

Demolition of existing dwelling
& construction of a one & two
storey dwelling, driveway,
and detached garage

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review.

Estimated cost of work: \$400,000 -

6. Development Consent

Council Consent no.

NO680/07

Date of Determination

21/12/2007

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification

1a & 10a

8. Builder's details

It is known to be completed in the case of residential building work

Name

Terry J Willesee

License no.



Owner/builder permit no.

351856P

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is, to the best of my knowledge, true and correct.

Signature

T. Willesee

Date

29-1-08

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25 000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non-profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be addressed to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)? 971 Sq M	Gross floor area of building (m ²) as proposed 280.00 m²
What are the current uses of all or parts of the building(s)/land? residential	Location 125 Avalon Parade Avalon Use Residential
Does the site contain a dual occupancy? no	What is the gross floor area of the proposed addition or new building (sq metres)? 46m²
What are the proposed uses of all parts of the building(s) land? residential home	Number of pre-existing dwellings 1
Number of dwellings to be demolished 1 (8 carport)	How many dwellings proposed? 1
How many storeys will the building consist of? one & two storey	Will the new building be attached to the existing building? NO Will the new building be attached to any new building?

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics

Place a tick (✓) in the box which best describes the materials the new work will be constructed of

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	<input type="checkbox"/>	Concrete	<input type="checkbox"/>	Aluminium	<input type="checkbox"/>	Timber	<input checked="" type="checkbox"/>
Full brick	<input type="checkbox"/>	Timber	<input checked="" type="checkbox"/>	Concrete		Steel	<input type="checkbox"/>
Single brick	<input type="checkbox"/>	Other	<input type="checkbox"/>	Concrete tile	<input type="checkbox"/>	Other	<input type="checkbox"/>
Concrete block	<input type="checkbox"/>	Unknown	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Concrete/masonry	<input type="checkbox"/>			Fibreglass	<input type="checkbox"/>		
Concrete	<input type="checkbox"/>			Masonry/terracotta shingle	<input type="checkbox"/>		
Steel	<input type="checkbox"/>			Tiles	<input type="checkbox"/>		
Fibrous cement	<input type="checkbox"/>			Slate	<input type="checkbox"/>		
Hardiplank	<input type="checkbox"/>			Steel	<input checked="" type="checkbox"/>		
Timber/weatherboard	<input checked="" type="checkbox"/>			Terracotta tile	<input type="checkbox"/>		
Cladding aluminium	<input type="checkbox"/>			Other	<input type="checkbox"/>		
Curtain glass	<input type="checkbox"/>			Unknown	<input type="checkbox"/>		
Other	<input type="checkbox"/>						
Unknown	<input type="checkbox"/>						

SUBMISSION REQUIREMENTS

A GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes [X] No []

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes [X] No []

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION

B ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable	In the case of an application for a Construction Certificate for building work
[X]	[]	[]	Three (3) copies of detailed architectural plans and specifications
[X]	[]	[]	The plan for the building must consist of a general plan drawn to a scale not less than 1 100 and a site plan drawn to a scale not less than 1 200 The general plan of the building is to a) show a plan of each floor section b) show a plan of each elevation of the building c) show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground d) indicate the height design and full construction details e) indicate the provision for fire safety and fire resistance (if any)
[X]	[]	[]	Where the proposed building work involves any alteration or addition to or rebuilding of an existing building all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration addition or rebuilding with a separate letter listing the proposed changes being submitted
[X]	[]	[]	3 copies of a specification a) to describe the construction and materials of which the building is to be built and the method of drainage sewerage and water supply b) state whether the materials proposed to be used are new or second hand and give particular
[]	[]	[X]	Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification
[]	[]	[X]	If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent has the original Development Consent been modified by Council?
[]	[]	[X]	Except in the case of an application for or in respect of domestic building work a) a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated and b) if the application relates to a proposal to carry out any alteration or rebuilding of or addition to an existing building a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated This list must specify the standard of design of each of those fire safety measures to which they were originally installed c) This list must describe the extent capability and basis of design of each of the measures concerned
[X]	[]	[]	Copy of BASIX Certificate & Report
[X]	[]	[]	All other documentation to satisfy conditions of Development Consent

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12 000 require insurance as specified in the Home Building Act 1989

Owner Builders require Property Owner Builder s Permit issued by the Department of Fair Trading for all projects over \$5 000 In addition to this permit all projects valued in excess of \$12 000 may also require a contract of insurance under the provisions of the Home Building At 1989 as amended This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years

Enquires on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21 Astra House 227 Elizabeth Street Sydney (ph 133220)



Pittwater Council
ABN 61340837871

TAX INVOICE OFFICIAL RECEIPT

16/01/2008 Receipt No 232153

To TERRY & MELISSA WILLESEE

125 AVALON PARADE
AVALON NSW 2107

TAX INVOICE OFFICIAL RECEIPT

15/01/2008 Receipt No 232047

To MELISSA WILLESEE

Qty/ Applic	Reference	Amount
	ESTR-Eng Strt	\$71 00
GL Receipt	@ 125 AVALON PARADE	
1	CCGST-CCard +	\$0 65
GL Receipt 1		
	GST	\$0 06
GL Receipt		
To GL Receipt		

Total Amount: \$71 71
Includes GST of \$0 06

Amounts Tendered

Db/Cr Card	\$71 71
Total	\$71 71
Rounding	\$0 00
Change	\$0 00
Nett	\$71 71

Printed 16/01/2008 4 21 44 PM

Cashier PTasker

Qty/ Applic	Reference	Amount
	QLSL-Builders	\$1 400 00
GL Receipt	1 X M0680/07	
	ESTR-Eng Strt	\$142 00
GL Receipt	1 X SECTION 139 M0680/07	
1	CCGST-CCard +	\$14 02
GL Receipt 1		
	GST	\$1 40
GL Receipt		
To GL Receipt		

Total Amount: \$1,557 42
Includes GST of \$1 40

Amounts Tendered

Db/Cr Card	\$1 557 42
Total	\$1 557 42
Rounding	\$0 00
Change	\$0 00
Nett	\$1,557 42

Printed 15/01/2008 10 31 48 AM

Cashier Award

139 Roads
Long Serv

COUNCIL
COPY



LICENCE

DEMOLITION RESTRICTED

Issued under the Occupational Health and Safety
(Demolition Licensing) Regulation 2001

This licence is not transferable

This licence or a copy thereof must be displayed
at any place of work at which the holder carries on the business
of demolition work as defined by the Regulation.

Licence Number 204443DEZ
Period of Licence
From 09 March 2006
To 09 March 2008
Contractor Name CITY CIVIL PTY LTD
A.C.N. 118 275 344
Address P O BOX 17
TOONGABEE NSW 2146

- This licence is restricted to prevent the holder engaging in the following processes
- Chemical installations
 - Work above 15 metres in height
 - Use of a Tower Crane on site
 - Use of a Mobile Crane with a SWL greater than 100 tonne
 - Demolition of pre or post-tensioned structures
 - Floor propping
 - Use of explosives

WorkCover Watching out for you

of demolition work as defined by the Regulation.

Licence Number 204443DE2
Period of Licence
From 09 March 2006
To 09 March 2008
Contractor Name CITY CIVIL PTY LTD
ACN 118275344
Address PO BOX 17
TOONGABEE NSW 2146

City
Civil

- This licence is restricted to prevent the holder engaging in the following processes
- Chemical installations
 - Work above 15 metres in height
 - Use of a Tower Crane on site
 - Use of a Mobile Crane with a SWL greater than 100 tonne
 - Demolition of pre or post-tensioned structures
 - Floorpropping
 - Use of explosives

WorkCover Watching out for you

Part of price
includes issuing
a Site Clearance
Certificate for
Council

Hazardous Material Notification

- The property of Mr. Terry Willesee at 125 Avalon Pde Avalon NSW, has been inspected prior to Demolition.
- Fibro (bonded asbestos) has been identified on the property. In the roof sheeting, eaves and wet areas. Removal of this material will be in accordance with WorkCover & OH&S Regulations and the Work Method Statement submitted to Council with the Demolition DA.
- The site will be left completely clear of all asbestos and lead paint.
- **Peter Bakhos, City Civil Demolition & Excavation Pty. Ltd.**
- 0425 314 880
- Demolition Licence : 204443 DE2

OH&S # 15594 NSW

**CITY
COUNCIL
COPY**

City Civil Pty Ltd
PO Box 17
Toongabbie NSW 2146
SP# (02) 9896 6683 Fax (02) 9896 6389

OHS&R SITE SAFETY PLAN

SAFE WORK METHOD STATEMENT (Part 1)

Scope of Work Demolition

This statement provides a general appraisal on the methods, which City Civil Pty proposes to adopt to carry out the scope of work The methods adopted take into consideration the general requirements of the NSW WorkCover Regulation 2001 and Australian Standard 2601 (Demolition of Structures)

Minimum Safety Requirements Induction, hardhat, high visibility vest, steel cap boots
Primary Documentation Requirements Green Card, relevant tickets and licenses

Work carried out by City Civil Pty Ltd PO Box 17 Toongabbie NSW 2146 Tel (02) 9896 6683 Fax (02) 9896 6389	Work carried out for Terry & Melissa Willesee	Site Address 125 Avalon Pde Avalon	Prepared by P Bakhos Date 17/1/2008 Accepted Yes / No Signed off Attachment - Demolition license and green cards
---	--	---	---

DEMOLITION PARTICULARS Safe Work Method Statement (Part 1a)

Description of Structure	Dimensions
<ul style="list-style-type: none">- Overall Description Bulk demolition- Occupation Class Residential- Structural Support System Composite of concrete, brick, Timber- Roof Construction Tile and timber roof- Principal Construction Materials tile roof, brick walls, concrete floor, timber floor, structure	<ul style="list-style-type: none">- Least Distance to Boundary- Front 6m- Rear 6m- Left 5m- Right 4m- Overall Height 10meter

Sequence of Demolition <ul style="list-style-type: none"> - Remove asbestos and hazardous material to report - Remove windows and fixings - Remove tile roof - Remove ceiling - Dismantle timber trusses - Remove brick cladding - Remove timber floor - Remove brick walls - Remove concrete slab - Load trucks and clear area 	Demolition Method <ul style="list-style-type: none"> -By hand -By hand -By hand -By hand -By hand and Excavator -By hand and excavator -By hand and excavator -By excavator -By excavator -By Excavator 	Disposal of Hazardous Materials <ul style="list-style-type: none"> - Hazardous building components containing asbestos if there is any will be removed and disposed of in accordance with current regulations and practice using a licensed asbestos removal personnel Please note that the particulars above comply with the safety requirements and conditions of AS 2601 in relation to the demolition of structures
	Separation and Disposal of Demolition Materials <p>To meet the requirements of the Waste Minimisation Act the following materials will be sorted into waste streams and disposed of as follows</p>	

WORK METHOD Safe Work Method Statement (Part 1b)				
1	Establish Pedestrian and Traffic Controls <ul style="list-style-type: none"> - Establish traffic and pedestrian controls as per approval and to Authority requirements 	Possible Hazards <ul style="list-style-type: none"> - run over by vehicles while placing controls 	Risk Score <p>1 - 2</p>	Safety Controls <ul style="list-style-type: none"> - place controls carefully - wear high visibility vest - look out ways before learning out into on ng traffic to place safety controls - use common sense - all traffic and pedestrian controls in place before work starts
2	Remove Hazardous Materials <ul style="list-style-type: none"> - Use ladders and/or mobile tower to access work area - Remove asbestos and other 	Possible Hazards <ul style="list-style-type: none"> - Lung cancer from breathing asbestos fibers - timber structure collapse - falling objects 	Risk Score <p>1 - 2</p>	Safety Controls <ul style="list-style-type: none"> - isolate work area from pedestrian traffic - ensure signage warning of danger is in place - ensure no unauthorized person can walk into work area

	- hazardous materials to all the buildings follow the hazardous report - all sheets will be removed by hand and passed to floor below - All asbestos sheets will be wrapped in plastic according requirement and loaded in to truck with aid of excavator - Use safety harness - Hazardous materials to be loaded out to secure landfill	- Skin and/or respiratory from animal droppings in dust - Sharp objects - Tip dockests Dust Heavy wind		- wear respiratory protection mask and PPE as required - stay clear of canopy underside when work in progress - harness to secure point on structure - work only in daylight hours - wear appropriate safety gear - Ensure tip dockests are collected regularly and handed to the supervisor - Dust will be controlled with spraying water to the roof areas to be removed When there is heavy wind not carryout any work from roof - Anchor for harness will be placed on ridge of the roof Ensure tip dockests are checked and collected for submission
3	Remove Metal Roofing Use ladder to access roof Remove from roof materials with hand tools - Hand materials down to other person on ground - Stockpile inside site boundaries	Possible Hazards - Canopy structure collapse - Falling objects Skin and/or respiratory irritation from animal dropping in dust - Fall from height - Sharp objects - Access	Risk Score 1 - 2	Safety Controls - isolate work area from pedestrian traffic - ensure signage warning of danger is in place - ensure no unauthorized person can walk into work area - stay clear of remaining canopy underside when work in progress - harness to secure point on canopy structure - work only in daylight hours - work in off peak periods when possible wear appropriate safety gear - Access to roof will be through the ceiling area once the ceiling is removed
4	Remove Fascia Panels - Use ladder or mobile tower to access panels Remove by oxy cutting attached fascia panels and remove by hand after cutting into manageable sections - Hand materials down to other person on ground Stockpile inside site boundaries	Possible Hazards - Canopy structure collapse - Falling objects Skin and/or respiratory irritation from animal dropping in dust Fall from height Sharp objects - Fumes from oxy cutting Flash from oxy cutting	Risk Score 1 - 2	Safety Controls isolate work area from pedestrian traffic ensure signage warning of danger is in place ensure no unauthorized person can walk into work area - stay clear of remaining canopy underside when work in progress harness to secure point on canopy structure - work only in daylight hours - work in off peak periods when possible wear appropriate eye protection
5	Remove ceiling - Use scissor lift and mobile tower to access Obtain Engineers certificate for scissor lift or aluminum tower to be used on the factory building first floor	Possible Hazards - timber structure collapse - falling objects Skin and/or respiratory from animal droppings in dust - Sharp objects - Floor collapse - Floor openings	Risk Score 1 - 2	Safety Controls - isolate work area from pedestrian traffic - ensure signage warning of danger is in place - ensure no unauthorized person can walk into work area - stay clear of canopy underside when work in progress - work only in daylight hours - wear appropriate safety gear Ensure the plant used is adequate for the floor - Ensure all the openings are barricaded and identified

6	Remove frame <ul style="list-style-type: none"> - Use ladder or scissor lift to access panels - Remove by oxy cutting attaché steel - Frames will removed with of an excavator 	Possible Hazards <ul style="list-style-type: none"> Remainng frame structure collapse - Falling objects - Fall from height - Sharp objects - Fumes from oxy cutting - Flesh from oxy cutting - Heavy lifting 	Risk Score 1 - 2	Safety Controls <ul style="list-style-type: none"> - isolate work area from pedestrian traffic ensure signage warning of danger is in place ensure no unauthorized person can walk into work area stay clear of remainng frame underside when work in progress harness to secure point on remainng frame structure - work only in daylight hours - work in of peak periods when possible wear appropriate eye protection - Ensure the lifting is checked for weights and safe for to use appropriate excavator

7	Remove brick cladding <p>Brick cladding will be removed on to the ground floor with aid of an excavator and stock piled foe minimize the waste management</p>	Possible Hazards <ul style="list-style-type: none"> Remainng structure collapse - Falling objects - Fall from height - Sharp objects - Dust - Pedestrians and foot path protection 	Risk Score 1 - 2	Safety Controls <ul style="list-style-type: none"> - isolate work area from pedestrian traffic - ensure signage warning of danger is in place - ensure no unauthorized person can walk into work area stay clear of remainng frame underside when work in progress harness to secure point on remainng frame structure - work only in daylight hours - work in of peak periods when possible wear appropriate eye protection Foot path will controlled by spotter with partially closing with cones and signs work will be coordinated with workers to access the pedestrians
8	Removal of timber floor <p>Timber floors will be removed by hand and excavator</p>	Possible Hazards <ul style="list-style-type: none"> Remainng frame structure collapse Falling objects - Fall from height - Sharp objects timber structure collapse falling objects Skin and/or respiratory from animal droppings in dust - Sharp objects Floor collapse Floor openings 	Risk Score 1 2	Safety control <ul style="list-style-type: none"> ensure signage warning of danger is in place - ensure no unauthorized person can walk into work area stay clear of remainng frame underside when work in progress harness to secure point on remainng frame structure work only in daylight hours - stay clear of canopy underside when work in progress - wear appropriate safety gear -Ensure the plant used is adequate for the floor -Ensure all the openings are barricaded and identified
9	Remove brick walls <p>Removal of internal brick walls will be removed by an excavator</p>	Possible Hazards <ul style="list-style-type: none"> Remainng frame structure collapse Falling objects - Fall from height - Sharp objects 	Risk Score 1 2	Safety control <ul style="list-style-type: none"> ensure signage warning of danger is in place ensure no unauthorized person can walk into work area stay clear of remainng frame underside when work in progress harness to secure point on remainng wall - work only in daylight hours

10	Removal of concrete slab Slab will be removed with excavator	Possible Hazards Remaining slab collapse Falling objects - Fall from height - Sharp objects - falling objects Skin and/or respiratory from animal droppings in dust	1-2	Safety control ensure signage warning of danger is in place - ensure no unauthorized person can walk into work area - stay clear of remaining slab underside when work in progress work only in daylight hours - wear appropriate safety gear - Ensure all the openings are barricaded and identified
11	Removal of footings	Possible Hazards - Existing services Dust	1-2	Safety Control Ensure all the services are checked and signed off by the supervisor high light the area for the sewer line Ensure uninterrupted water used to minimize the dust
12	Loading material Loading material in to the Trucks	Possible Hazards Adequate space Pedestrians Vehicles Falling objects Dust overloading	1-2	Safety control Ensure the area is safe for loading the material Ensure the spotter controls and keep the access clear for the pedestrians Ensure no loading while vehicles closer to the skip Ensure no objects fall from the bucket of the excavator and ensure fallen objects cleared safely Ensure hose with water to minimize the dust Ensure the loading carried out to the skips load limit
13	Cleaning the area Drive ways, concrete slab area will be washed dawn with aid of hose and broom	Possible Hazards Dust Falling objects sharp objects	1-2	- Ensure water sprayed to minimize the dust Ensure the area is isolated and only authorized personal entry Ensure wear proper PPE

KEY PERSONNEL Safe Work Method Statement (Part 2)								
Item	Name	Role	Company	Personal Duties and Responsibilities	Green Card	Ticket/License	C BUS	ACIRT
1	Charlie Bakhos	Supervisor	City Civil	Ensure all plant, equipment and personnel required to complete the project to specifications provided		Demolition class 1		
2	P Bakhos	Project Manager	City Civil	All aspects to the project and client liason				
3								

Hours of operation	
Mon to Friday 7 00Am to 5 00pM	
Saturday CLOSED	
Completion	

Subcontractor			
Item	Company Name	Service Provided	Ticket/Licence/Other
1	TBA		License No
2			License No
3			License No
4			Li cense No

EMERGENCY CONTACT DETAILS Safe Work Method Statement (Part 2a)			
Site Address and Nearest Road for Ambulance Attendance			
Doctor / Medical Centre		(02)	
Hospital			
Ambulance 000			
Fire 000			
Police 000			
Water			
Electricity			
Gas			
EPA			
WorkCover NSW			
Emergency Co-ordinator			
1 st Aid Officer			

ENVIRONMENTAL MANAGEMENT AND STANDARDS Safe Work Method Statement (Part 3)

Codes of Practice Legislation / Standards applicable to the work <ul style="list-style-type: none">- Occupational Health & Safety Regulation 2001- Occupational Health & Safety Act 2000Code of Practice EarthmovingAS2601 Section 8, Demolition of StructuresCode of Practice Asbestos RemovalWaste Minimisation ActEnvironmentally Hazardous Chemicals ActDangerous Goods Transport Act (Road & Rail)	Training required to complete work under the contract <ul style="list-style-type: none">- WorkCover approved construction OHS training course (Green Card)- Working knowledge of Safe Work Method Statement- Trade qualifications and practical experience- Certificate of Competency on operate plant and equipment (where applicable)- Working knowledge of OH&S regulations and site safety rules- All employees to attend site specific induction training (by main contractor)- Supervisor provides actively specific training or arranges external training
Tools / Plant/ Equipment <p>Scissor lift Extension ladder Hand tools Excavators trucks</p>	Maintenance Checks <p>Daily Inspect all equipment to ensure safety devices operate & report faulty equipment to supervisor Monthly All electrical equipment will be inspected and tagged by a licensed electrician before use on site</p>
Consultant / Authority requirements, inspections, permits, drawings etc <p>Development Application, Workcover approval, Engineers approval for plants on the slab Asbestos removal permit and SWMS required by subcontractor where applicable Pedestrian and Traffic permit</p>	Materials Handling/Lifting/Hoisting <ul style="list-style-type: none">- Small sized demolition materials to be manually handled when taking canopy apart
Contaminants of Concern <p>Hazardous Materials materials in this structure To be identified and notified to the owner for further instruction</p>	Material Safety Data Sheets (attached) <ul style="list-style-type: none">---
Environmental Controls <p>no access to pedestrians on footpath under canopy when demolition is in progress, detour signs strategically placed signage clearly visible to direct pedestrians</p>	Other <ul style="list-style-type: none">--

RISK ASSESSMENT Site Work Method Statement (Part 4)

Purpose Identifies general and site risks likely to be encountered during the scope of works

Item	Task / Procedure	Positive Hazards	Risk Score	Safety Controls	Safety Controls
1	Site induction	<ul style="list-style-type: none"> Workers not aware of site condition & safe work methods Mnorr/Serious injury, safety breaches 	1 – 3	Attend site induction before starting work for specific site safety	<ul style="list-style-type: none"> Read, understand & sign employers SWMS & RA
2	Materials Handling/Unloading	<ul style="list-style-type: none"> Physical workload Sprains/strains/back injury Fatigue 	2 – 3	<ul style="list-style-type: none"> Assess load weight before lifting Use correct lifting procedures Avoid muscle fatigue when working in awkward positions Do not undertake hazardous tasks when fatigued 	<ul style="list-style-type: none"> Use mechanical lifting equipment where possible Obey traffic management instruction & observe warning signs Never stand/walk or place limbs under an elevated load
3	Working near Traffic	<ul style="list-style-type: none"> Hit by moving/ slowing vehicle Serious injury/permanent disablement 	1 – 2	<ul style="list-style-type: none"> Ensure you look when crossing work areas/public roadways near moving vehicles Wear safety vest/hard hat and make others aware of your presence 	<ul style="list-style-type: none"> Obey traffic management instructions & observe warning signs
4	Mobilising Equipment / Cranes	<ul style="list-style-type: none"> Equipment/Vehicle rollover Mechanical failure Serious injury/permanent disablement/death/property damage 	1 – 2	<ul style="list-style-type: none"> Never overload vehicle or exceed safe working load Never exceed vehicle's maximum gradient Operate vehicle only on a firm & level surface 	<ul style="list-style-type: none"> Observe all warning signs Beware of on coming traffic Check location of overhead power lines & services
5	Moving around the Workplace	<ul style="list-style-type: none"> Fall/trip on same level Hit by moving machinery Serious injury / permanent disablement death 	1 – 3	<ul style="list-style-type: none"> Remove/relocate trip hazards (leads rubbish materials etc) Maintain a clean work area & clear walkways Ensure you look when crossing walkways/work areas where moving machinery is in operation (crane bobcat forklift etc) 	<ul style="list-style-type: none"> Wear safety vest & make operator aware of your presence Keep clear of slewing radius around excavators & cranes
6	Working with/near Noisy Equipment	<ul style="list-style-type: none"> Loud sounds continuous loud sounds Mechanical vibration Hearing injury 	2 – 3	<ul style="list-style-type: none"> Use protective equipment supplied (ear muffs ear plugs) Be aware Ensure hand signals are clearly understood 	<ul style="list-style-type: none"> Stop noisy equipment to clearly hear safety instructions Undertake noise reduction where possible
7	Working at Heights / On Roofs	<ul style="list-style-type: none"> Fall from a height less than 1 8m (serious injury / broken bones) Fall from a height more than 1 8m (permanent disablement / death) Falling objects 	1 – 3	<ul style="list-style-type: none"> Obey OH&S guidelines & safety instructions for working with ladders mobile scaffolds, scissor lifts boom lifts & working at heights 	<ul style="list-style-type: none"> Wear safety harness when working on roofs Secure tools & materials to prevent them from being dislodged from heights by strong winds Do not leave tools / materials on ladders Dropping / throwing materials from heights is prohibited

8	Working with / near Electricity	Contact with live electrical wires Tools/ equipment faults Electrocutions/serious injury/death	1 – 2	Check location overhead power lines, concealed & underground services before starting work If in doubt ask electrician to test for live cables & isolate if required Ensure plant & equipment (cranes boom lifts etc) maintain minimum 3m clear of overhead power lines to Work Cover regulations	Ensure all power tools are tested & tagged before use Test equipment with EI CB regularly Don't use if fault
9	Hot Work /Oxy Cutting/Welding	Contact with hot objects flame Fire / sparks Flammable liquids gases vapors ignition of materials Burns/serious injury/fire Property damaged	1 – 3	- Test suspected hot objects before making contact Use protective equipment (gloves tongs etc) Install hot work notice & screen work area (for welding) Inspect work areas for possible sources of ignition before starting work	For hot work (Soldering welding, oxy cutting cutting or grinding that produces sparks), keep appropriate fire extinguisher within easy reach Protect other surfaces in work area from possible damage from sparks Keep flammable containers away from flame, sparks etc Ensure oxy/acetylene bottles are occurred upright & flash arrestors fitted
10	Working with power tools	Hearing / eye injury Cuts & abrasions Electrocution / serious injury/death	1 – 3	Wear PPE when cutting, grinding, drilling etc Keep a firm grip on power tools when in use - Ensure all power tools are tested & tagged before use	Don't use power tools on wet ground Keep leads off the ground with approved supports Do not attempt to repair electrical tools & report damage to supervisor
11	Contact with Hazardous Materials	Contact with asbestos Contact with fibrous materials (SMF) Contact with adhesives chemical & epoxies Lung injury / long term illness / dizziness / breathing difficulties	1 – 3	Do not work in areas with asbestos Leave the area & contact your supervisor & site foreman Follow OH&S guidelines when using SMF and chemical products - Wear PPE breathing equipment masks protective clothing) Clean up waste generated by your work activities frequently & place into bins daily	Read understand & follow MSDS safety instructions before using chemical products Ensure containers are closed when not in use Ensure chemical products are recorded in hazardous goods register on site Keep walkways & exits clear at all times
12	Housekeeping	- Trip / fall hazards - Obstruction of walkways	2-3	In hot conditions apply sunscreen to exposed skin - Stop work if temperature becomes extreme	- Maintain fluid intake Assess work activities & reschedule in extreme conditions
13	Outdoors Work	Sunburn / sunstroke/heat exhaustion	2 – 3		
14	Wet Conditions	Serious injury / death	1 – 3	Assess work conditions in wet weather Keep leads clear of wet surfaces	Don't use power tools whilst standing on wet ground or in the rain
15	Dust Conditions	- Lung injury / eye injury	2 – 3	Obey OH&S guidelines for using equipment / tools that create dust - Use dust suppression & collection processes Where possible use water fed tools/equipment	Use PPE in dusty conditions (breathing equipment, dust tracks etc)

AGREEMENT TO COMPLY WITH SAFE WORK METHOD STATEMENT (Part 5)

Disclaimer I have been inducted and understand the above Safe Work Method Statement (SWMS) I have been given the opportunity to ask questions which were answered by my direct employer's representation. I agree to comply with the pursuit of a hazard free and safe working environment

No	Name	Signature	Date
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



Certificate of Currency

CITY CIVIL PTY LTD
PO BOX 17
TOONGABBIE NSW 2146

Dear Sir/Madam

1 STATEMENT OF COVERAGE

The following policy of insurance covers the full amount of the employer's liability under the Workers Compensation Act 1987

This Certificate is valid from 22/02/2007 to 22/02/2008

The Information provided in this Certificate of Currency is correct at 22/10/2007

2 EMPLOYER'S INFORMATION

POLICY NUMBER 00000055163
LEGAL NAME CITY CIVIL PTY LTD
TRADING NAME
ABN 42118275344
ACN/ARBN 118275344

WorkCover Industry Classification number (WIC)	Industry	Numbers of Workers*	Wages*
421020	Site Preparation Services	4	\$175 780 00

+ Number of workers includes contractors/deemed workers
* Total wages estimated for the current period

3 IMPORTANT INFORMATION

Principals relying on this certificate should ensure it is accompanied by a statement under section 175B of the *Workers Compensation Act 1987*. Principals should also check and satisfy themselves that the information is correct and ensure that the proper workers compensation insurance is in place i.e. compare the number of employees on site to the average number of employees estimated, ensure that the wages are reasonable to cover the labour component of the work being performed and confirm that the description of the industry/industries noted is appropriate.

A Principal contractor may become liable for any outstanding premium of the sub-contractor if the principal has failed to obtain a statement or has accepted a statement where there was reason to believe it was false.

Yours faithfully

Authorised Officer
Agent Underwriting Department
Phone 1800 007 033 Fax (02) 9464 7400

GE_WC_COC_F_01.pdf





Liberty
International
Underwriters

Member of Liberty Mutual Group

To:	Mike Peterson	Email:	Mike.Peterson@dmainsurance.com.au
Company:	DMA Insurance Brokers		

Certificate of Currency
General & Products Liability Insurance

This Certificate:

- Is issued as a matter of information only and confers no rights upon the holder.
- Does not amend, extend or alter the coverage afforded by the Policy(ies) listed.
- Is only a summary of the cover provided.
- Reference must be made to the current Policy wording for full details.
- Is current at the date of issue only.

This Certificate confirms that the undermentioned Policy is effective in accordance with the details shown:

Policy Number: BNDMA0013607

Insured: City Civil Pty Ltd


Business Insured: Demolition, Excavation, Salvage and Salvage Sales and Asbestos Removal

Period of Insurance: From: 24th November 2007 at 4pm local standard time
To: 24th November 2008 at 4pm local standard time

Limit of Indemnity: Public Liability \$5,000,000 any one Occurrence.

Products Liability \$5,000,000 any one Occurrence and in the aggregate during the Period of Insurance

Asbestos Liability \$5,000,000 any one Claim and in the aggregate during the Period of Insurance



Authorised Representative of
Liberty International Underwriters

15th November 2007

Date

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Certificate number 177730S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 29/06/2006, published by the Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of Issue Monday, 21 January 2008



Score

- ✓ Water 40 (Target 40)
- ✓ Thermal comfort pass (Target pass)
- ✓ Energy 47 (Target 40)

Project address	
Project name	Willsees (copy of)
Street address	125 Avalon Parade Avalon 2107
Local Government Area	Pittwater Council
Plan type and plan number	Deposited Plan 12992
Lot no	1
Section no	0 0
Project type	
Project type	separate dwelling house
No. of bedrooms	3
Site details	
Site area (m²)	971
Roof area (m²)	238
Conditioned floor area (m2)	193
Unconditioned floor area (m2)	22
Total area of garden and lawn (m2)	400
Assessor details and thermal loads	
Assessor number	n/a
Certificate number	n/a
Cooling load (MJ/m² year)	n/a
Heating load (MJ/m² year)	n/a
Other	
none	n/a

COPY

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 80 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 180 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">the cold water tap that supplies each clothes washer in the development.at least one outdoor tap in the development. (Note: NSWHealth does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments

Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls and ceiling/roof of the dwelling in accordance with the specifications listed in the table below

Show on DA plans	Show on CC/CDC plans & specs	Certifier check
✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - suspended floor above open subfloor, framed	0.8 (or 1.5 including construction) (down)	
external wall - framed (weatherboard fibro, metal clad)	1.30 (or 1.70 including construction)	
ceiling and roof - flat ceiling / pitched roof	ceiling 1.45 (up), roof foil backed blanket (75mm)	3 wind-driven ventilator(s) + eave vents, dark (solar absorptance > 0.70)
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling 1.74 (up), roof foil backed blanket (75mm)	framed dark (solar absorptance > 0.70)

Thermal Comfort Commitments

Windows, glazed doors and skylights

The applicant must install the windows, glazed doors and shading devices described in the table below. In accordance with the specifications listed in the table Relevant overshadowing specifications must be satisfied for each window and glazed door

The dwelling may have 1 skylight (<0.7 square metres) and up to 2 windows/glazed doors (<0.7 square metres) which are not listed in the table

The following requirements must also be satisfied in relation to each window and glazed door

Except where the glass is single clear^a or single toned^a, each window and glazed door must have a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +/-10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions

- The leading edge of each eave pergola, verandah, balcony or awning must be no more than 500 millimetres above the head of the window or glazed door, except that a projection greater than 500 mm and up to 1500 mm above the head must be twice the value in the table
- Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35
- Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm
- Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing column'

The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table

Skylight no.	Maximum area (square metres)	Type	Shading
S1	0.6	timber, double clear/air fill	no shading
S2	0.6	timber, double clear/air fill	no shading

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1	N	9.24	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	eave/verandah/pergola/balcony >2,000 mm	not overshadowed
W2	E	1.12	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	eave/verandah/pergola/balcony >2,000 mm	not overshadowed

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W3	NE	10.35	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	eave/verandah/pergola/balcony 1,500-2,000 mm	not overshadowed
W4	E	7.21	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	eave/verandah/pergola/balcony 1,201-1,500 mm	not overshadowed
W5	W	5.18	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	none	1-2 m high, <1.5 m away
W6	SW	4.26	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	none	not overshadowed
W7	SW	3.84	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	eave/verandah/pergola/balcony 450 mm	2-4 m high, 8-12 m away
W8	S	1.05	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	eave/verandah/pergola/balcony 450 mm	>4 m high, <2 m away
W9	S	1.12	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	eave/verandah/pergola/balcony 450 mm	2-4 m high, 5-8 m away
W10	E	2.25	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	none	2-4 m high, 2-5 m away
W11	NE	3.15	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	none	not overshadowed
W12	SW	1.57	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	eave/verandah/pergola/balcony 450 mm	not overshadowed
W13	NW	0.56	timber or uPVC, single clear (or U-value 5.71, SHGC 0.66)	none	not overshadowed

Thermal Comfort Commitments

Cross Ventilation

The commitment below applies to the following rooms or areas of a dwelling which comprise a breeze path for the dwelling

- Breeze path 1 within main living area
- Breeze path 2 within Bedroom 1 (not ensuite)
- Breeze path 3 within Bedroom 2 (not ensuite)
- Breeze path 4 within Bedroom 3 (not ensuite)

The applicant must construct the dwelling so that at least 1 ventilation opening is provided in each such room or area (if only 1 room or area of a dwelling is mentioned for a breeze path, then that room or area must have at least 2 ventilation openings)

The 2 ventilation openings must be located as follows

- Breeze path 1 opposite external walls
- Breeze path 2 opposite external walls
- Breeze path 3 opposite external walls
- Breeze path 4 opposite external walls

The 2 ventilation openings must meet the following specifications

- (a) not be more than 15 metres apart,
- (b) be at least 1 square metre in size, and
- (c) have only 1 doorway, or opening less than 2 square metres in size, located in the direct path between them

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water				
The applicant must install the following hot water system in the development or a system with a higher energy rating gas instantaneous with a performance of 4 stars		✓	✓	✓
Cooling system				
The applicant must install the following cooling system or a system with a higher energy rating, in at least 1 living area ceiling fans, Energy rating n/a			✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating in at least 1 bedroom ceiling fans, Energy rating n/a			✓	✓
Heating system				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area gas fixed flued heater, Energy rating 3 Star			✓	✓
The bedrooms must not incorporate any heating system or any ducting which is designed to accommodate a heating system			✓	✓
Ventilation				
The applicant must install the following exhaust systems in the development				
At least 1 Bathroom no mechanical ventilation (ie natural), Operation control n/a			✓	✓
Kitchen individual fan ducted to facade or roof, Operation control manual switch on/off			✓	✓
Laundry natural ventilation only, or no laundry Operation control n/a			✓	✓
Artificial lighting				
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps				
• at least 4 of the bedrooms / study,			✓	✓
• at least 2 of the living / dining rooms,			✓	✓
• the kitchen, dedicated			✓	✓
• all bathrooms/toilets, dedicated			✓	✓

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• the laundry dedicated			✓	✓
• all hallways			✓	✓
Natural lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting		✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting		✓	✓	✓
Other:				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling			✓	
The applicant must install a fixed outdoor clothes drying line as part of the development			✓	

Legend

In these commitments, "applicant" means the person carrying out the development

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued



T J TAYLOR CONSULTANTS PTY LIMITED

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Consulting Civil and Structural Engineers

'Seascope', Suite 7, 22-26 Fisher Road, Dee Why, NSW 2099

Telephone 9982 7092 Fax 9982 5898 Email taylor_consultants@tpg.com.au



The Association of
Consulting Engineers
Australia

22 January 2008
Our Ref DJS 33207

SPECIFICATION AND CONSTRUCTION NOTES FOR REINFORCED CONCRETE SLAB-ON-GROUND

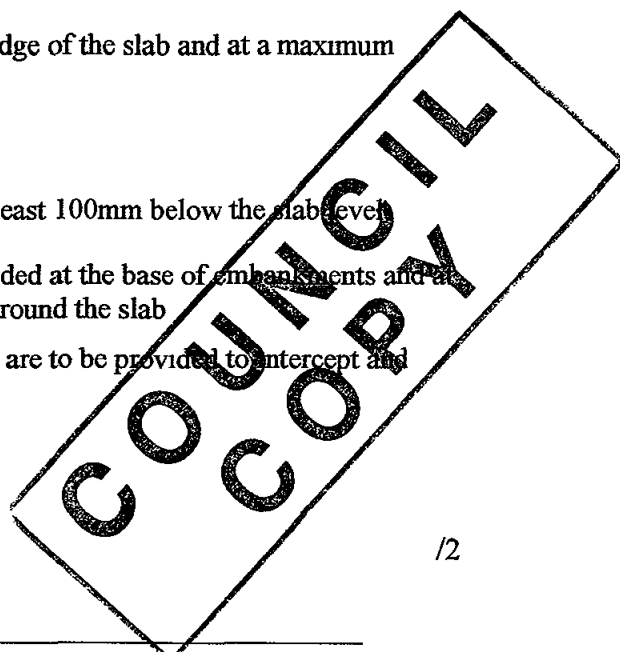
PROJECT NEW RESIDENCE – 125 AVALON PARADE, AVALON

GENERAL

- 1 The drawings and specification are to be read in conjunction with all architectural and other consultants' drawings and specification and with such other written instructions as may be issued during the course of the work
- 2 Dimensions are not to be obtained by scaling from the structural drawings
- 3 Setting out dimensions shown are to be verified by the builder
- 4 All workmanship and material shall be in accordance with the requirements of the SAA Codes and By-Laws and Ordinances of the relevant Building Authority
- 5 Any conflict between these notes and specifications or drawings shall be resolved by the Supervising Engineer

GROUND PREPARATION AND DRAINAGE

- 1 The slab area is to be cleared of all grass, vegetation, stumps and any soil containing significant volume of organic matter
- 2 The site is to be trimmed to suit finished surface levels. In areas of cut and fill the fill is to be a maximum depth of 500mm and compacted in horizontal layers of 150mm maximum depth to 95% of the modified dry density in accordance with S A 1289Pt E or equivalent
- 3 The batter of any fill is to be at least 1000mm clear of the edge of the slab and at a maximum slope of 1.5 to 1
- 4 Any imported fill is to be an approved select material
- 5 The finished ground surface adjacent to the slab is to be at least 100mm below the slab level
- 6 In cut and fill areas adequate surface drainage is to be provided at the base of embankments and at least 1000mm from the slab to divert surface runoff water around the slab
- 7 In areas where ground water is encountered, sub-soil drains are to be provided to intercept and divert the water from the slab



/2

FOUNDATIONS

- 1 This slab is designed for a uniform and stable foundation of safe bearing pressure of 150kPa. Further advice is to be obtained from the Supervising Engineer if organic matter, highly plastic soil or ground water is encountered.
- 2 A level bed of clean sand, 50mm thick is to be spread over the foundation and thoroughly compacted.
- 3 In areas of termite activity or as required by local building authorities protection is to be provided to the building in accordance with AS36601-1995 "Protection of building from subterranean termites" Part 1 New Buildings.

Protection should be provided in the form of a continuous physical barrier of stainless steel mesh or graded stones, or a chemical soil barrier as approved by local authorities.

WATERPROOFING

- 1 An unpunctured polythene vapour barrier, 0.2mm thick is to be provided under the total area of the floor and beams including internal beams and terminated at ground level.
- 2 Joints in membrane to be lapped a minimum of 200mm and sealed with pressure sensitive tape. Service pipes through slab to be wrapped with polythene membrane that is in turn lapped and sealed with main layer.

REINFORCEMENT

- 1 Slab fabric to be lapped a minimum of 225mm at the ends and side and supported on chairs at 1000mm centres.
- 2 Edge beams and internal beam trench mesh to be fully lapped at corners with a minimum 350mm splice lap and supported on chairs at approximately 1200mm centres.
- 3 All reinforcement chairs to sit on approved base supports to prevent puncture of polythene membrane.

CONCRETE

- 1 All workmanship and material shall be in accordance with AS 3600 "AS Concrete Structures" and shall be grade 25 ($f'_c = 25\text{MPa}$). Slump shall be 80mm. Site additives are not permitted.
- 2 To enable an inspection to be carried out on the waterproofing membrane and reinforcement the Supervising Engineer is to be advised 24 hours before pouring of concrete.
- 3 Concrete is to be compacted with approved vibrators and moist cured for a minimum of seven (7) days after pouring.

FINISH

- 1 Concrete is to be screeded level and finished to a smooth surface with a wooden float, steel trowel or mechanical trowelling device depending on type of surface finish required.



Pittwater Council
Information for Access Driveway Profiles
1 July 2006 – 30 June 2007

To Terry & Melissa Willesee
Postal Address 125 Avalon Parade
Avalon 2107

Date 18th January 2008

Receipt No 232153
Amount \$71 00

ACCESS DRIVEWAY PROFILE AT 125 Avalon Parade, Avalon 2107

- The proposed vehicular access driveway profile shall be as per the enclosed plan **EH or MHLS**
- **Type of Construction** Domestic
 - **For Residential single & dual occupancy** - 20MPa Concrete, 150mm thick
 - **For Other** - 20MPa Concrete, 180mm thick with F72 mesh
- **Slab Construction** Vehicular access slab 9.5m long, 3.5m wide at gutter crossing to 3.5m wide at the boundary
- Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile
- All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised Contractors only,
- Quotations for the work specified above should be obtained from any of the contractors on Council's list and should be for the whole of the work stated,
- Construction of vehicular access will be strictly in accordance with the profile supplied, and
- A formwork inspection by Council is required prior to construction (Provide minimum 24 hours notice)

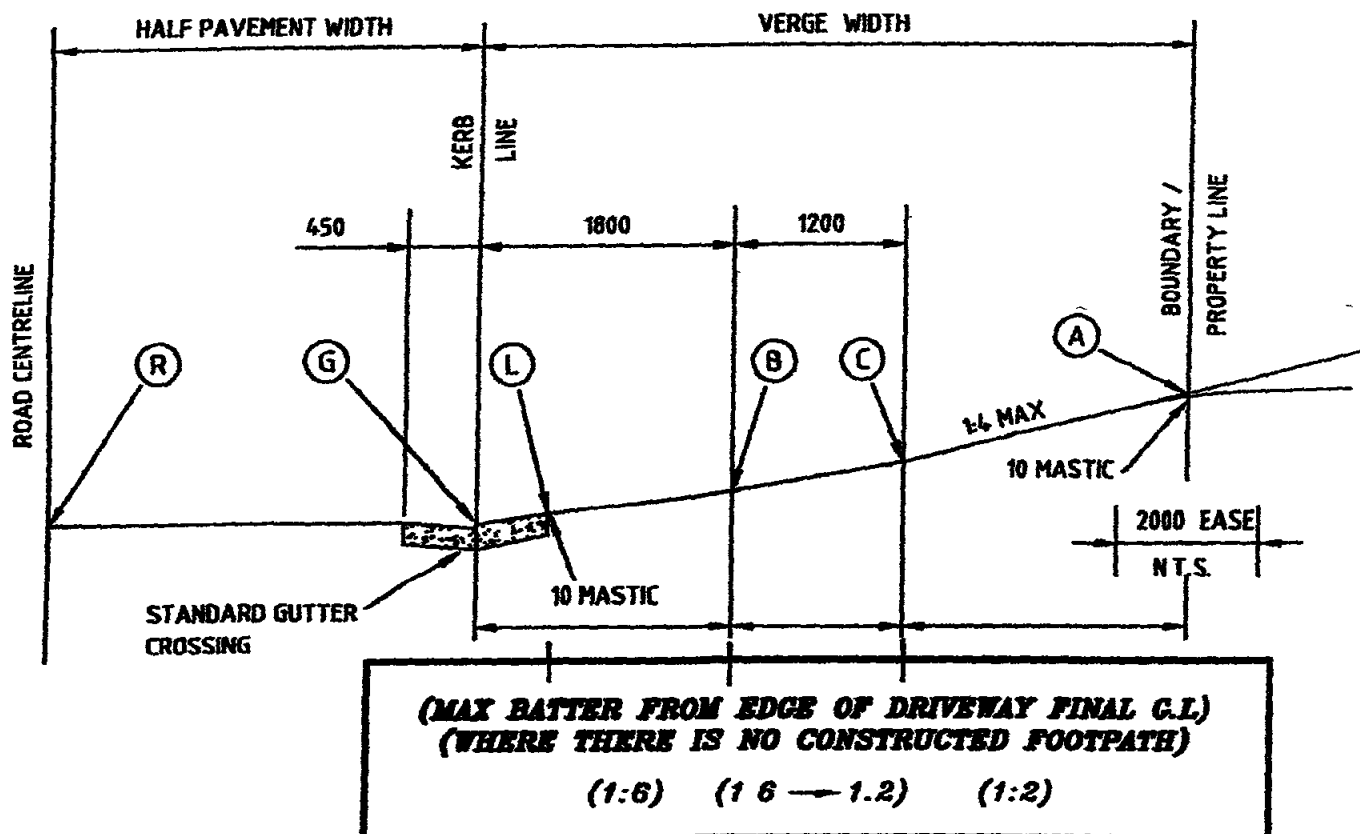
- 1 **NOTE THAT THIS INFORMATION SHEET DOES NOT CONSTITUTE AN APPROVAL TO COMMENCE OR PROCEED WITH ANY WORK ON SITE.**
- 2 **A SECTION 139 CONSENT UNDER THE ROADS ACT – 1993 IS REQUIRED (FORM UI203).**
- 3 **FAILURE TO OBTAIN SUCH CONSENT PRIOR TO COMMENCING WORK WILL INCUR A PENALTY.**

S. Miller

**COUNCIL
COPY**

EXTRA HIGH (E.H)

FOR USE ONLY FOR SINGLE DWELLINGS OR DUAL OCCUPANCIES



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	100 ABOVE "G"
B	1800 FROM KERB LINE	MAX 200 ABOVE "G"
C	3000 FROM KERB LINE	MAX 410 ABOVE "G"
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

NOTES

- To read in conjunction with Pittwater21 Development Controls
- Does not cater for towed vehicles or vehicles with tow bars



PITTWATER COUNCIL

Standard Driveway Profile

EXTRA HIGH

PLAN No.

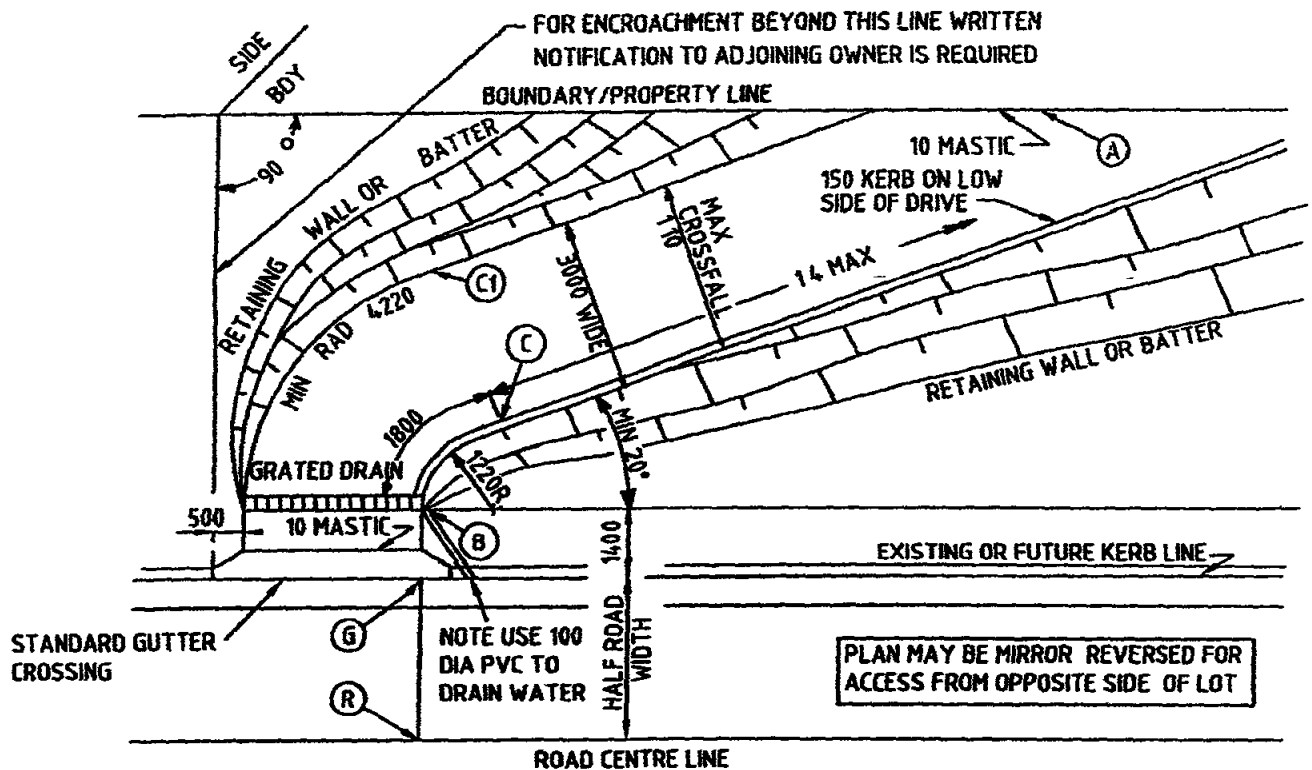
PWC-DW02

REV No. **B**

DATE **5/9/05**

MAXIMUM HIGH LEVEL SKEW (MHLS)

FOR USE ONLY FOR SINGLE
DWELLING OR DUAL OCCUPANCIES



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
B	1400 FROM KERB FACE	130 ABOVE "G"
C	3200 FROM KERB FACE	NOT HIGHER THAN 440 ABOVE "G"
C1	6900 FROM KERB FACE	MIN 440 MAX 740 ABOVE "G"
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

NOTES:

- To be read in conjunction with Pittwater 21 Development Controls
- Retaining wall & batter slopes to comply with Geotechnical Risk Management Policy for Pittwater
- Does not cater for towed vehicles or vehicles with tow bars



PITTWATER COUNCIL

Standard Driveway Profile

MAXIMUM HIGH LEVEL SKEW

PLAN No.

PWC-DW04

REV No. **B**

DATE **5/9/05**

PITWATER COUNCIL **List of Council Authorised Concrete Contractors for Vehicle Footpath Crossings and Associated Works**

- The following Contractors are authorised to carry out the above construction within the road reserve in the Pittwater Council area. No other persons are permitted to carry out excavation or any other part of this work.
- Please note that the Contractors are specifically authorised as vehicle footpath crossing Contractors only and in some instances the Contractors may not hold a Builder's Licence or a Restricted Builder's Licence

Company Name	Address1	Address2	Phone	Mobile
Aarts Concrete	PO Box 668	Campbelltown 2560	4626 6334	0413 337 489
A.K Concrete Solutions Pty Ltd	164 Madagascar Dr	Kings Park 2148	9837 8322	0412 392 355
Action Concreting & Construction Pty Ltd	PO Box 521	Collaroy 2097	9982 2135	0414 355 772
A-Grade Concrete	PO Box 6142	Narrabeena 2100	9982 2616	0410 565 777
Amazon Green Landscapes	24 Cherrybrook Rd	Pennant Hills 2125	9945 0554	0412 844 817
Anton Constructions Pty Ltd	730 Ourimbah Creek Rd	Palmgrove 2258	4362 9605	0418 236 651
Antonio Tomaino	97 Wyadra Ave	North Manly 2099	9938 3841	0422 994 938
Barne Bree Concreting	29 Seaview Ave	Newport 2106	9997 8840	0415 183 146
Beirut Paving P/L Was Sydney Bnck Paving Company	21268 Alexander St	Crows Nest 2085	9437 5422	0411 857 137
Bravo Group Constructions	3 Cosgrove Rd	Sth Strathfield 2136	9642 4008	0412 613 484
Brook Concreting Pty Ltd (Bomanite)	26 Adderton Rd	Telopea 2117	9638 2926	0418 218 671
Capano Concrete Pty Ltd	40 Rowley St	Smithfield 2164	9604 8715	0409 838 238
Coastline Concrete Pty Ltd	12 Davison St	Cromer 2099		0417 242 801
Cubic Concrete	12A Linden St	Mount Druitt 2770		0407 016 064
C & J Concreting	35 Port Erringhi Rd	Ebenezer 2756		0414 799 338
D Spencer & Associates	7/1 Marina Cl	Mount Kuringai 2080	9457 0332	0425 212 750
Danalig Pty Ltd	8 Rydal St	Wheeler Heights 2097		0412 383 993
Dangar Group Pty Ltd	P.O. Box 438	Double Bay 2028	9316 9044	0412 164 174
Danscapes Pty Ltd	PO Box 764	Caringbah 1495	9523 3335	0416 107 238
Foster Civil Contracting Constructions P/L	PO Box 7278	Kariong 2250	4376 1081	0418 213 248 0418 427 879
Fixcon	26 Charles St	Canterbury 2193	9718 8199	0418 231 720
Frank's Concrete	PO Box 983	Mona Vale 1660	9997 3999	0418 225 871
Fres Constructions Pty Ltd	PO Box 1477	Maroubra Junct. 2035		0417 663 135
Freshwater Environmental Constructions	3/72 Harbord Rd	Harbord 2096	9905 3770	0414 543 957
G & D Concrete Pty Ltd	58 Parkes Rd	Collaroy 2097	9982 4780	0418 644 887
Gillett Concreting Services Pty Ltd	5 Chilaw Ave	St Marys 2760	9833 8006	0416 237 065
H J Bellamy & Sons Pty Ltd	PO Box 541	Collaroy 2097	9981 4137	0418 280 904
Ingleside Landscaping Pty Ltd	145 Wirreanda Rd	Ingleside 2101	9450 2404	0408 296 359
Joe's Concreting Pty Ltd	14 Whitefriars Way	Winston Hills 2153		0411 197 144
John Florino	Lot 4 Oxford Falls Rd	Oxford Falls 2100	9453 5637	0415 296 978
Kakoda Concrete Pty Ltd	32 Aldinga Rd	Wamberal 2260	4384 2460	0421 342 177
Kaifa Building Contractor	41 Cathcart St	Fairfield 2165	9755 7293	0409 163 836
Kelpie Concrete Pty Ltd	20 Spring Rd	Curl Curl 2096	9905 8398	0418 164 604
Leading Edge Building Solutions Grp P/L	37 Vallance Street	Dunheved Business Park 2760	9670 4959	0416 060 685
Lloyd Drilling & Underpinning Constructions Pty Ltd	17 Ilya Ave	Bayview 2104		0418 232 527
Luch's Concrete Pty Ltd	15 Milperra Pl	Cromer 2099	9982 8739	0411 879 257
L Morlin & Co Pty Ltd	133 Desborough Rd	St Marys 2760		0418 285 015
Master Form Pty Ltd	150 Alfred St	Narrabeena 2099	9971 6309	0409 244 056
M & A Rober Concreting Pty Ltd	63 Kent Rd	Orchard Hills 2748	9623 1612	0410 529 012
NBE Concrete	55 Arnott Cr	Warriewood 2102		0418 244 793
Newborn Concrete & Landscaping	3 Keldie St	Forestville 2087		0425 323 333
Newport Concrete	PO Box 108	Newport 2106	9997 5686	0407 068 716

Northshore Formwork & Concreting P/L	30 Nimbey Ave	Narraweena 2099	9981 4390	0418 168 365
Northside Formwork & Constructions P/L	PO Box 168	Mona Vale 2103	9997 6363	0411 529 154
Ocean Concrete Pty Ltd	7 Nursery Pl	Belrose 2085	9452 1473	0412 449 297
Outback Paving	38 Greensborough Ave	Rouse Hill 2155	9629 8951	0408 238 032
Paradise Landscapes Pty Ltd	PO Box 403	Newport Beach 2106	9918 0539	0414 229 722
Paton Concrete Works	PO Box 1149	Newport 2106	9979 2791	0407 011 907
Pavecrete Pty Ltd	PO Box 710	Avalon 2107		0418 772 799
Peter Yorke Landscapes Pty Ltd	32 Sydney Rd	Warriewood 2102	9944 6598	0414 997 644
PRC Constructions Pty Ltd	14 Buena Vista Ave	Mona Vale 2103	9940 1019	0410 303 806
Rahneh Constructions Pty Ltd	11/1 Hordern Pl	Camperdown 2050	9517 9755	0415 224 504
Rocco Crea Concrete	117 Mona Vale Rd	Mona Vale 2103	9999 6852	0412 237 559
R & C Vitale	98 Westbrook Avenue	Wahroonga 2076		0412 516 275
Salt Landscapes & Outdoor Living P/L	8 The Greenway	Elanora Heights 2101		0414 726 981
S & E Cavalieri Pty Ltd	29 Quinlan Pde	Manly Vale 2093	9948 5442	0412 285 301
Shorecent Concreting Pty Ltd	18A Pine Ave	Brookvale 2100	9944 0860	0402 853 921
Spaghetti Concretors Pty Ltd	24 Hillcrest Rd	Berowra 2081	9456 0456	0419 479 590
Stuart Landscape Construction	8 Surrey Rd	Turrumulla 2074	9449 1343	0400 788 278
Superb Landscaping Pty Ltd	12 Donohoes Ave	Mulgoa 2745	4773 9417	0411 224 466
TBRH Concreting and Landscaping P/L	PO Box 2078	Normanhurst 2076	9489 2620	0413 072 702
The Gardenmakers Pty Ltd	Unit 4/1 Yuko Pl	Warriewood 2101	9970 7600	
Total Earth Care Pty Ltd	37 Inawong Road	Nth Narrabeen 2101	9913 1432	0413 627 585
Topform Construction	PO Box 704	Mona Vale 2103	9997 2295	0418 266 375
Tower Consortium Pty Ltd	Unit 7/5 Lyn Pde	Hoxton Park 2171	9826 0663	0407 003 850
Walter Wellington & Co Pty Ltd	PO Box 87	Collaroy 2097	9982 6335	0414 614 119

Builders who wish to carry out their own work (i.e. do not give quotes)

Gubler & Associates Pty Ltd	49 Careel Head Rd	North Avalon 2107	9918 2896	
Lamrock Builders	Po Box 76	Avalon 2107	9918 7037	0418 406 221
Pelenoy Pty Ltd	137 Parsonage Rd	Castle Hill 2154	9894 1422	0419 654 111



Pittwater Council

Form No UI 203

Consent by Road Authority for Work in Road Reserve

Section 139 – Roads Act 1993

1 July 2007 - 30 June 2008

PLEASE PRINT

Applicant Terry & Melissa Willesse
Postal Address 125 Avalon Parade Avalon NSW Postcode 2107
Phone (W) 9918-0123 (M) 0420 810 680
Property Address 125 Avalon Parade Avalon NSW

Subject to the payment of the appropriate fee, the Applicant is hereby permitted to construct the driveway (and/or associated work) as detailed below, in strict accordance with the **CONDITIONS** overleaf

I/We the undersigned agree to abide by the said conditions

Applicant's Signature M. Willesse Date 15/1/08

FEES (includes GST)

Consent for access driveway construction only (includes 2 site inspections) per allotment for RESIDENTIAL SINGLE/ DUAL OCCUPANCY	\$142 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for RESIDENTIAL SINGLE/ DUAL OCCUPANCY which includes any of retaining structures, stairs or special landscape treatment.	\$355 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for OTHER THAN RESIDENTIAL SINGLE/DUAL OCCUPANCY	\$166 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for OTHER THAN RESIDENTIAL SINGLE/DUAL OCCUPANCY which includes any of retaining structures, stairs or special landscape treatment.	\$473 00
Fee per additional site inspection as required	\$125.00

Office Use Only

Inspected by _____

Approved _____

Not approved _____

Comment _____

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21994

SECTION 139 – ROADS ACT 1993

CONDITIONS OF CONSENT

- 1 The Applicant shall, at all times, keep indemnified Council from and against all actions, suits, proceedings, losses, costs, damages, changes, claims and demands in any way arising out of or by reason of anything done or omitted to be done by the Applicant in respect of the work in question
- 2 The Applicant, at all times for the duration of this Consent, will not interrupt or otherwise disturb the traffic flow on the road without first obtaining the consent of Council
- 3 The applicant shall make good any damage caused to the property of any person or any property of Council by reason of the carrying out of any work by the Applicant under the Conditions of this Consent
- 4 Should the Applicant fail to comply with any of these conditions or any requirement of Council as provided then this Consent shall permanently lapse and any part of the work remaining within the road at that time shall be deemed to be an obstruction or encroachment under Section 107 of the Roads Act 1993
- 5 This Permit/Consent receipt must be held on the job and produced to any officer of Council when called upon
- 6 ***All work within the Road Reserve (including excavation) is to be carried out by Council Authorised Contractors only***
- 7 Construction of the vehicular access is to be strictly in accordance with the profile supplied
- 8 A formwork inspection and approval by Council is required prior to construction of the driveway
24 HOURS NOTICE IS REQUIRED
- 9 **THIS CONSENT AND (PREVIOUSLY ISSUED) APPROVED PROFILE MUST BE RETAINED ON SITE FOR THE INSPECTING COUNCIL OFFICER'S APPROVAL**
- 10 Type of Construction
 - **For residential single & dual occupancy – 20MPa Concrete, 150mm thick**
 - **For other – 20MPa Concrete, 180mm thick with F72 mesh**

2

AH DESIGN

ANNA HENRY • 22 WANDEEN RD • CLARVILLE NSW 2107

24 JAN 2008

Schedule of Colours

Proposed new residence at
125 Avalon Parade

for
Mr & Mrs Willesee

Ref: AA





**COUNCIL
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Specification

This schedule is to be read in conjunction with the enclosed plans.

Materials and Colours

Provide material and colours as set out in the following schedule

Items	Material and Description	Colour	Sample
ROOF	COLORBOND CUSTOMORB ROOF SHEETING WITH RIDGE & BARGE CAPPING ON BATTENS & INSULATION (SEE BASIX) ON RAKED/TRUSSED TIMBER FRAMED CEILING	COLORBOND IRONSTONE	
GUTTERING & DOWNPIPES	HALF ROUND GUTTERING WITH ROUND DOWNPIPES (min ø 90mm) WITH LEAFGUARDS - see BUSHFIRE REPORT	COLORBOND IRONSTONE	SEE ABOVE
ROOF FASCIA & BARGE BOARDS	FINGERJOINTED PRE-PRIMED TIMBER FASCIA	DULUX "CHINA WHITE"	
EAVES LINING	EXPOSED RAFTERS/ 6mm F.C. SHEETING	DULUX "CHINA WHITE"	SEE ABOVE
WINDOWS & DOORS	TIMBER FRAMED DOORS & WINDOWS TO OWNERS SPECIFICATION & TO COMPLY WITH BASIX	DULUX "COTTONTAIL"	
MASONRY PIERS	SANDSTONE FACED OR FACE BRICK TO OWNERS SPECIFICATION	N/A	N/A
WALL CLADDING	<i>Design Pine</i> WEATHERTEX ON TIMBER FRAMED WALLS HORIZONTAL FIXED GALV. NAILED & PUNCHED INSULATION - see BASIX PROFIL - "NEWPORT" OR SIMILAR	DULUX "CLASSIC COOL" or SIMILAR	
DECKING	100 x 25 SELECT GRADE KILN DRIED HARDWOOD, GALV. NAILED & PUNCHED	CABOTS/SIKKENS NATURAL UV INHIBITED DECKING OILS	N/A
HANDRAILS	TIMBER RAILING TO OWNERS SPECIFICATION	DULUX "COTTONTAIL"	SEE ABOVE
STAIR TREADS (EXTERNAL)	150 x 50 ROUGH SAWN HARD WOOD COURSE SANDED ON TOP FACE & EDGE	CABOTS/SIKKENS NATURAL UV INHIBITED DECKING OILS	N/A
EXTERNAL PAVING	MANUFACTURED PRE CAST PAVERS, SANDSTONE OR RECYCLED BRICK TO OWNERS SPEC.	N/A	N/A