

38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

Luxury, split level home with internal courtyard, pool , studio
and garage to the rear lane.

SITE
LOT SIZE- 567.7m2
FRONTAGE- 15.825m (FRONT) & 15.45m (REAR)
DEPTH- 38.705m (NORTH) & 36.955 (SOUTH)

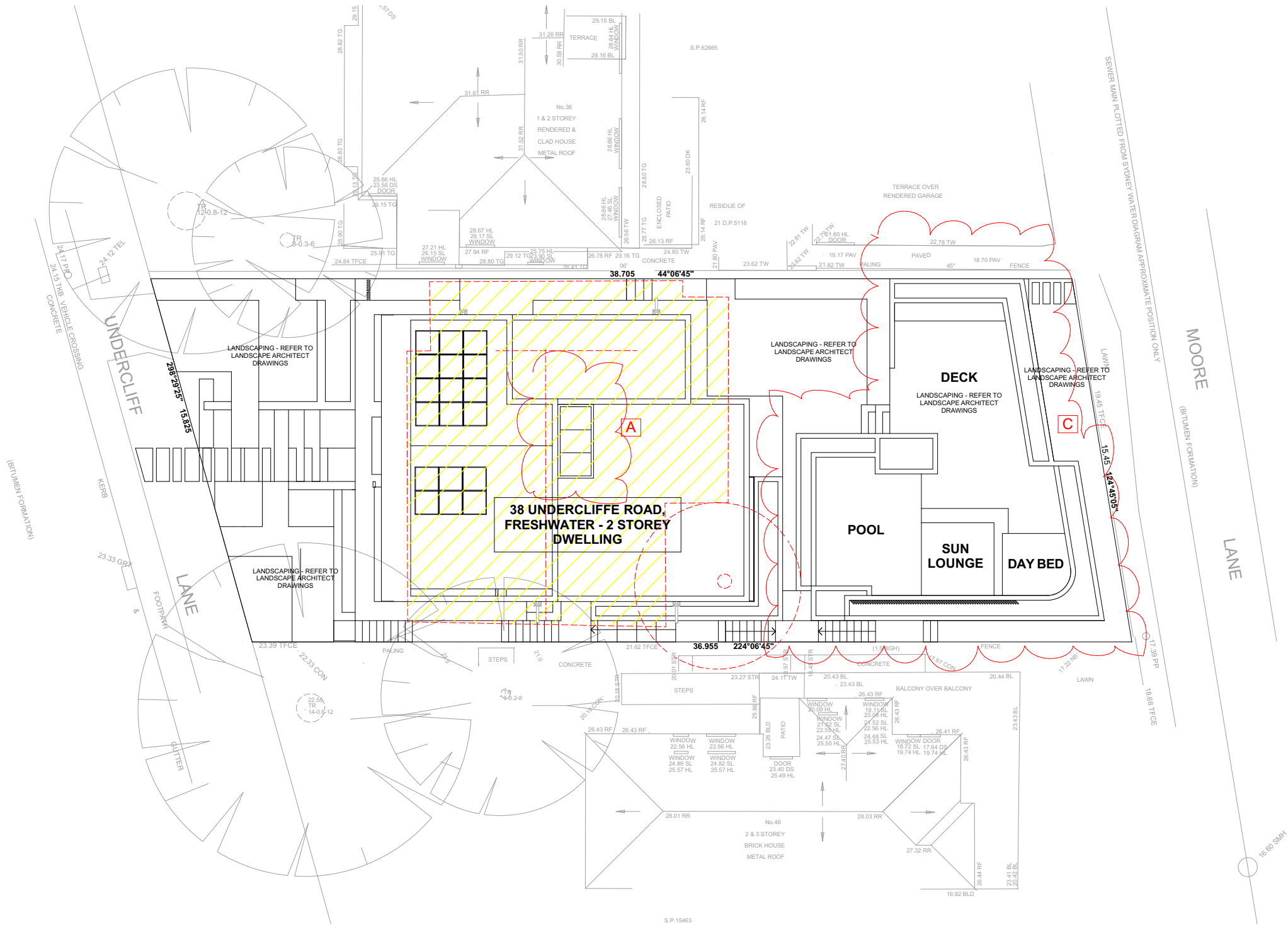
Drawing No:	Drawing Name
DA.00	COVER PAGE
DA.01	SITE ANALYSIS PLAN
DA.02	SITE PLAN
DA.03	GARAGE PLAN
DA.04	GROUND FLOOR PLAN
DA.05	GROUND FLOOR PLAN REAR
DA.06	FIRST FLOOR PLAN
DA.07	ROOF PLAN
DA.08	STREETSCAPE
DA.09	ELEVATIONS
DA.10	ELEVATIONS
DA.11	ELEVATIONS
DA.12	SECTIONS
DA.13	SECTIONS
DA.14	SECTIONS
DA.15	PERSPECTIVES
DA.16	COLOURS & FINISHES SCHEDULE
DA.17	SHADOW DIAGRAMS
DA.18	SHADOW DIAGRAMS
DA.19	SHADOW DIAGRAMS
DA.20	WASTE MANAGEMENT PLAN
DA.21	GFA, DS, POS CALCULATIONS
DA.22	DEMOLITION PLAN



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REVISION SCHEDULE

- A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.
- B: Replacement of sliding doors with glass louvres.
- C: Revised configuration of deck and pool area - refer to landscape architects drawings.



SITE PLAN
Scale 1:200

LEP & DCP	REQUIRED	PROPOSED	COMPLIANT
ZONING	R2	-	COMPLIANT
FSR	NONE STATED	0.5:1	COMPLIANT
HEIGHT	8.5M	8.2m	COMPLIANT
SITE AREA	576.7m2	310.92 m ²	COMPLIANT
GROSS FLOOR AREA			
SITE COVERAGE	33.3% x 576.7m ² = 192.04	187.98 m ²	COMPLIANT
LANDSCAPE AREA	40% of lot = 230.68m ²	181.32 m ²	COMPLIANT
PRIVATE OPEN SPACE	60m ²	113.42 m ²	COMPLIANT
SETBACKS			
GROUND FLOOR SETBACKS			
FRONT SETBACK	6.5m	6.5m	COMPLIANT
REAR SETBACK	6m	1M (DUAL ROAD)	MERIT - PRECEDENCE
SIDE SETBACK	900mm	900mm	COMPLIANT
FIRST FLOOR SETBACKS			
FRONT SETBACK	6.5m	6.5m	COMPLIANT
REAR SETBACK	6m	Boundary	COMPLIANT
SIDE SETBACK	900mm	900mm	COMPLIANT

BUILDING COMPONENT	TYPE/FINISH	
FLOOR CONSTRUCTION	GF: CONCRETE SLAB FF+: LIGHTWEIGHT TIMBER	
FLOOR COVERINGS	LIVING: TILED DINING: TILED KITCHEN: TILED BED: CARPET	
EXTERIOR WALL CONSTRUCTION	GF: CAVITY BRICK FF+: TIMBER FRAME	
EXTERIOR WALL FINISH	GF: RENDER FF+: CLADDING	
INTERNAL WALL CONSTRUCTION	GF: TIMBER STUD FF+: TIMBER STUD	
ROOF	METAL	
WINDOW FRAME TYPE	ALUMINIUM	
HOT WATER SYSTEM	GAS	
AIR CONDITIONING	MULTI-HEAD 3-PHASE	
COOKTOP AND OVEN	COOKTOP: GAS OVEN: ELECTRIC	

GFA BY STOREY	
STOREY	AREA
BASEMENT	38.68
GROUND FLOOR	168.01
FIRST FLOOR	104.23
	310.92 m ²

LANDSCAPE	
STOREY	AREA
BASEMENT	13.05
GROUND FLOOR	168.27
	181.32 m ²

LEGEND	
EXISTING DWELLING TO BE DEMOLISHED	(Dashed line)
EXISTING NEIGHBOURING TREES	(Circled 'C')
EXISTING TREES TO BE RETAINED	(Circled 'C')
EXISTING TREES TO BE REMOVED	(Circled 'C')
PIT TO S/W RECOMMENDATION	(Grey square)
PLANTING TO LANDSCAPE ARCHITECT SPECIFICATION	(Green square)
LANDSCAPED AREA	(Light green square)

DEVELOPMENT APPLICATION

ARKHAUS

(02) 9697 9554 hello@arkhaus.com.au www.arkhaus.com.au Suite 4.03/ 77 Dunning Avenue, Rosebery NSW 2038

The works to be completed in accordance with the National Construction Code, Australian Standards and relevant by laws. All proprietary items are to be installed in accordance with manufacturers details and specifications. Statutory authority approvals and specifications that form part of the construction methods are to be adhered to. Work references of dimensioned measurements are to be taken over scaled measurements. These drawings have been prepared by Arkhaus and remain the property of the above mentioned part. These drawings are not to be used in any way without the permission of Arkhaus and are subject to copyright laws.



amendments

Date	Issue	Description
12/11/20	DA.01	DEVELOPMENT APPLICATION ISSUE
10/02/2021	DA.B	ISSUE B - RFI
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE
07/07/2021	DA.D	ISSUE D - Modification to approved DA

Date	Issue	Description
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Client
GC & MC.

Drawing
SITE PLAN

Project description
NEW DWELLING HOUSE

Project address
38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

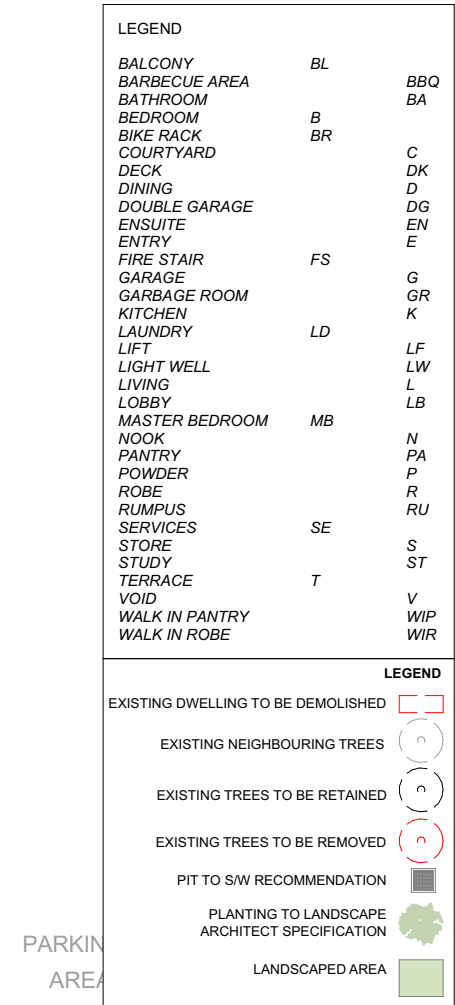
Sheet no.
DA.02

Job no.
2015DA

A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.

B: Replacement of sliding doors with glass louvres.

C: Revised configuration of deck and pool area - refer to landscape architects drawings.



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Date	Issue	Description
29/04/2021	DA.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Project description
NEW DWELLING HOUSE

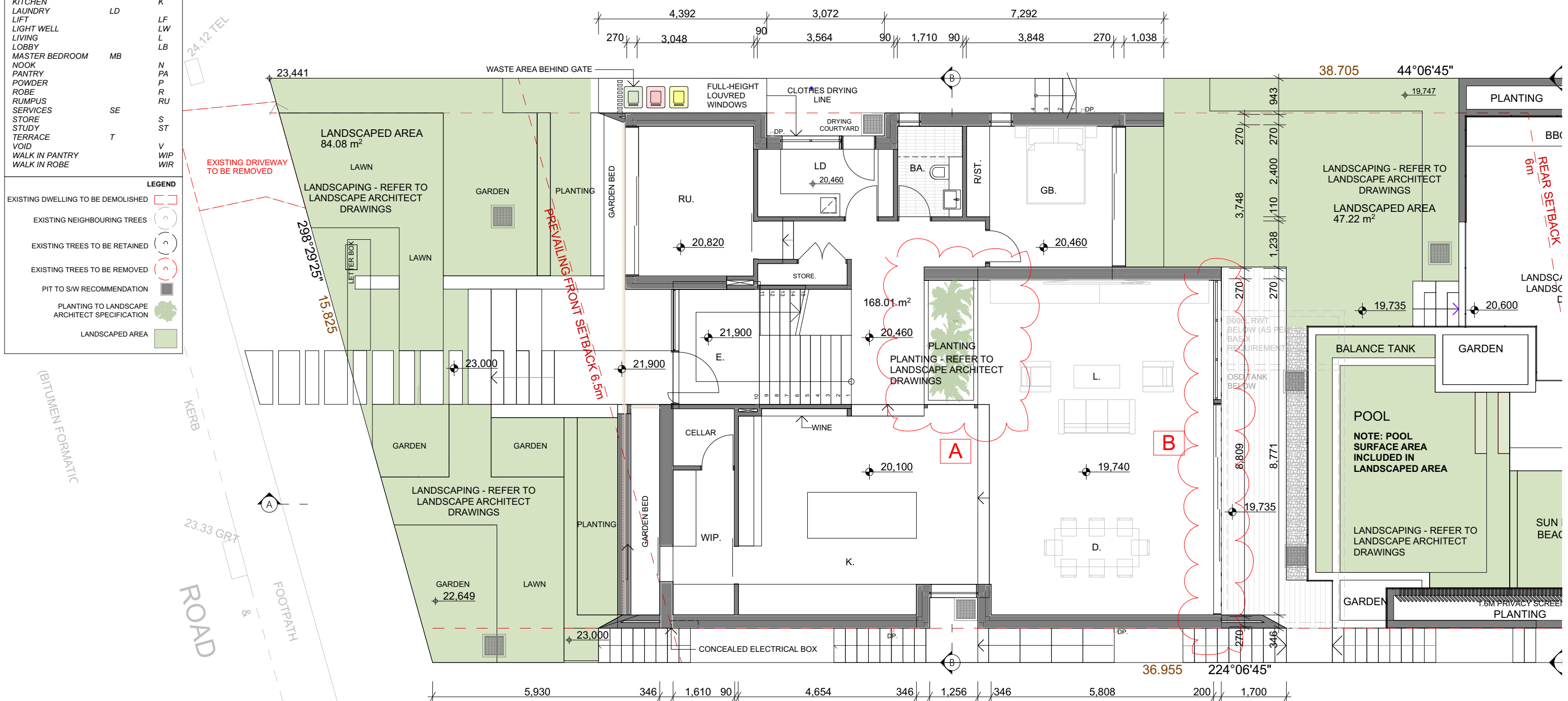
Project address
38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

DEVELOPMENT APPLICATION

LEGEND		
BALCONY	BL	
BARBECUE AREA		BBQ
BATHROOM		BA
BEDROOM	B	
BIKE RACK	BR	
COURTYARD		C
DECK		DK
DINING		D
DOUBLE GARAGE		DG
ENSUITE		EN
ENTRY		E
FIRE STAIR	FS	
GARAGE		G
GARBAGE ROOM		GR
KITCHEN		K
LAUNDRY	LD	
LIFT		LF
LIGHT WELL		LW
LIVING		L
LOBBY		LB
MASTER BEDROOM	MB	
NOOK		N
PANTRY		PA
POWDER		P
ROBE		R
RUMPUS		RU
SERVICES	SE	
STORE		S
STUDY		ST
TERRACE	T	
VOID		V
WALK IN PANTRY		WIP
WALK IN ROBE		WIR

LEGEND	
EXISTING DWELLING TO BE DEMOLISHED	
EXISTING NEIGHBOURING TREES	
EXISTING TREES TO BE RETAINED	
EXISTING TREES TO BE REMOVED	
PIT TO S/W RECOMMENDATION	
PLANTING TO LANDSCAPE ARCHITECT SPECIFICATION	
LANDSCAPED AREA	

REVISION SCHEDULE
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GROUND FLOOR
1:100

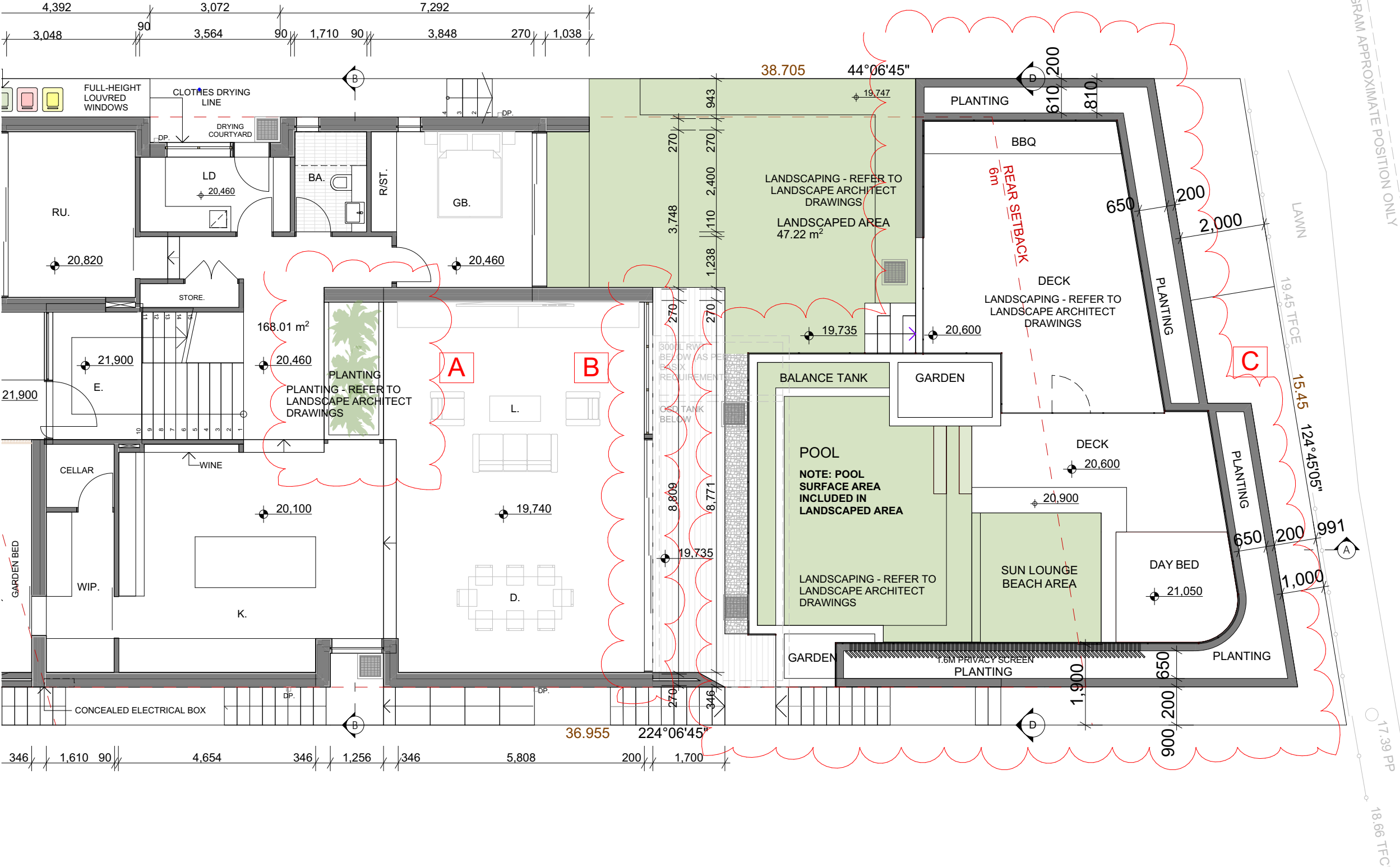
DEVELOPMENT APPLICATION

REVISION SCHEDULE

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LEGEND		
BALCONY	BL	BBQ
BARBECUE AREA		BA
BATHROOM	B	
BEDROOM	BR	
BIKE RACK		C
COURTYARD		DK
DECK		D
DINING		DG
DOUBLE GARAGE		EN
ENSUITE		E
ENTRY		
FIRE STAIR	FS	
GARAGE		G
GARBAGE ROOM		GR
KITCHEN		K
LAUNDRY		
LIFT	LD	
LIGHT WELL		LF
LIVING		LW
LOBBY		LB
MASTER BEDROOM	MB	
NOOK		N
PANTRY		PA
POWDER		P
ROBE		R
RUMPUS		RU
SERVICES	SE	
STORE		S
STUDY		ST
TERRACE	T	
VOID		V
WALK IN PANTRY		WIP
WALK IN ROBE		WIR

EXISTING DWELLING TO BE DEMOLISHED

EXISTING NEIGHBOURING TREES

EXISTING TREES TO BE RETAINED

EXISTING TREES TO BE REMOVED

PIT TO S/W RECOMMENDATION

PLANTING TO LANDSCAPE ARCHITECT SPECIFICATION

LANDSCAPED AREA

GROUND FLOOR
Scale 1:100

DEVELOPMENT APPLICATION

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amendments			
Date	Issue	Description	
12/11/20	DA01	DEVELOPMENT APPLICATION ISSUE	
10/02/2021	DA.B	ISSUE B - RFI	
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE	
07/07/2021	DA.D	ISSUE D - Modification to approved DA	

Date	Issue	Description
29/04/2021	DA.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Client
GC & MC.

Drawing
GROUND FLOOR PLAN REAR

Project description
NEW DWELLING HOUSE

Project address
38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

Sheet no.
DA.05

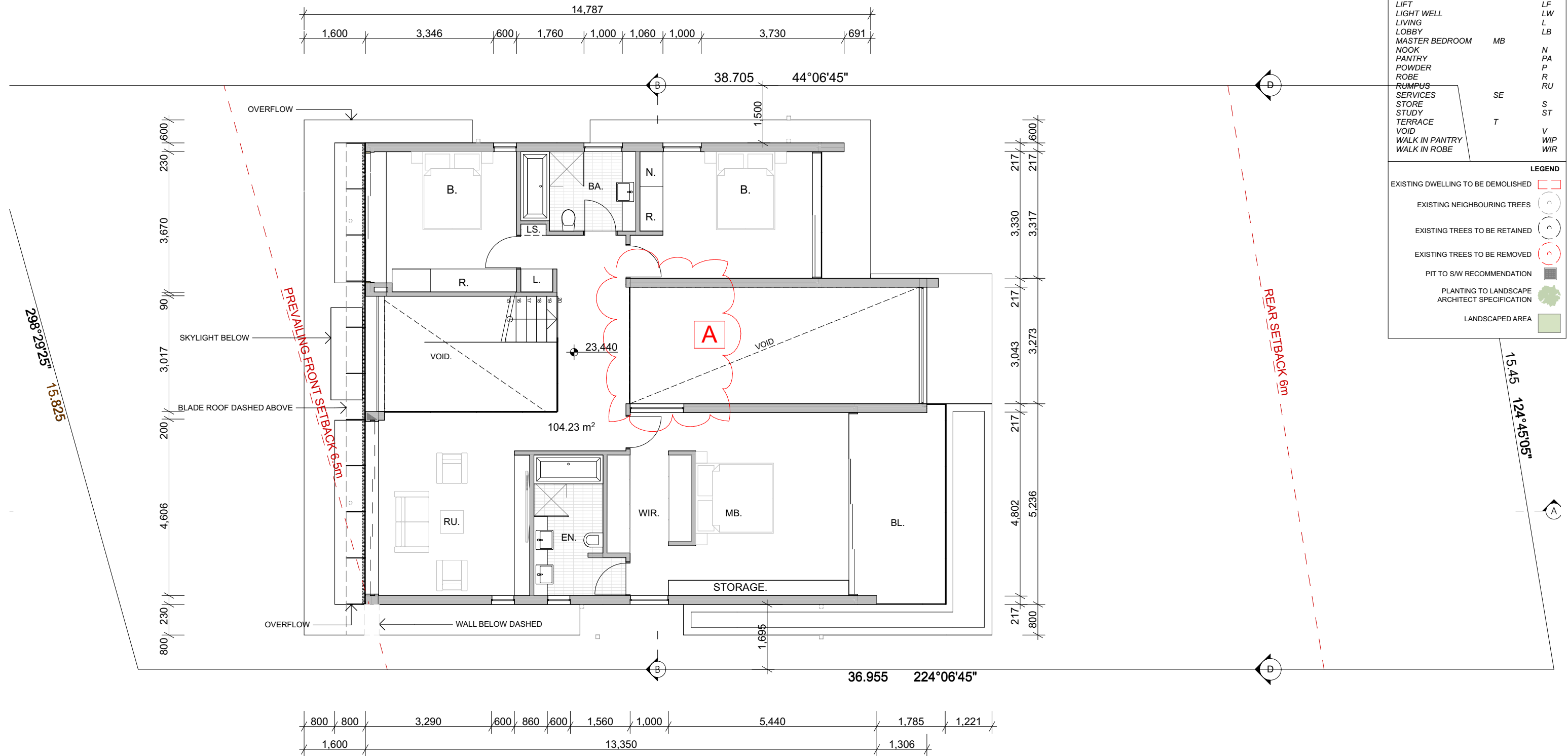
Job no.
2015DA

REVISION SCHEDULE

A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.

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FIRST FLOOR
1:100

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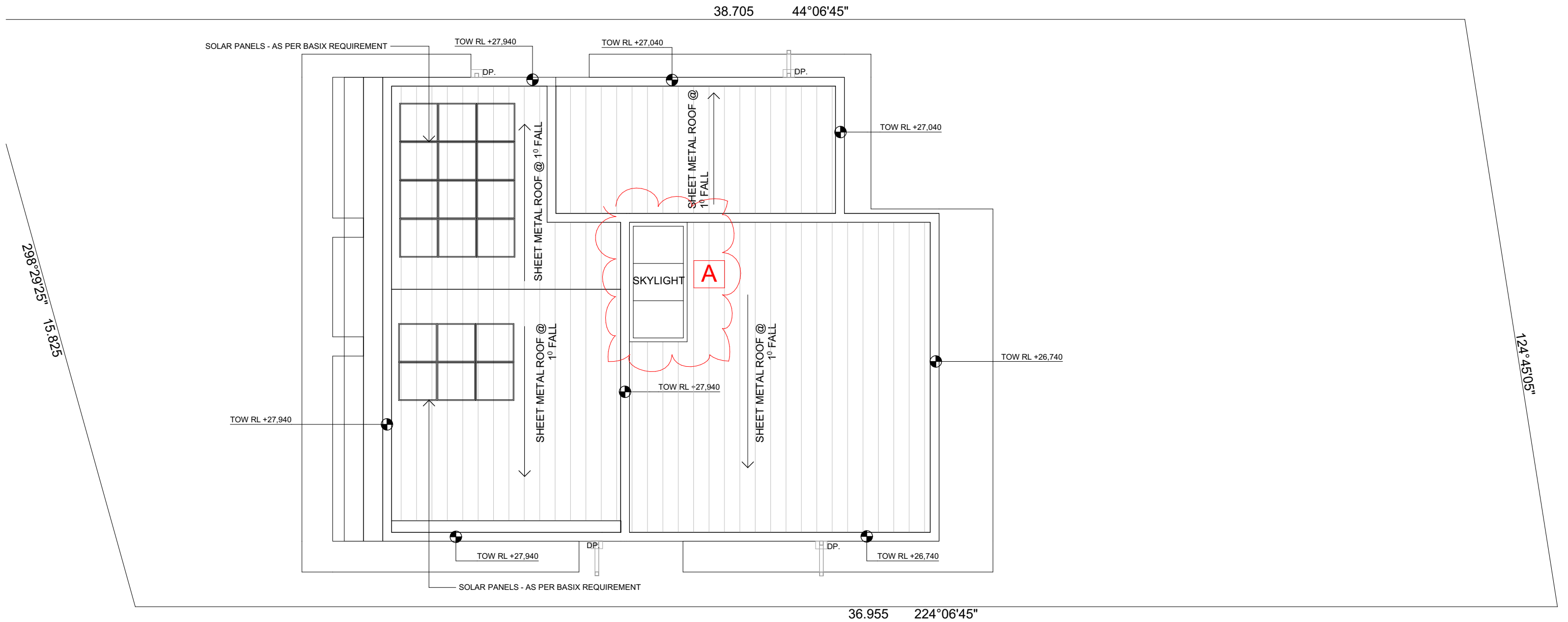
amendments			
Date	Issue	Description	
12/11/20	DA01	DEVELOPMENT APPLICATION ISSUE	
10/02/2021	DA.B	ISSUE B - RFI	
18/03/2021	DA.C	ISSUE C - STUDIO/REAR LANDSCAPE	
07/07/2021	DA.D	ISSUE D - Modification to approved DA	

Date	Issue	Description

DEVELOPMENT APPLICATION

Client GC & MC.	Project description NEW DWELLING HOUSE	Sheet no. DA.06
Drawing FIRST FLOOR PLAN	Project address 38 UNDERCLIFF ROAD FRESHWATER NSW 2096	Job no. 2015DA

REVISION SCHEDULE
A: Deletion of doors and windows to internal courtyard and addition of operable skylight to roof above. Void to first floor and all other floors retained. No increase to usable floor space provided.
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ROOF PLAN
1:100

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07/07/2021	DA.D	ISSUE D - Modification to approved DA

Date	Issue	Description

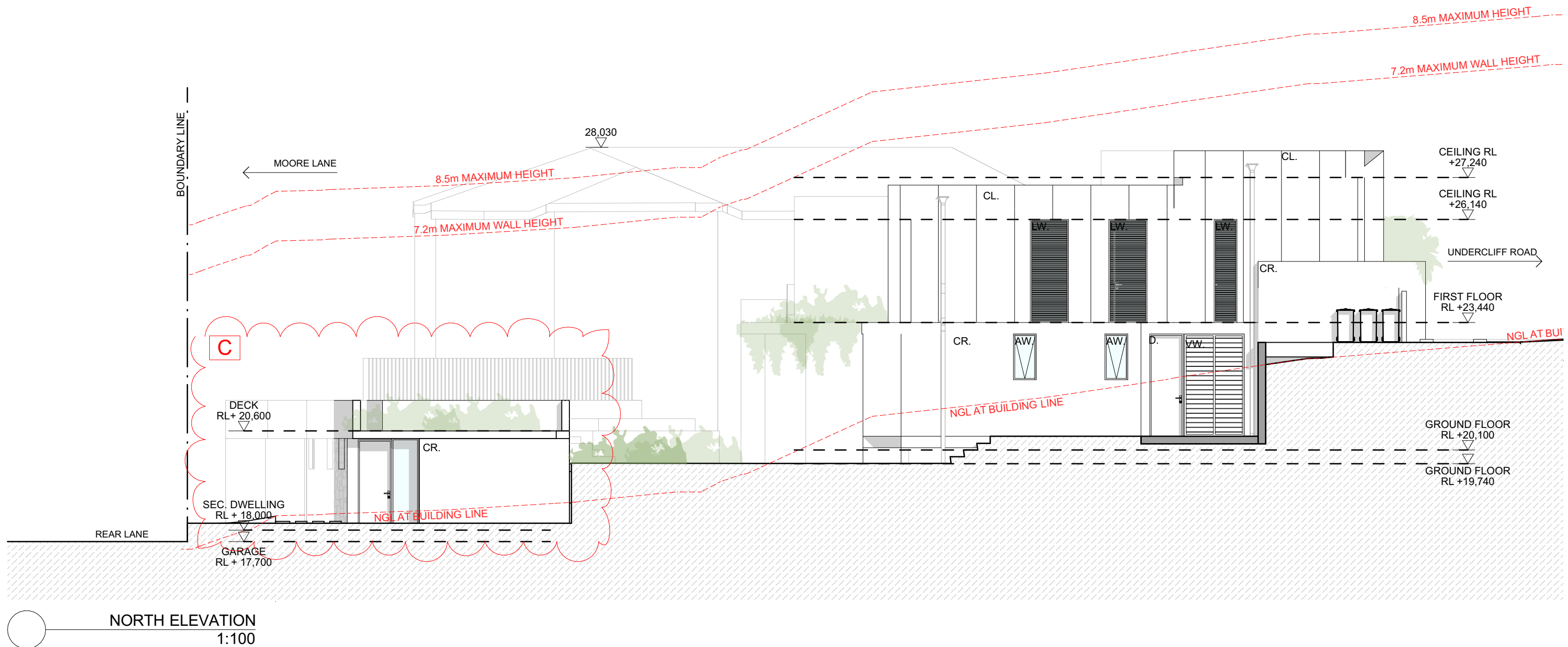
DEVELOPMENT APPLICATION		
Client GC & MC.	Project description NEW DWELLING HOUSE	Sheet no. DA.07
Drawing ROOF PLAN	Project address 38 UNDERCLIFF ROAD FRESHWATER NSW 2096	Job no. 2015DA

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B: Replacement of sliding doors with glass louvres.

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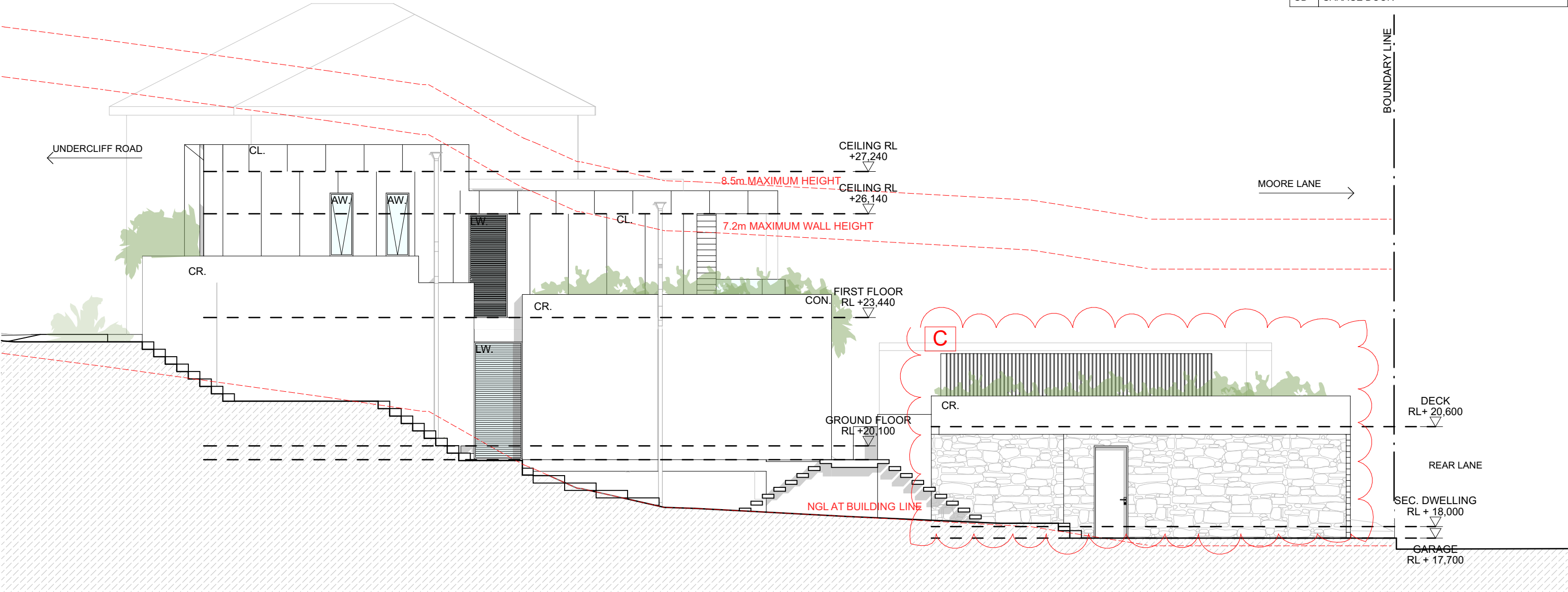
LEGEND	
AW	AWNING WINDOW (Aluminium windows, as selected)
BG	BOX GUTTER
C	CARPET
CL	CLADDING
CR	CEMENT RENDER
CW	CASEMENT WINDOW (Aluminium windows, as selected)
DP	DOWN PIPE
FB	FACE BRICK (As selected)
FRP	FACADE RENDERED & PAINTED FINISH
FW	FIXED WINDOW (Aluminium window, as selected)
GB	GLASS BALUSTRADING
LW	LOUVRE WINDOW
MB	METAL BALUSTRADING
MR	METAL ROOFING (As selected)
OB	OBSCURE GLASS
PS	PRIVACY SCREENING
PSE	PAINTED SLAB EDGE (As selected)
SD	SLIDING DOOR (Aluminium doors as selected)
SW	SLIDING WINDOW (Aluminium windows, as selected)
T	TILES (As selected)
TF	TIMBER FLOOR
VW	VENT WINDOW (Aluminium window, as selected)
GD	GARAGE DOOR



DEVELOPMENT APPLICATION

REVISION SCHEDULE
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BG	BOX GUTTER
C	CARPET
CL	CLADDING
CR	CEMENT RENDER
CW	CASEMENT WINDOW (Aluminium windows, as selected)
DP	DOWN PIPE
FB	FACE BRICK (As selected)
FRP	FACADE RENDERED & PAINTED FINISH
FW	FIXED WINDOW (Aluminium window, as selected)
GB	GLASS BALUSTRADING
LW	LOUVRE WINDOW
MB	METAL BALUSTRADING
MR	METAL ROOFING (As selected)
OB	OBSCURE GLASS
PS	PRIVACY SCREENING
PSE	PAINTED SLAB EDGE (As selected)
SD	SLIDING DOOR (Aluminium doors as selected)
SW	SLIDING WINDOW (Aluminium windows, as selected)
T	TILES (As selected)
TF	TIMBER FLOOR
VW	VENT WINDOW (Aluminium window, as selected)
GD	GARAGE DOOR



SOUTH ELEVATION
1:100

DEVELOPMENT APPLICATION

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07/07/2021	DA.D	ISSUE D - Modification to approved DA

Date	Issue	Description
29/04/2021	DA.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Client
GC & MC.

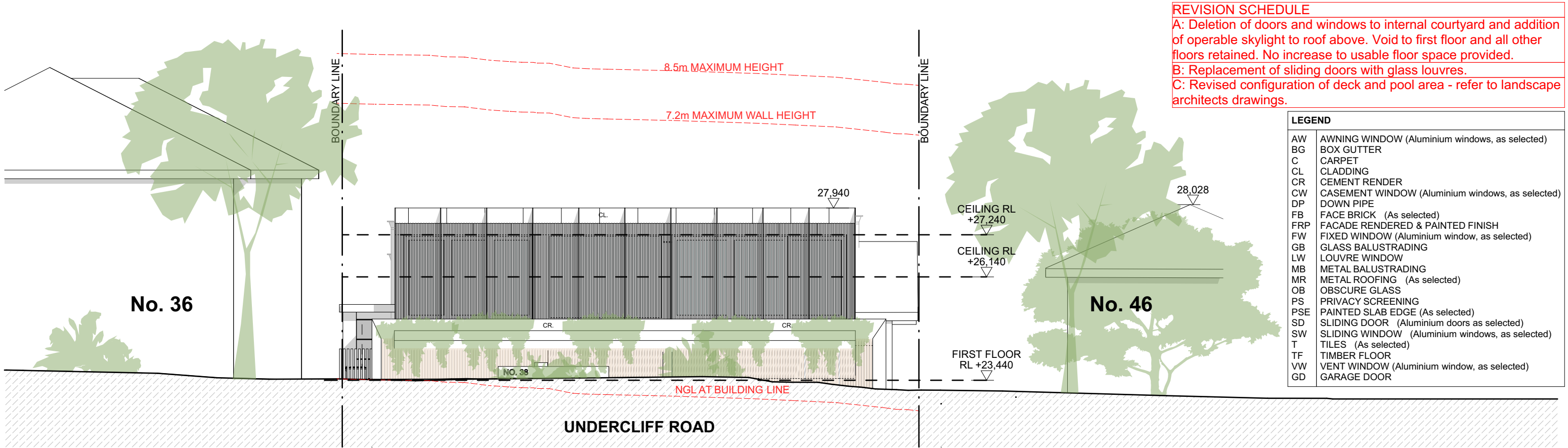
Drawing
ELEVATIONS

Project description
NEW DWELLING HOUSE

Project address
38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

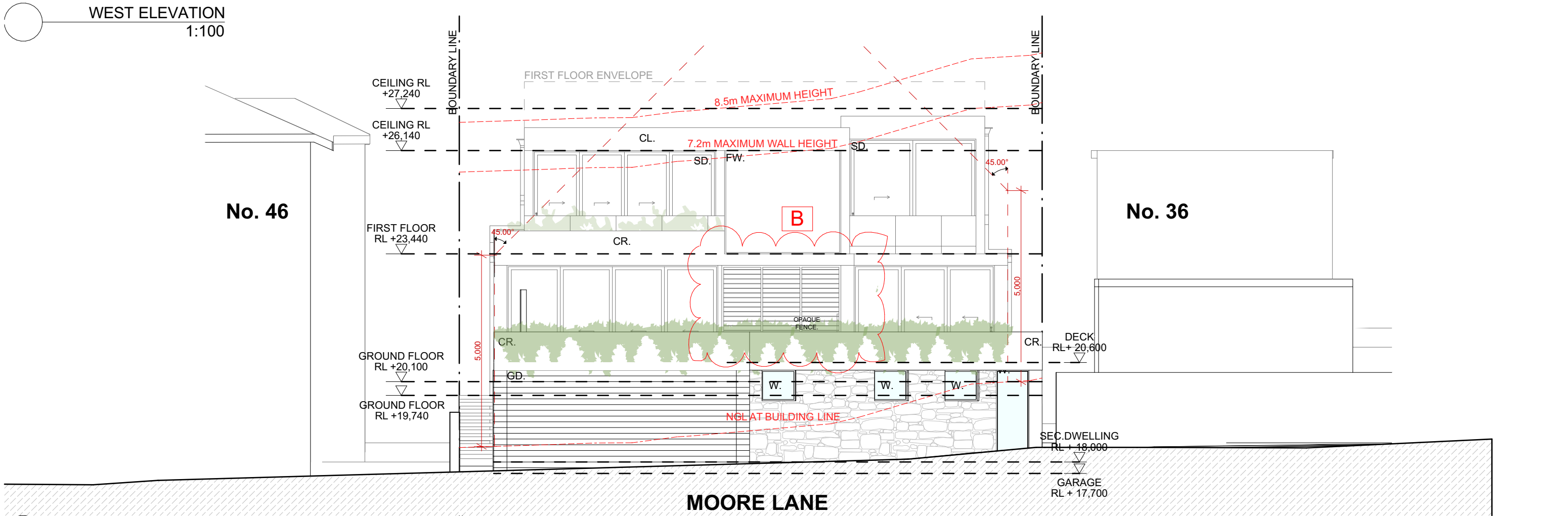
Sheet no.
DA.10

Job no.
2015DA



REVISION SCHEDULE	
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C:	Revised configuration of deck and pool area - refer to landscape architects drawings.

LEGEND	
AW	AWNING WINDOW (Aluminium windows, as selected)
BG	BOX GUTTER
C	CARPET
CL	CLADDING
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CW	CASEMENT WINDOW (Aluminium windows, as selected)
DP	DOWN PIPE
FB	FACE BRICK (As selected)
FRP	FACADE RENDERED & PAINTED FINISH
FW	FIXED WINDOW (Aluminium window, as selected)
GB	GLASS BALUSTRADING
LW	LOUVRE WINDOW
MB	METAL BALUSTRADING
MR	METAL ROOFING (As selected)
OB	OBSCURE GLASS
PS	PRIVACY SCREENING
PSE	PAINTED SLAB EDGE (As selected)
SD	SLIDING DOOR (Aluminium doors as selected)
SW	SLIDING WINDOW (Aluminium windows, as selected)
T	TILES (As selected)
TF	TIMBER FLOOR
VW	VENT WINDOW (Aluminium window, as selected)
GD	GARAGE DOOR



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29/04/2021	DA.D	ISSUE D - REVISED STUDIO/GARAGE ORIENTATION IN RESPONSE TO PLANNING PANEL COMMENTS

Client

GC & MC.

Drawing

ELEVATIONS

Project description

NEW DWELLING HOUSE

Project address

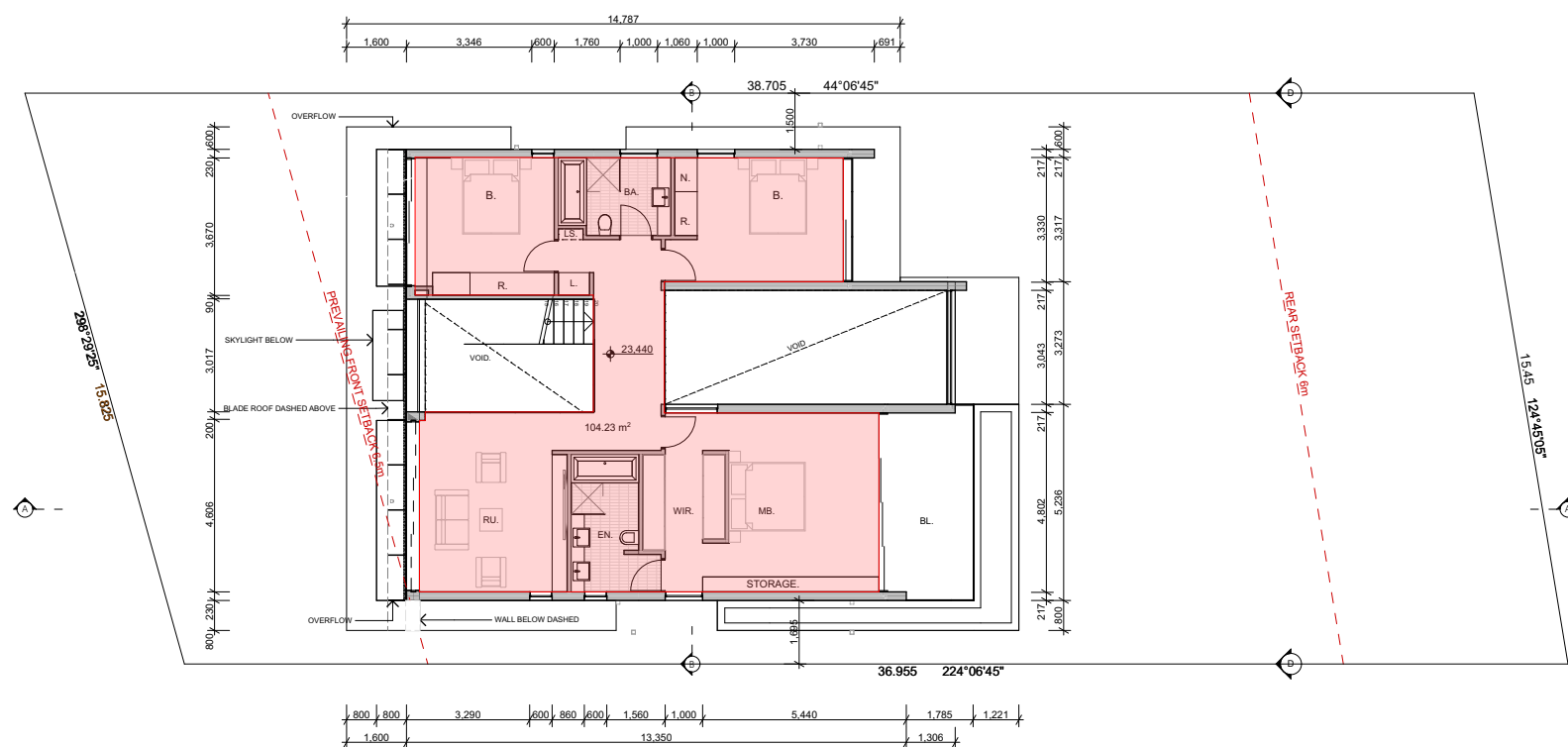
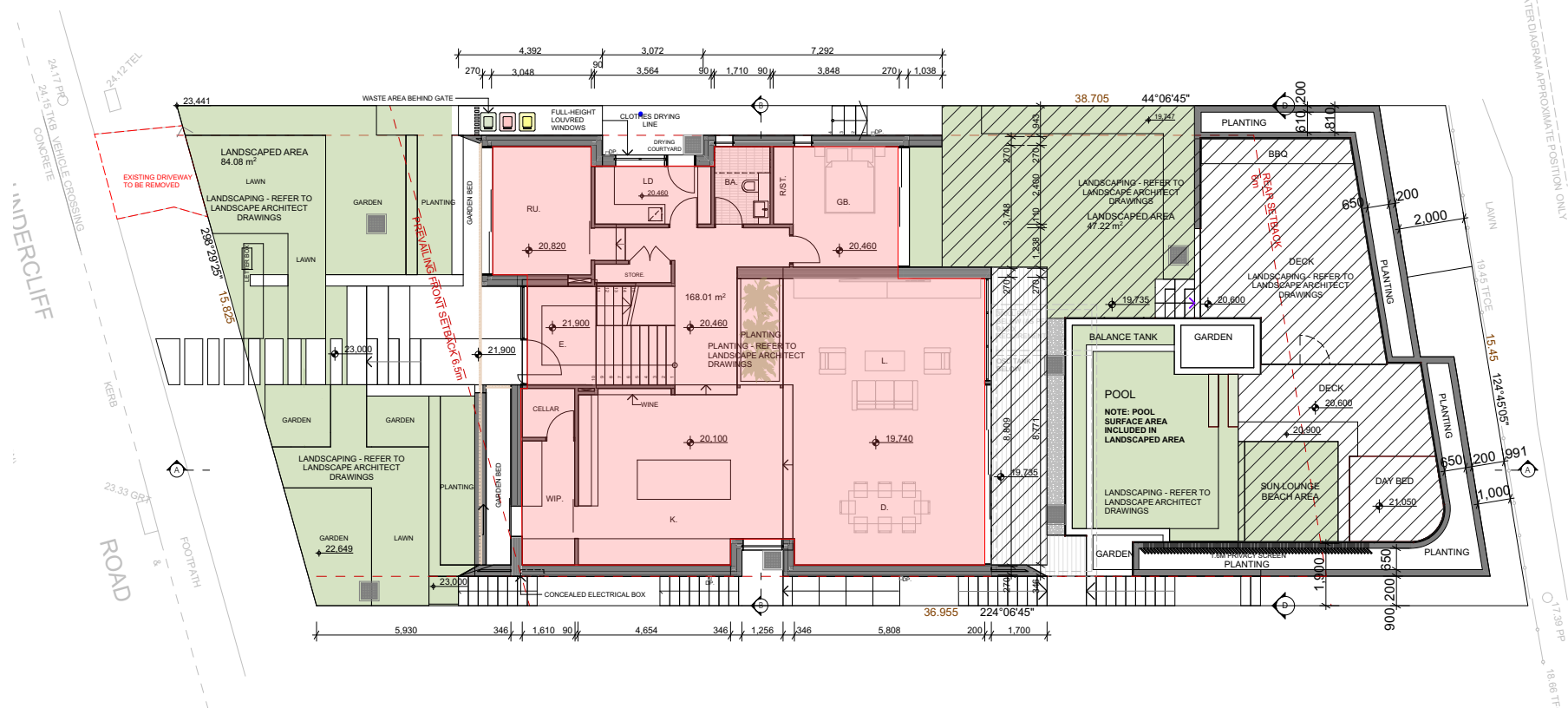
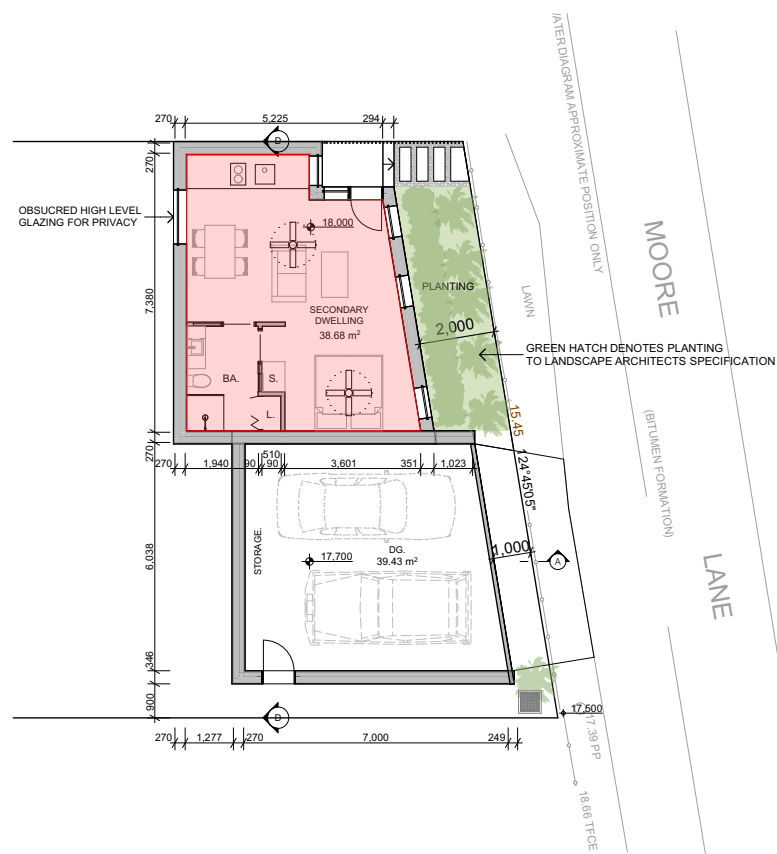
38 UNDERCLIFF ROAD
FRESHWATER NSW 2096

Sheet no.


DA.11


Job no.


2015DA



LEGEND

 GROSS FLOOR AREA

 LANDSCAPE AREA

 PRIVATE OPEN SPACE

GFA BY STOREY	
STOREY	AREA
BASEMENT	38.68
GROUND FLOOR	168.01
FIRST FLOOR	104.23
	310.92 m²

LANDSCAPE	
STOREY	AREA
BASEMENT	13.05
GROUND FLOOR	168.27
	181.32 m²

PRIVATE OPEN SPACE	
STOREY	AREA
GROUND FLOOR	113.42
	113.42 m²

DEVELOPMENT APPLICATION