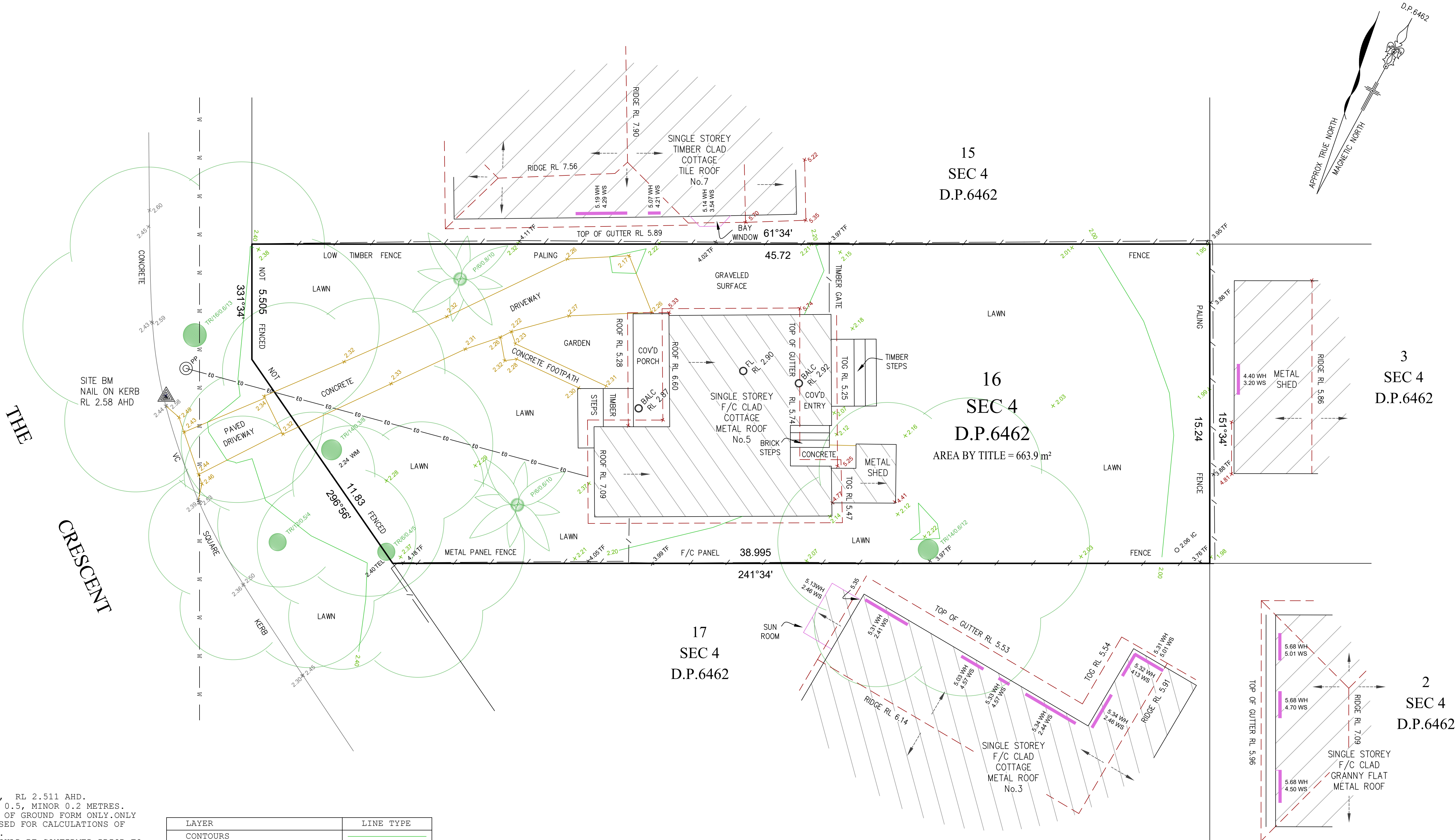
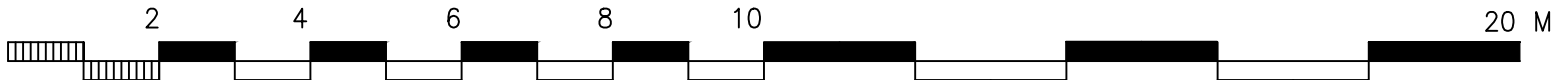


A1

1:100@A1
1:200@A3



NOTES:

1. ORIGIN OF LEVELS PM5270, RL 2.511 AHD.
2. CONTOUR INTERVAL, MAJOR 0.5, MINOR 0.2 METRES.
3. CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
4. CRITICAL SPOT LEVELS SHOULD BE CONFIRMED PRIOR TO ANY DESIGN OR CONSTRUCTION.
5. THIS DRAWING MUST BE PRINTED IN COLOUR.
6. TOP OF WALLS AND FENCES ARE INDICATIVE IN NATURE AND AS SUCH ARE ONLY RELIABLE AT THE LOCATIONS INDICATED.
7. UNDERGROUND SERVICE LINES HAVE BEEN DIAGRAMMATICALLY GEO-REFERENCED FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS AND AS SUCH ARE AN APPROXIMATE LOCATION ONLY, IN REGARD TO THEIR POSITION AND WIDTH UNLESS STATED OTHERWISE. IF EXCAVATION IS REQUIRED IT IS RECOMMENDED THAT A FULL UTILITY INVESTIGATION BE UNDERTAKEN SUBJECT TO S149 OF THE EP&A, IN CONJUNCTION WITH A LOCATION SURVEY BEFORE CONSTRUCTION COMMENCES.
8. ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE AT THE LAND TITLES OFFICE.
9. WALL TO BOUNDARY DIMENSIONS SHOWN ON THIS PLAN MUST NOT BE USED FOR CONSTRUCTION PURPOSES. IF CONSTRUCTION IS INTENDED FOR THE SUBJECT PROPERTY ON OR NEAR THE BOUNDARIES, THE BOUNDARIES MUST BE MARKED.
10. TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
11. THE POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY.
12. COPYRIGHT(2019) H&S LAND SURVEYORS PTY LTD. "ALL RIGHTS RESERVED"

LAYER	LINE TYPE
CONTOURS	
EDGE OF PAVING AND CONCRETE	
ELECTRICITY OVERHEAD	EO EO
FENCE	/ - / -
GARDEN	-----
ROAD	
ROOF LINE	- - - - -
SEWER UNDERGROUND	- - s - - - s - -
WALLS AND RETAINING WALLS	- - - - -
WATER MAINS	- - w - - - w - -
WINDOWS AND DOORS	- - - - -
PALM P/CANOPY/TRUNK DIAMETER/HEIGHT	
TREE TR/CANOPY/TRUNK DIAMETER/HEIGHT	
ROOF FALL INDICATOR	

LEGEND

- | | |
|-----------------------|------------------------------|
| AC - AIR CONDITIONER | PA - PARAPET |
| BF - BOTTOM OF FENCE | PB - POWER BOX |
| BI - BITUMEN | PC - PEDESTRIAN CROSSING |
| BL - BALCONY | PP - POWER POLE |
| BW - BOTTOM OF WALL | RR - ROOF RIDGE |
| DH - DOOR HEAD LEVEL | SLH - SEWER LAMP HOLE |
| DS - DOOR SILL LEVEL | SMH - SEWER MANHOLE |
| EB - ELECTRICITY BOX | SO - STORMWATER OUTLET |
| EP - ELECTRICITY PIT | ST - STAIRS |
| FL - FLOOR LEVEL | SV - STOP VALVE |
| GS - GAS SERVICE | TEL - TELECOMMUNICATIONS PIT |
| GUT - GUTTER | TF - TOP OF FENCE |
| GP - GULLY PIT | TW - TOP OF WALL |
| HW - HOT WATER SYSTEM | VC - VEHICLE CROSSING |
| HYD - HYDRANT | WAS - WATER SERVICE |
| IC - INSPECTION COVER | WH - WINDOW HEAD |
| LP - LIGHT POLE | WS - WINDOW SILL |
| MH - MANHOLE | |



DATE OF REVISION:16/08/2019	LGA:NORTHERN BEACHES
REVISION: A	SURVEYED:JS
DATE OF SURVEY:14/08/2019	DRAWN:JS
HORIZONTAL DATUM: N/A	CHECKED:GH
VERTICAL DATUM: AHD	SCALE @ A3 - 1:200
SHEET 1 OF 1 SHEETS	SCALE @ A1 - 1:100

CLIENT: WARWICK GAINFORT PENINSULA CARPENTRY AND CONSTRUCTION 11/40-42 EVANS STREET, FRESHWATER	
SURVEY PLAN SHOWING DETAIL & LEVELS OVER LOT 16 IN SEC 4 IN D.P.6462 5 THE CRESCENT, NARRABEEN NSW 2101	
SITE AREA:663.9m ² REFERENCE: 19016	
 LAND SURVEYORS . PTY LTD ABN: 90 631 354 286 E-MAIL: info@hslandsurveyors.com.au	