



NEW  
PARADIGM  
DESIGN



# PROPOSED NEW RESIDENCE

for Sophia & Stuart Naylor - 2 Prince Edward Rd Seaforth NSW

DRAWING REGISTER (A3) & REVISION

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Artist Impressions are indicative only and construction detail is not to be assumed - final finishes & details may vary

REV. ID	ISSUE	DATE
C	AMENDMENT 2	24/5/2024
D	DA ISSUE DRAWINGS	2/8/2024
E	LANDSCAPING AREAS AMENDED	27/9/2024
F	CLADDING AMENDMENT	31/10/2024
G	PRELIMINARY WORKING DRAWINGS	6/11/2024
H	PRELIMINARY WORKING DRAWINGS	13/11/2024
I	PRELIMINARY WORKING DRAWINGS	20/1/2025
J	PLANNING ISSUE - RFI	7/4/2025
K	PLANNING ISSUE - RFI	14/4/2025
L	PLANNING / FSR PLAN	14/4/2025
M	DRIVE SECTION	22/4/2025

DA ISSUE REVISION M -  
Tuesday, 22 April 2025



DA PRELIMINARY WORKING DRAWINGS ONLY - NOT FOR CONSTRUCTION OR TENDER



CORNER LISTER AVE &  
PRINCE EDWARD RD VIEW

Artist Impressions are indicative only and construction detail  
is not to be assumed - final finishes & details may vary

LISTER AVENUE VIEW







PRINCE EDWARD RD VIEW

Artist Impressions are indicative only and construction detail  
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PRINCE EDWARD RD VIEW





existing dwelling/s and structures to be demolished  
and removed from site to allow for construction of new  
dwelling/s - pending council approval  
trees in red to be demolished subject to council  
approval

ADDRESS: 2 Prince Edward Rd Seaforth NSW  
SITE AREA: 494 M<sup>2</sup>  
LOT NUMBER: LOT 28F  
PLAN NUMBER: DP 16341  
PARISH: -  
COUNTY: -  
LOCAL AUTHORITY: Northern Beaches Council  
SITE COVERAGE: 51.7 %



## 200



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- WINDOWS DIMENSIONED AS HEIGHT x WIDTH
- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

**S TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL**

REV. ID	ISSUE	DATE
J	PLANNING ISSUE - RFI	7/4/2023
K	PLANNING ISSUE - RFI	14/4/2023
L	PLANNING / FSR PLAN	14/4/2023

2 Prince Edward Rd  
Seaforth NSW

d	SCALE:
V	1:200 A3



**SITE GENERAL NOTES:**

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
2. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. LEVELS AND CONTOURS ARE BASED ON ASSUMED DATUM.
4. VEHICULAR CROSS OVERS TO BE CONSTRUCTED AS PER LOCAL COUNCIL REQUIREMENTS AND/OR APPROVAL.
5. THIS SITE PLAN IS A TRANSCRIPTION OF THE ORIGINAL CONTOUR/ID SURVEY OR SITE PLAN, THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO SITE START AND ANY DISCREPANCY RESOLVE WITH THIS OFFICE PRIOR TO CONSTRUCTION.
6. IT IS REQUIRED TO PROVIDE NEW PARADIGM DESIGN A NEW CONTOUR AND/OR IDENTIFICATION SURVEY PLAN PRIOR TO FINALISATION OF WORK.
7. SEWER TO HOUSE CONNECTION SPIGOT AND WATER MAIN TO HOUSE CONNECTION PLOTTED FROM GCCC INFRASTRUCTURE ASSET MAPPING - INDICATIVE ONLY, WHERE NO DETAIL SURVEY PROVIDED. SUBJECT TO SURVEY AND SERVICE LOCATION.

**SITE PREPARATION & DRAINAGE NOTES:**

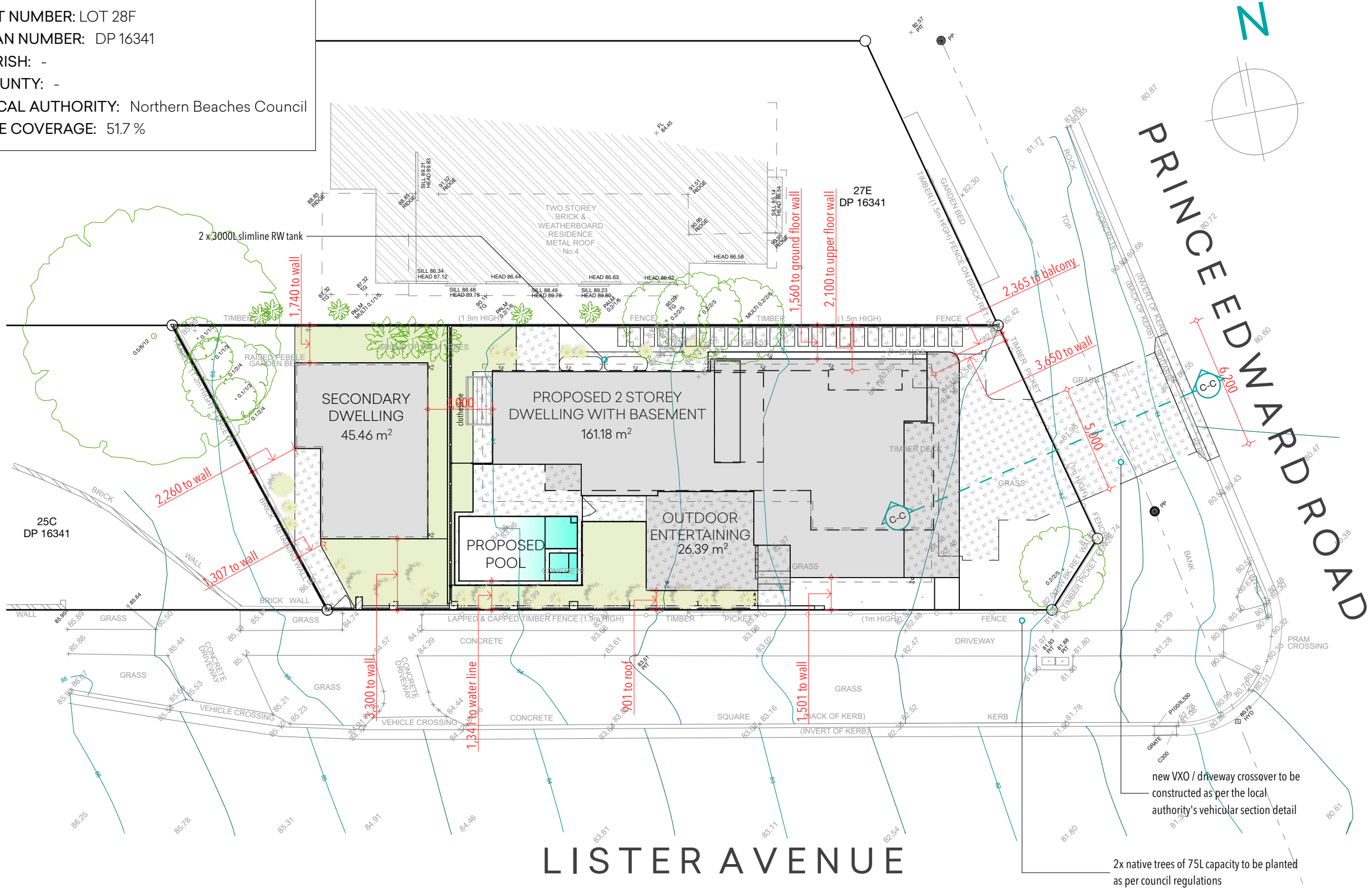
1. ROOFWATER TO BE PIPED VIA 100mm Ø PVC PIPE TO COUNCIL STORMWATER DRAINAGE SYSTEM OR ON SITE RAIN WATER TANKS IF APPLICABLE, WITH OVERFLOW TO DIRECT TO RUBBLE PITS OR COUNCIL DISCHARGE SYSTEM AS PER APPROVAL REQUIREMENTS.
2. ROOF AND SURFACE WATER TO COMPLY WITH COUNCIL PLUMBING AND DRAINAGE SERVICES CONDITIONS OF APPROVAL.
3. ALL HOUSEHOLD SEWER AND WASTE TO BE DISCHARGED TO COUNCIL SEWER SYSTEM OR ON SITE SEWERAGE FACILITY IF APPLICABLE - OSSFT TO BE REVIEWED BY A QUALIFIED CONSULTANT
4. SITE CLASSIFICATION AND FOOTING/SLAB PREPARATION REFER [NCC 2022 VOL 2. HOUSING PROVISIONS PART 4.2.](#)
5. ALL GUTTERS AND DOWNPIPES TO ADHERE TO [NCC 2022 VOL 2. H2D6 & HOUSING PROVISIONS PART 7.4.](#)
6. ON SITE RAIN WATER HARVESTING WHERE NOT DIRECT LINES FROM ROOF/GUTTER TO HAVE CHARGED LINES. REFER MANUFACTURER INSTALLATION & SPECIFICATIONS.
7. ALL RETAINING WALLS GREATER THAN 1,000 IN HEIGHT TO BE DESIGNED BY A REGISTERED PRACTISING STRUCTURAL ENGINEER (RPEQ).

**TERMITE PROTECTION:**

1. TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3660 2014 & AS3600.1/2009. - REFER TO CONDITIONS OF APPROVAL
2. ALL TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
3. TERMITE MANAGEMENT SYSTEMS TO [NCC 2022 VOL 2 H1D3 & HOUSING PROVISIONS PART 3.4.2.](#)

**REAL PROPERTY DESCRIPTION**

ADDRESS: 2 Prince Edward Rd Seaforth NSW  
SITE AREA: 494 M<sup>2</sup>  
LOT NUMBER: LOT 28F  
PLAN NUMBER: DP 16341  
PARISH: -  
COUNTY: -  
LOCAL AUTHORITY: Northern Beaches Council  
SITE COVERAGE: 51.7 %



**SITE PLAN**

1: 200



NEW PARADIGM DESIGN PTY LTD®

Office 07 5654 5141 M 0412 495 878  
hi@newparadigmdesign.com.au  
1/2544 GOLD COAST HIGHWAY MERMAID BEACH 4218  
QBCC LIC 1519 5787

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5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600.1/2009(A)&(B)  
6. ALL PROPOSED WORKS TO BE APPROVED BY A LICENCED CERTIFIER PRIOR TO CONSTRUCTION & ALL STRUCTURAL WORK SUBJECT TO ENGINEER DESIGN & SPECS.

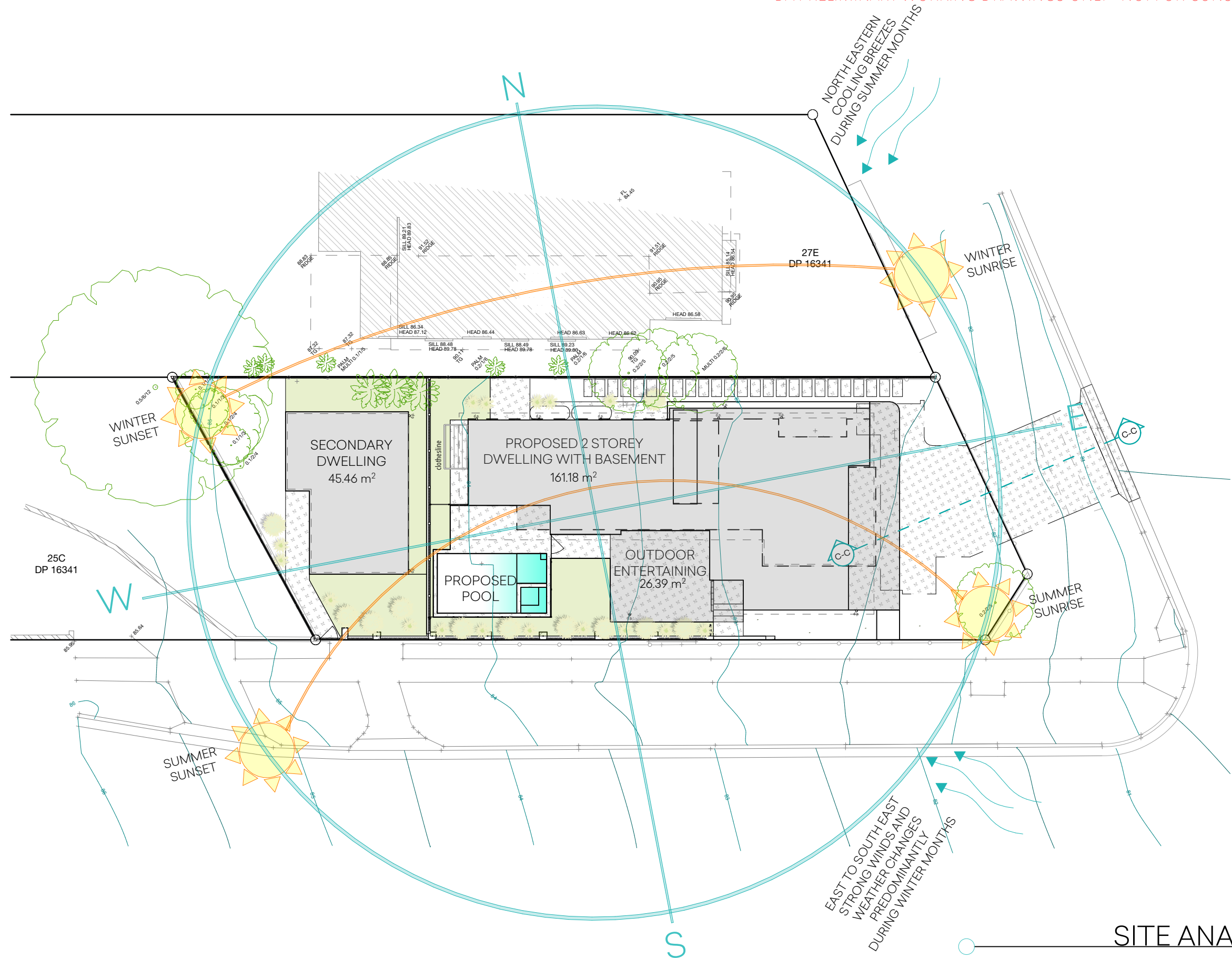
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PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE:
PROPOSED SITE PLAN
SCALE: 1:200 A3

SHEET NO.





## SITE ANALYSIS PLAN

1: 200

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PROPOSED NEW  
RESIDENCE

CLIENT:  
Sophia & Stuart Naylor

SITE ADDRESS:  
2 Prince Edward Rd  
Seaforth NSW

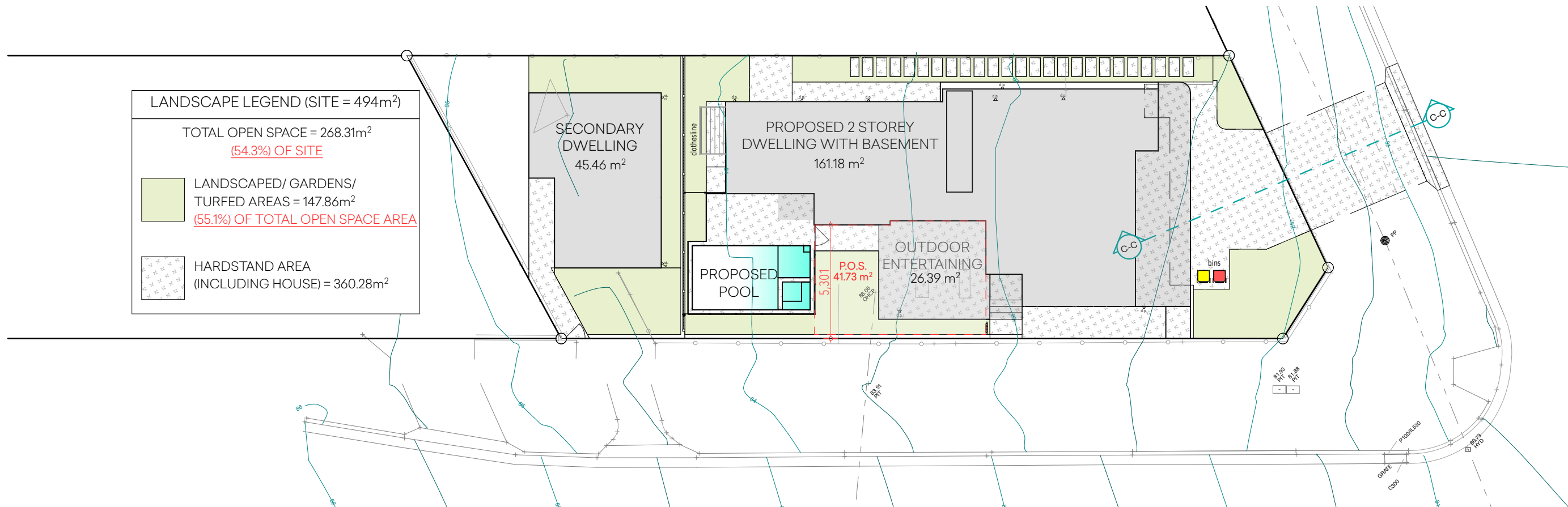
DRAWING TITLE:

SITE ANALYSIS PLAN

SCALE:  
1:200 A3

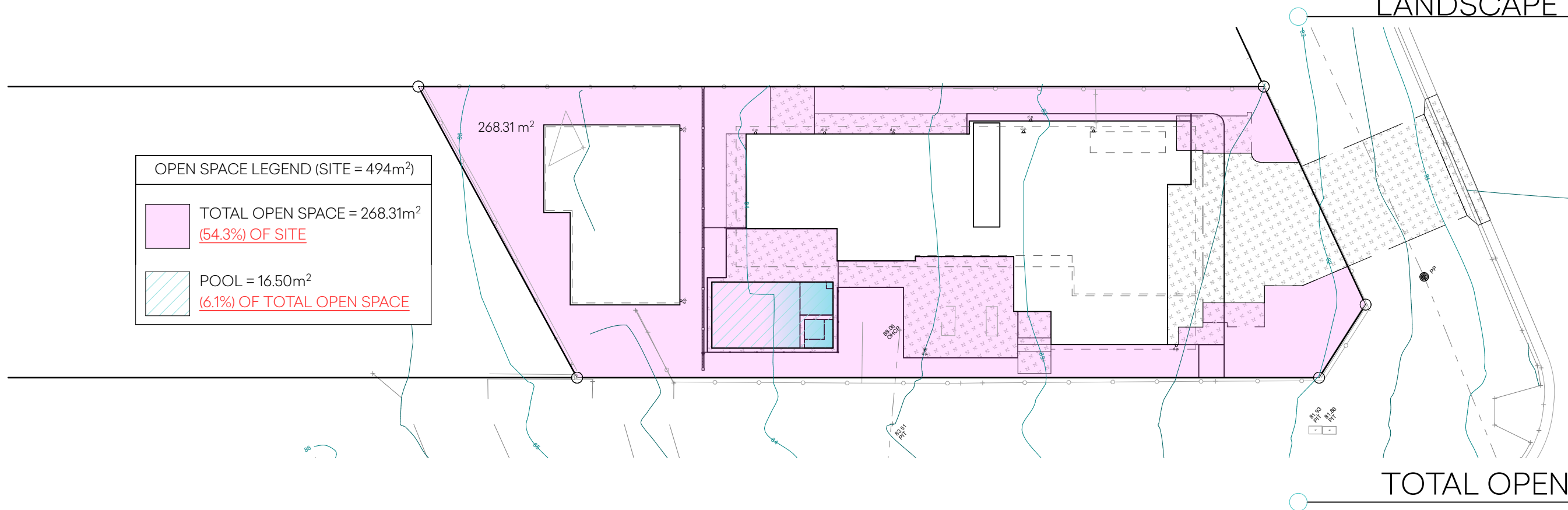
SHEET NO.





# LANDSCAPE INTENT PLAN

1: 200




TOTAL OPEN SPACE PLAN


1:200





FLOOR AREA SCHEDULE		
Basement Level		
New	Garage / Cellar	90.4
Ground Floor Level		
New	Balcony	23.4
New	Living	129.7
New	Outdoor Living	23.2
New	Second Dwelling Living	45.5
First Floor Level		
New	Balcony	6.8
New	Living	101.5
		420.5 m²


FLOOR PLAN LEGEND


 SMOKE ALARM PHOTOELECTRIC

 DOWNPIPE LOCATION

 HOT WATER SERVICE

 ELECTRICAL METERBOARD TBD

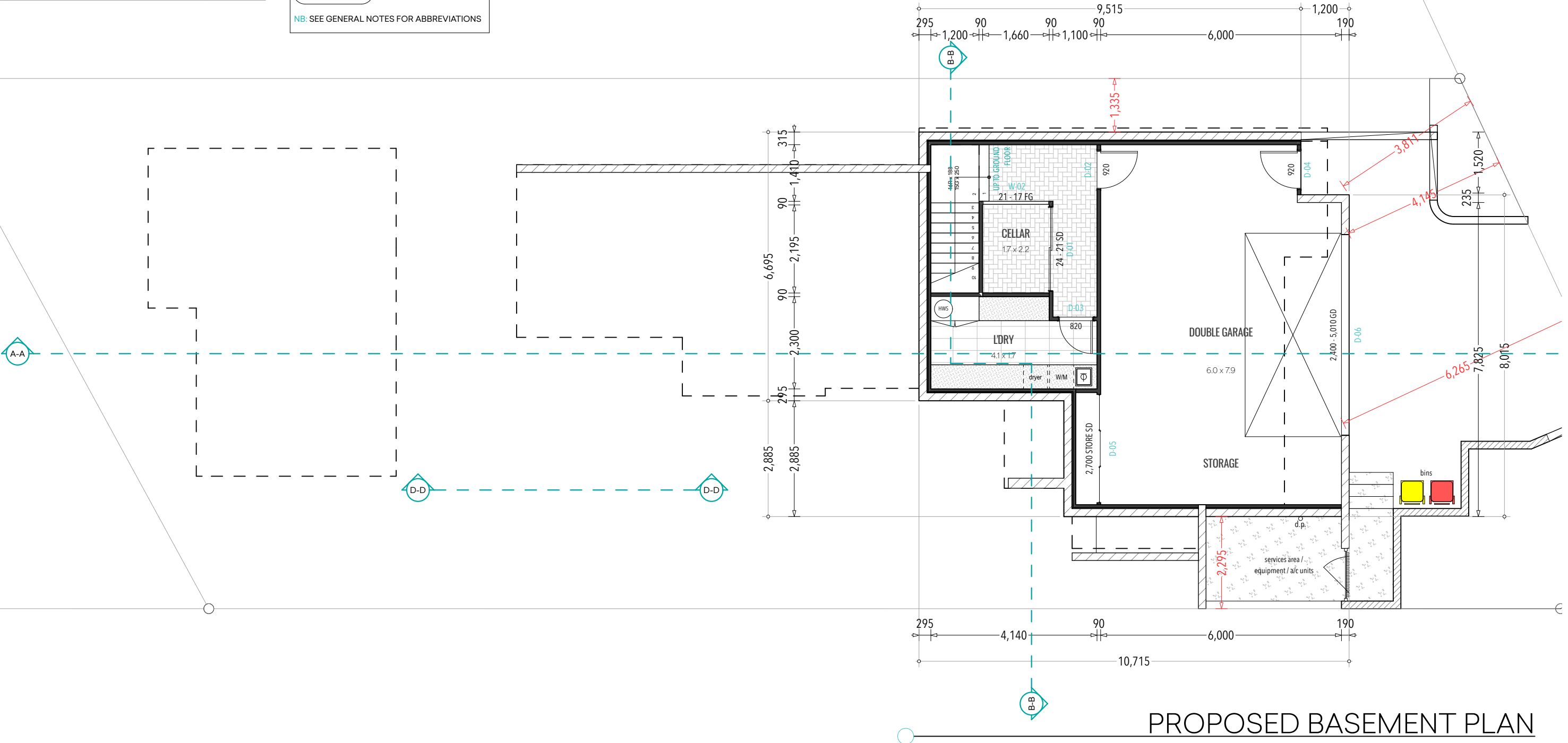
 POOL FILTER

 RAINWATER TANKS

NB: SEE GENERAL NOTES FOR ABBREVIATIONS

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N



PROPOSED BASEMENT PLAN

1:100



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PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE:
BASEMENT FLOOR PLAN
SCALE: 1:100, 1:1 A3

SHEET NO.



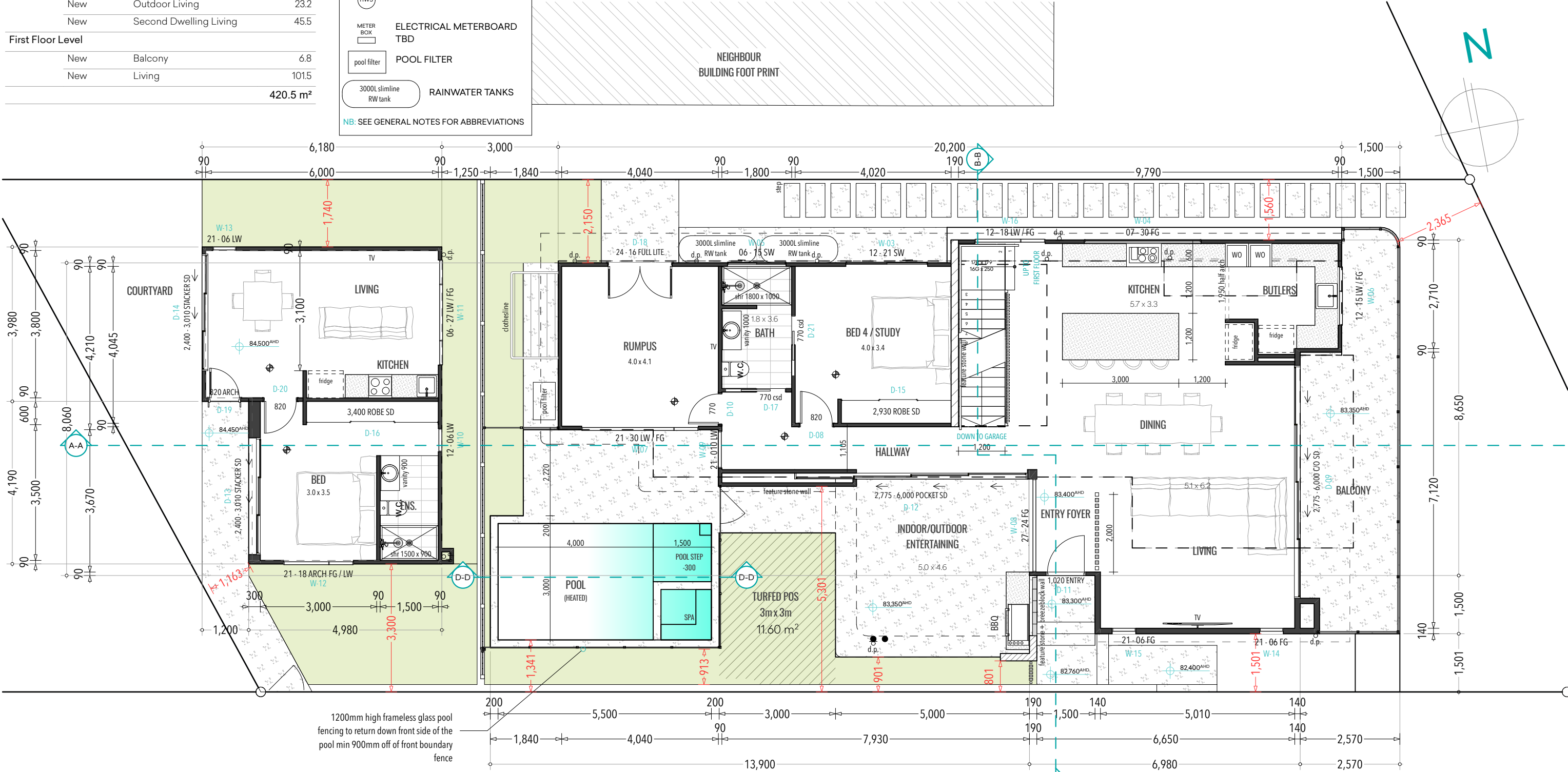
FLOOR AREA SCHEDULE

Basement Level		
New	Garage / Cellar	90.4
Ground Floor Level		
New	Balcony	23.4
New	Living	129.7
New	Outdoor Living	23.2
New	Second Dwelling Living	45.5
First Floor Level		
New	Balcony	6.8
New	Living	101.5
		420.5 m²

FLOOR PLAN LEGEND

- SMOKE ALARM PHOTOELECTRIC
  - DOWNPIPE LOCATION
  - HOT WATER SERVICE
  - ELECTRICAL METERBOARD TBD
  - POOL FILTER
  - RAINWATER TANKS
- NB: SEE GENERAL NOTES FOR ABBREVIATIONS

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PROPOSED FLOOR PLAN

1:100



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DRAWING TITLE:
GROUND FLOOR PLAN
SCALE: 1:100, 1:1 A3


SHEET NO.





FLOOR AREA SCHEDULE


Basement Level		
New	Garage / Cellar	90.4
Ground Floor Level		
New	Balcony	23.4
New	Living	129.7
New	Outdoor Living	23.2
New	Second Dwelling Living	45.5
First Floor Level		
New	Balcony	6.8
New	Living	101.5
		420.5 m²


**FLOOR PLAN LEGEND**


 SMOKE ALARM PHOTOELECTRIC

 DOWNPIPE LOCATION

 HOT WATER SERVICE

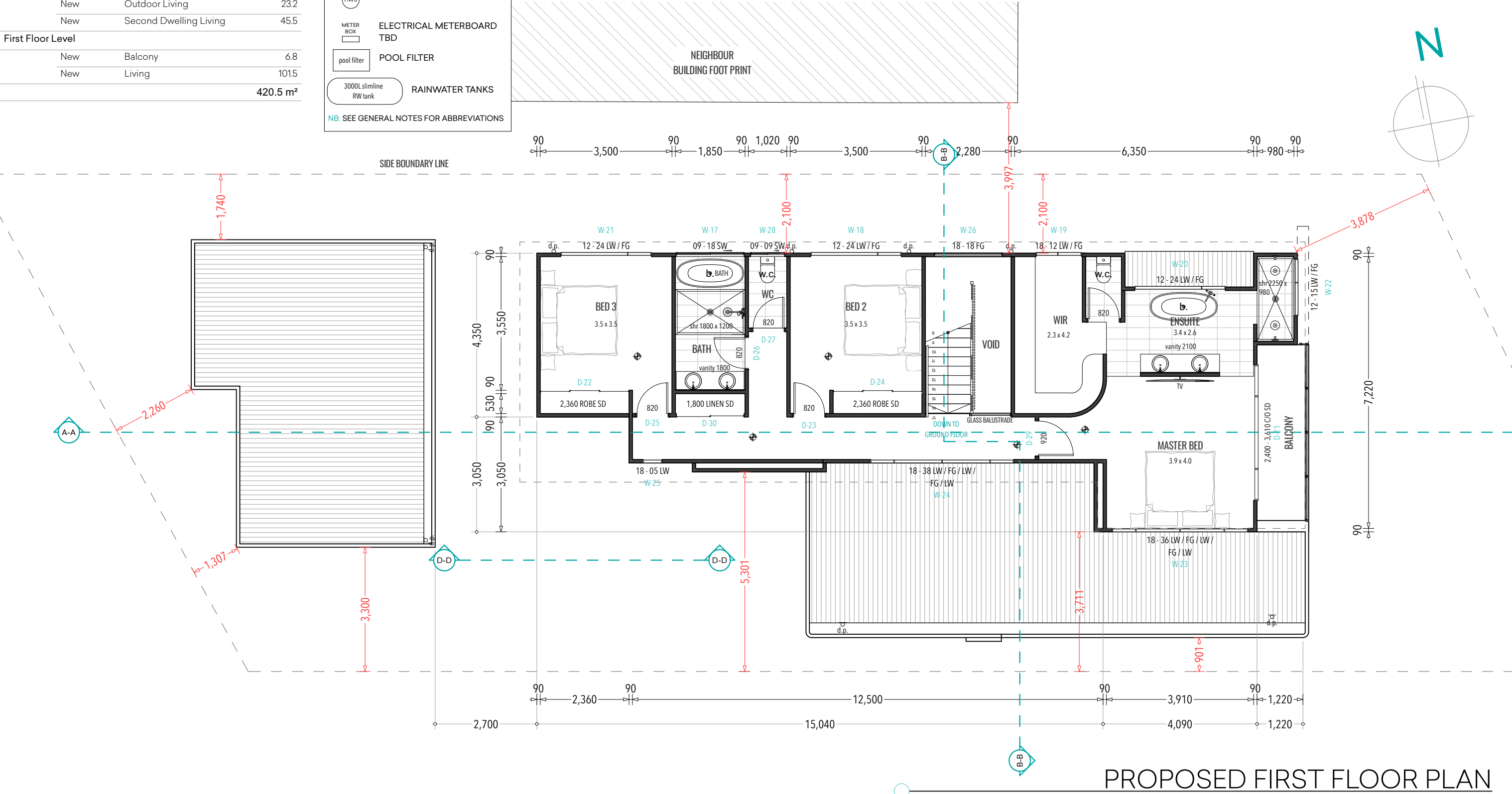
 ELECTRICAL METERBOARD TBD

 POOL FILTER

 3000L slimline RW tank RAINWATER TANKS

NB: SEE GENERAL NOTES FOR ABBREVIATIONS

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PROPOSED FIRST FLOOR PLAN

1:100



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FIRST FLOOR PLAN
SCALE: 1:100, 1:1 A3

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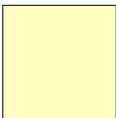


FLOOR SPACE RATIO CALCULATIONS

AREA 'C' ON THE LEP LSZ MAP = 0.45 FSR

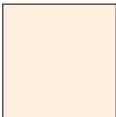
$0.45 \times 500\text{m}^2 = 225\text{m}^2 \text{ of GFA}$

BASEMENT AREAS (NOT INCLUDED)



PROPOSED BASEMENT = 74.16m<sup>2</sup>

GROSS FLOOR AREA CALCULATIONS



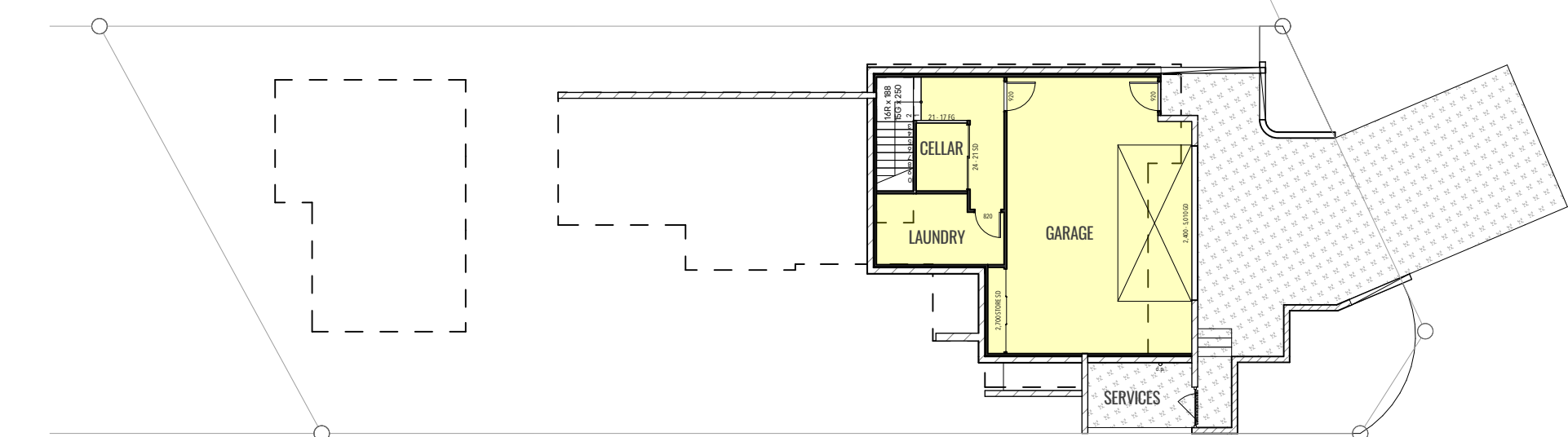
PROPOSED GROUND FLOOR = 156.81m<sup>2</sup>

PROPOSED FIRST FLOOR = 89.26m<sup>2</sup>

TOTAL PROPOSED GFA = 246.07m<sup>2</sup>

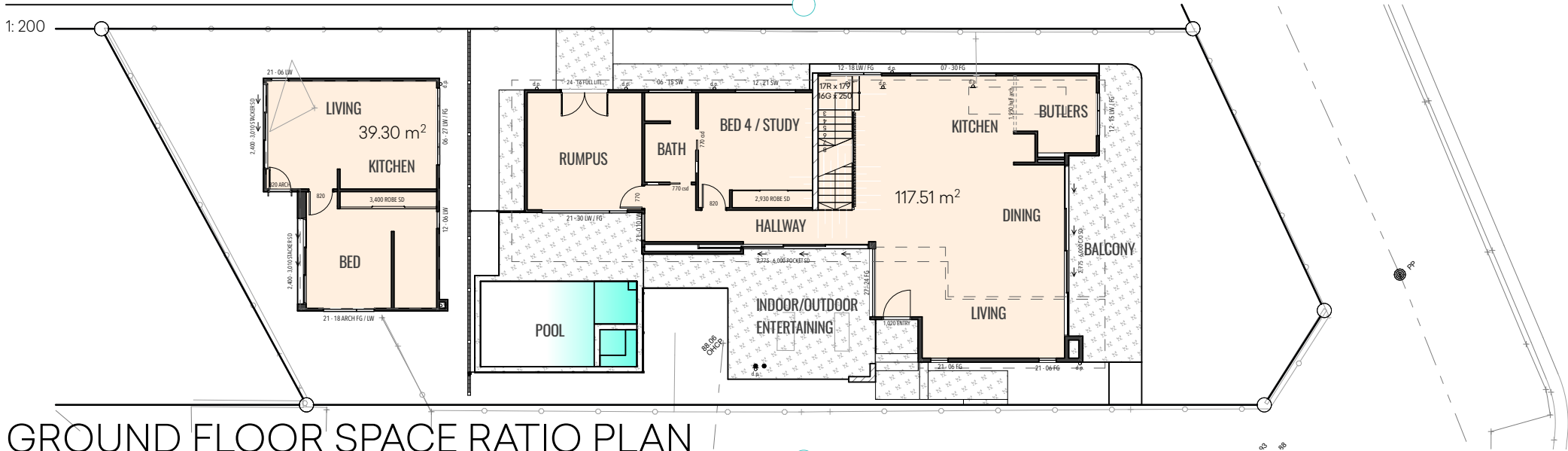
TOTAL ALLOWED = 225m<sup>2</sup>

TOTAL VARIATION = 9.4%



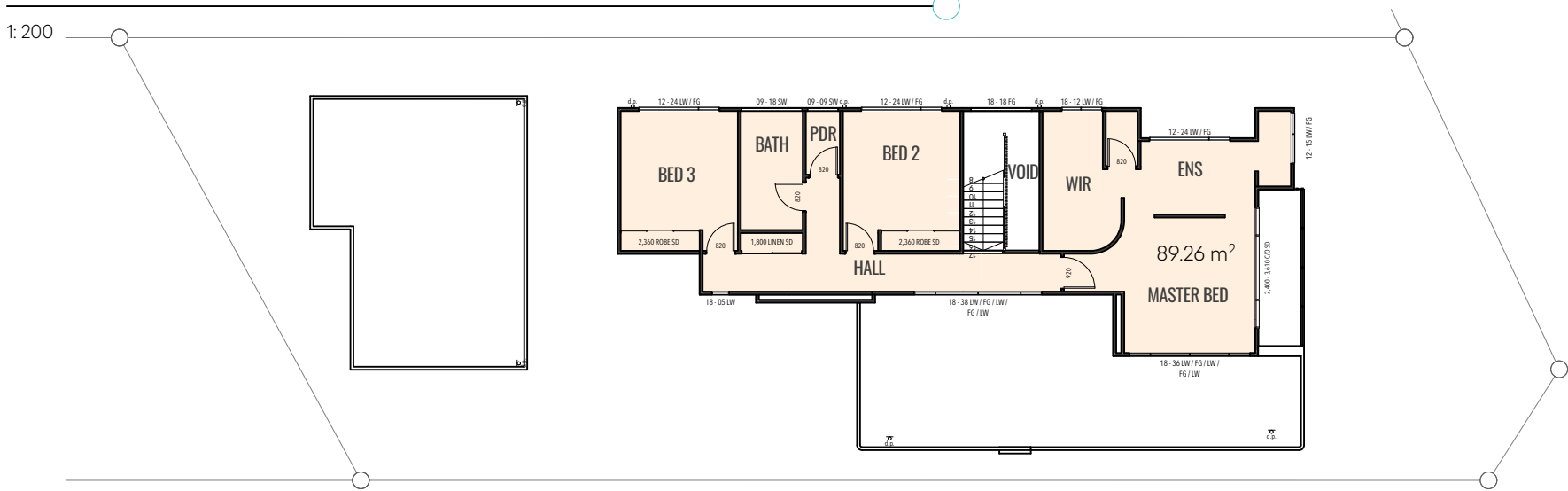
BASEMENT FLOOR SPACE RATIO PLAN

1: 200



GROUND FLOOR SPACE RATIO PLAN

1: 200



FIRST FLOOR SPACE RATIO PLAN

1: 200



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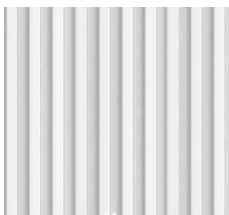
DRAWING TITLE:
FLOOR SPACE RATIO PLAN
SCALE: 1:200 A3

SHEET NO.





**A** 150mm white weathertex weathergroove smooth cladding



**B** white aluminium batten screening



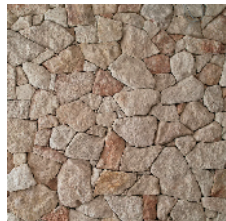
**C** timber batten garage door



**D** rendered greenboard - painted white



**E** 1.8m high timber pailing fence to side boundaries - painted woodland grey



**F** feature stone



**G** formed concrete finish



ELEVATION 1

1:100

GENERAL NOTES:

- REFRIGERATORS, DISHWASHERS, FREEZERS AND WASHING MACHINE SYMBOLS ARE FOR POSITIONING PURPOSES ONLY
- WINDOWS DIMENSIONED AS HEIGHT x WIDTH
- DOORS AND CUPBOARDS DIMENSIONED AS WIDTH

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REV. ID	ISSUE	DATE
I	PRELIMINARY WORKING DRAWINGS	20/1/2025
J	PLANNING ISSUE - RFI	7/4/2025
K	PLANNING ISSUE - RFI	14/4/2025
L	PLANNING / FSR PLAN	14/4/2025

PROPOSED NEW RESIDENCE

CLIENT: Sophia & Stuart Naylor

SITE ADDRESS: 2 Prince Edward Rd  
Seaforth NSW

DRAWING TITLE:

ELEVATION 1

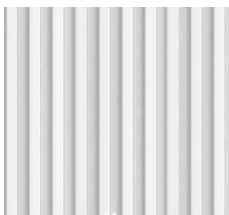
SCALE: 1:100 A3

SHEET NO.





**A** 150mm white weathertex weathergroove smooth cladding



**B** white aluminium batten screening



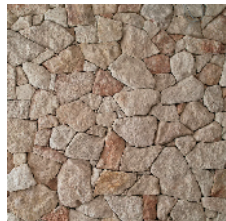
**C** timber batten garage door



**D** rendered greenboard - painted white



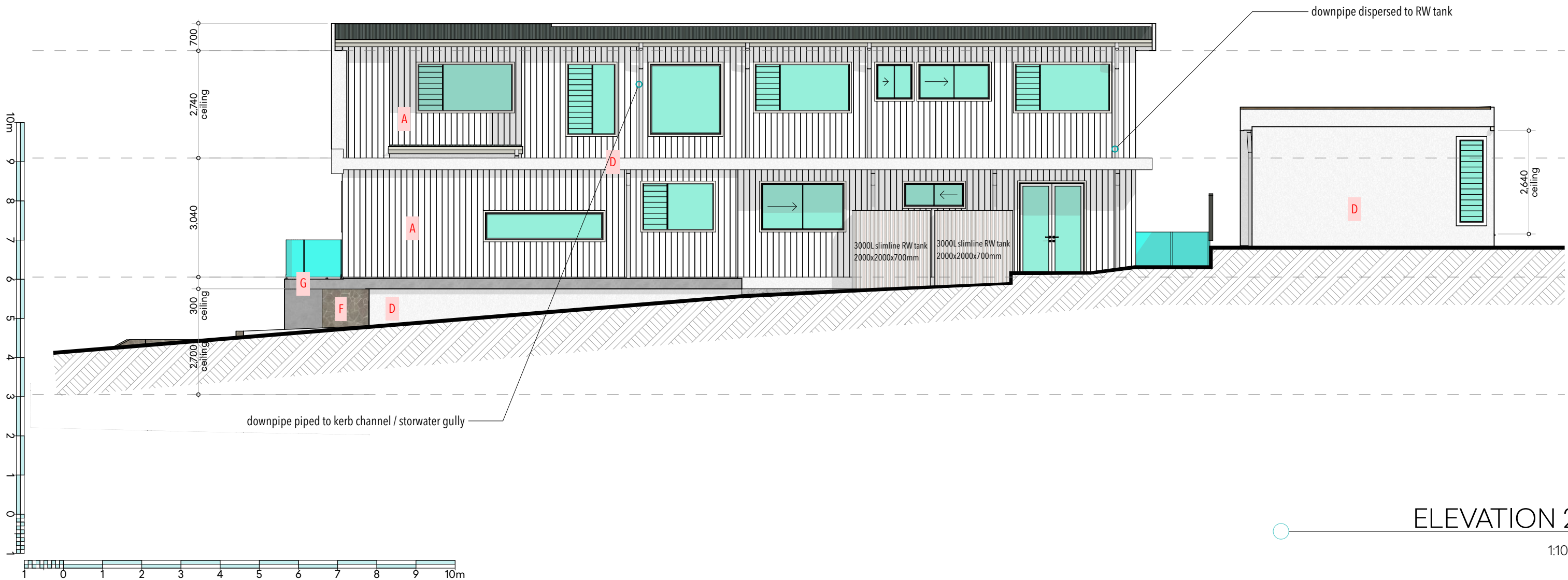
**E** 1.8m high timber pailing fence to side boundaries - painted woodland grey



**F** feature stone



**G** formed concrete finish



ELEVATION 2

1:100



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L	PLANNING / FSR PLAN	14/4/2025

PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

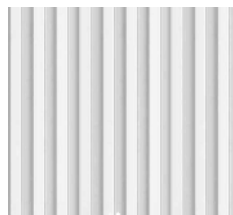
DRAWING TITLE: ELEVATION 2
SCALE: 1:100 A3

SHEET NO.





**A** 150mm white weathertex weathergroove smooth cladding



**B** white aluminium batten screening



**C** timber batten garage door



**D** rendered greenboard - painted white



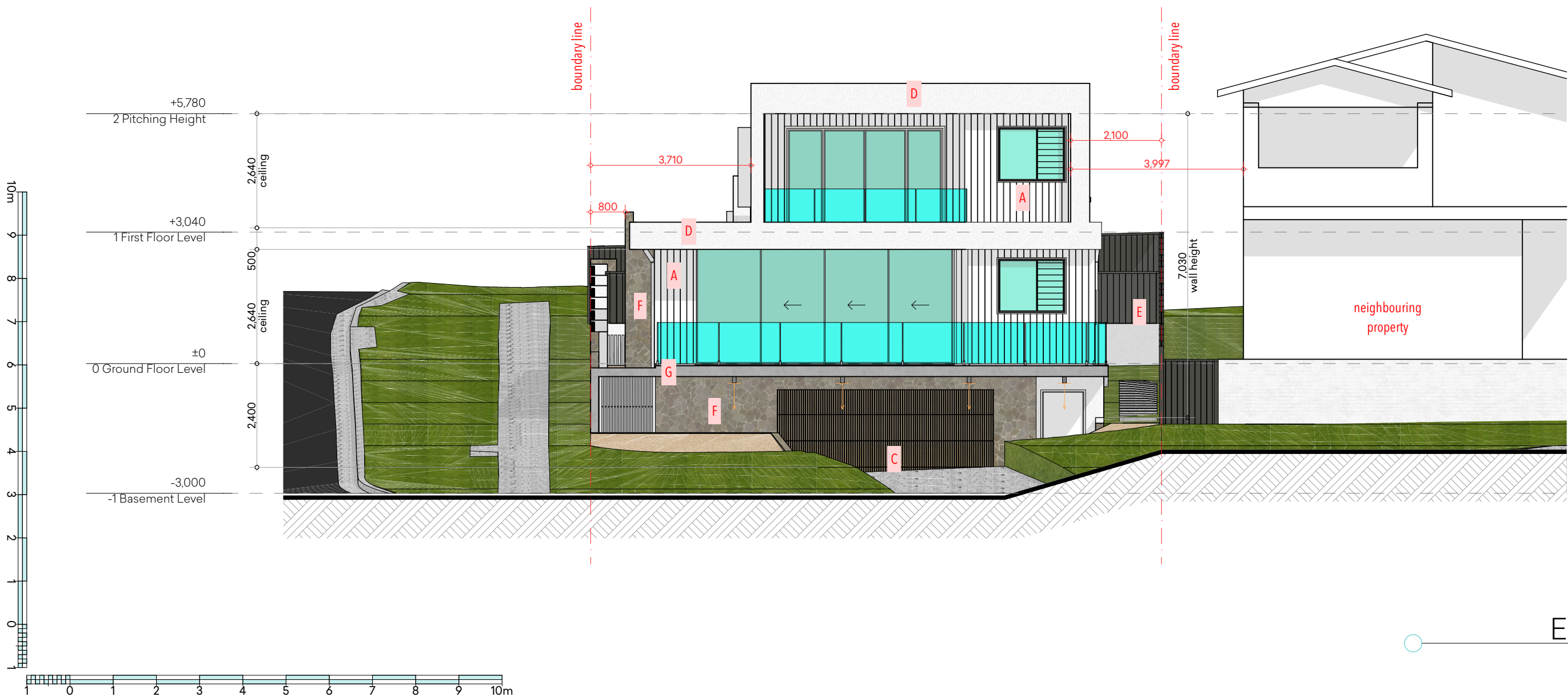
**E** 1.8m high timber pailing fence to side boundaries - painted woodland grey



**F** feature stone



**G** formed concrete finish



ELEVATION 3

1:100



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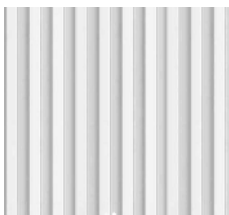
PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE:
ELEVATION 3
SCALE: 1:100 A3

SHEET NO.



**A** 150mm white weathertex weathergroove smooth cladding



**B** white aluminium batten screening



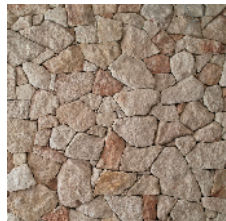
**C** timber batten garage door



**D** rendered greenboard - painted white



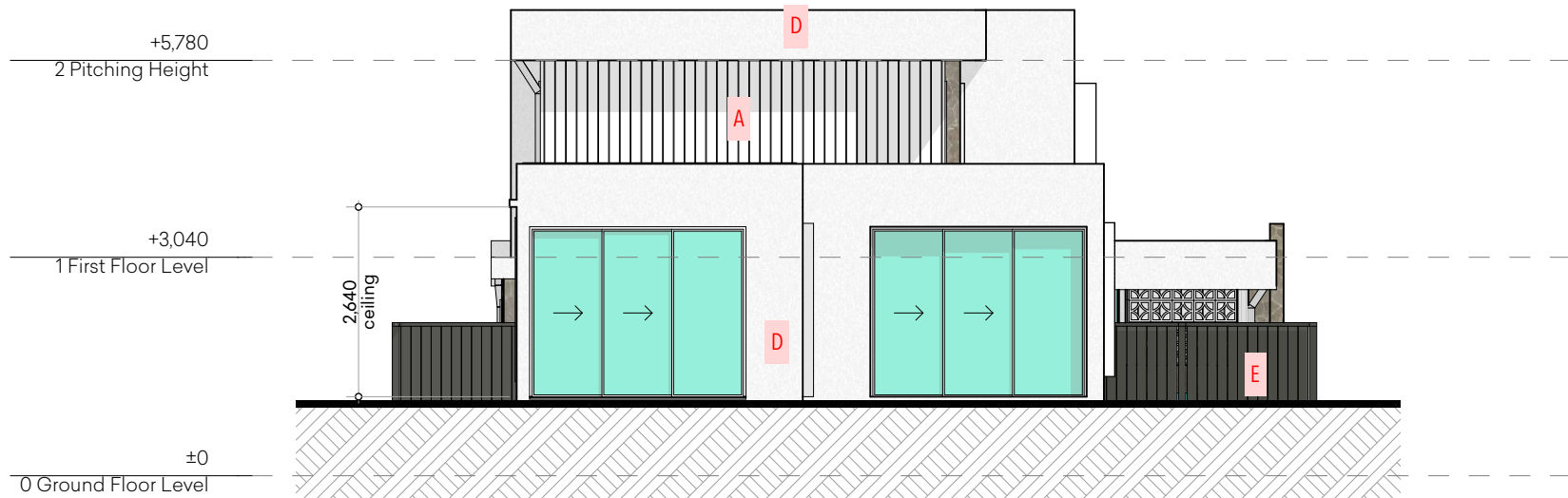
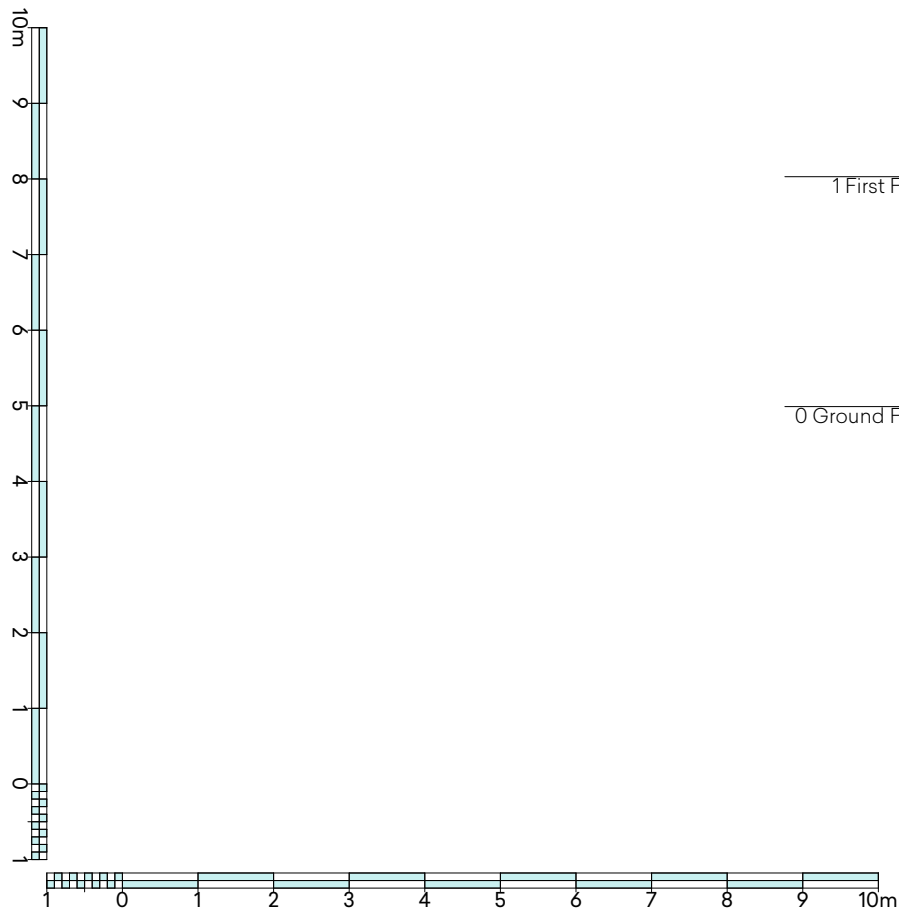
**E** 1.8m high timber pailing fence to side boundaries - painted woodland grey



**F** feature stone



**G** formed concrete finish



ELEVATION 4

1:100



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K	PLANNING ISSUE - RFI	14/4/2025
L	PLANNING / FSR PLAN	14/4/2025

PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE:
ELEVATION 4
SCALE: 1:100 A3

SHEET NO.



FLOOR LEVELS & BALCONY STEP DOWNS

finished slab level and surrounding ground/slabs to [NCC 2022 Vol 2 Housing Provision part 3.3.3](#) - the height to the slab-on-ground (measured at the slab edge) above external finished surfaces must be not less than 150mm above finished ground level; or 100mm above sandy, well-drained areas; or 50 mm above paved or concreted areas that slope away from the building in accordance with NCC Vol 2 HP part 3.3.3.

Recommended balcony step downs/termination heights - N1 40mm, N2 50mm, N3 75mm, N4 100mm - Waterproofing membranes for external above ground use must comply with AS 4654.1 and AS 4654.2.

BOX GUTTER NOTES

1. the minimum width for domestic projects is 200mm
2. box gutters must be straight - no bends
3. sides must be vertical
4. gutter maintains a constant width
5. must have a constant slope between 1:40 and 1:100
6. downpipe must be vertical from sump
7. minimum sump length is 400mm

STRUCTURAL NOTE

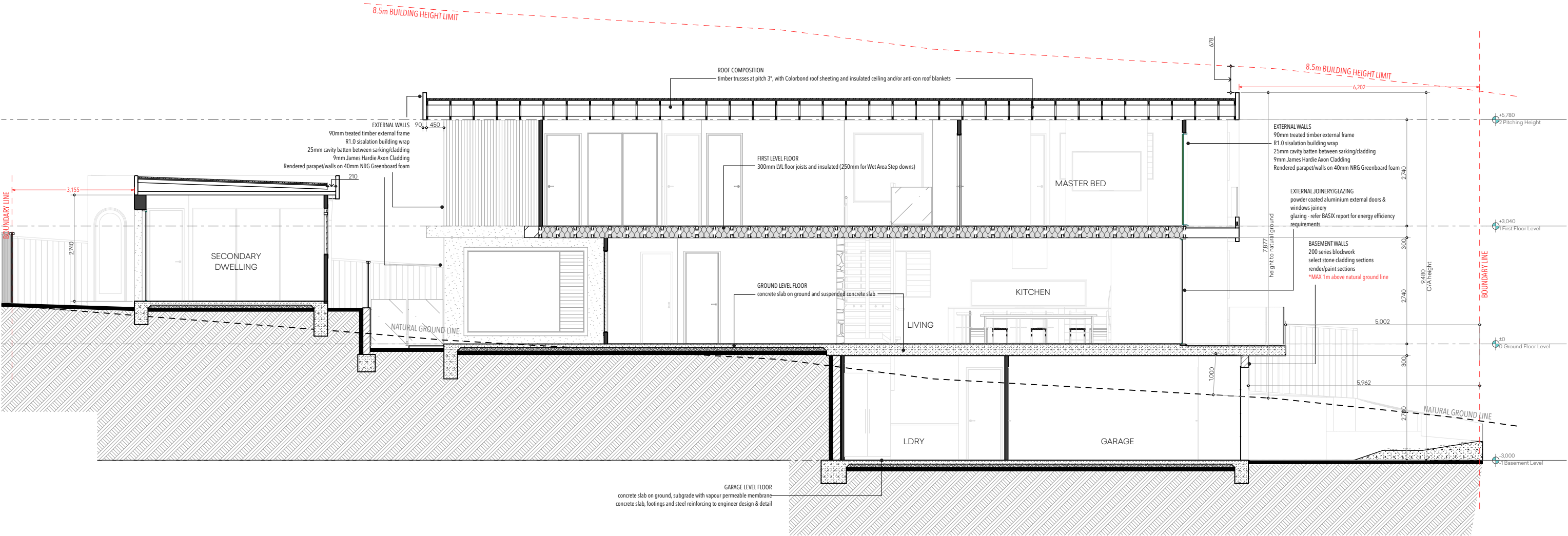
all structural elements - tie down & bracing, footings, columns, roof framing and wall frame to be designed & sized by a registered practicing engineer queensland (RPEQ)

GENERAL NOTE

all details, dimensions, materials etc to be verified with designer & client prior to build and necessary alterations rectified prior to construction start on site

FRAMING NOTE

trusses, roof frame, wall frame, subfloor frame and tie down & bracing designed and installed in accordance with AS1684.2 2021 and manufacturers specifications



TERMITE VISUAL BARRIER OR MANAGEMENT SYSTEMS

termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1/2014 and [NCC 2022 Vol 2 HP part 3.4](#). (refer details page) -

termite management system to [NCC 2022 VOL 2 HP PART 3.4.2](#) - all select barrier products refer to manufacturers specification and conditions of approval

SECTION A-A

1:100



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PROPOSED NEW RESIDENCE

CLIENT: Sophia & Stuart Naylor

SITE ADDRESS: 2 Prince Edward Rd  
Seaforth NSW

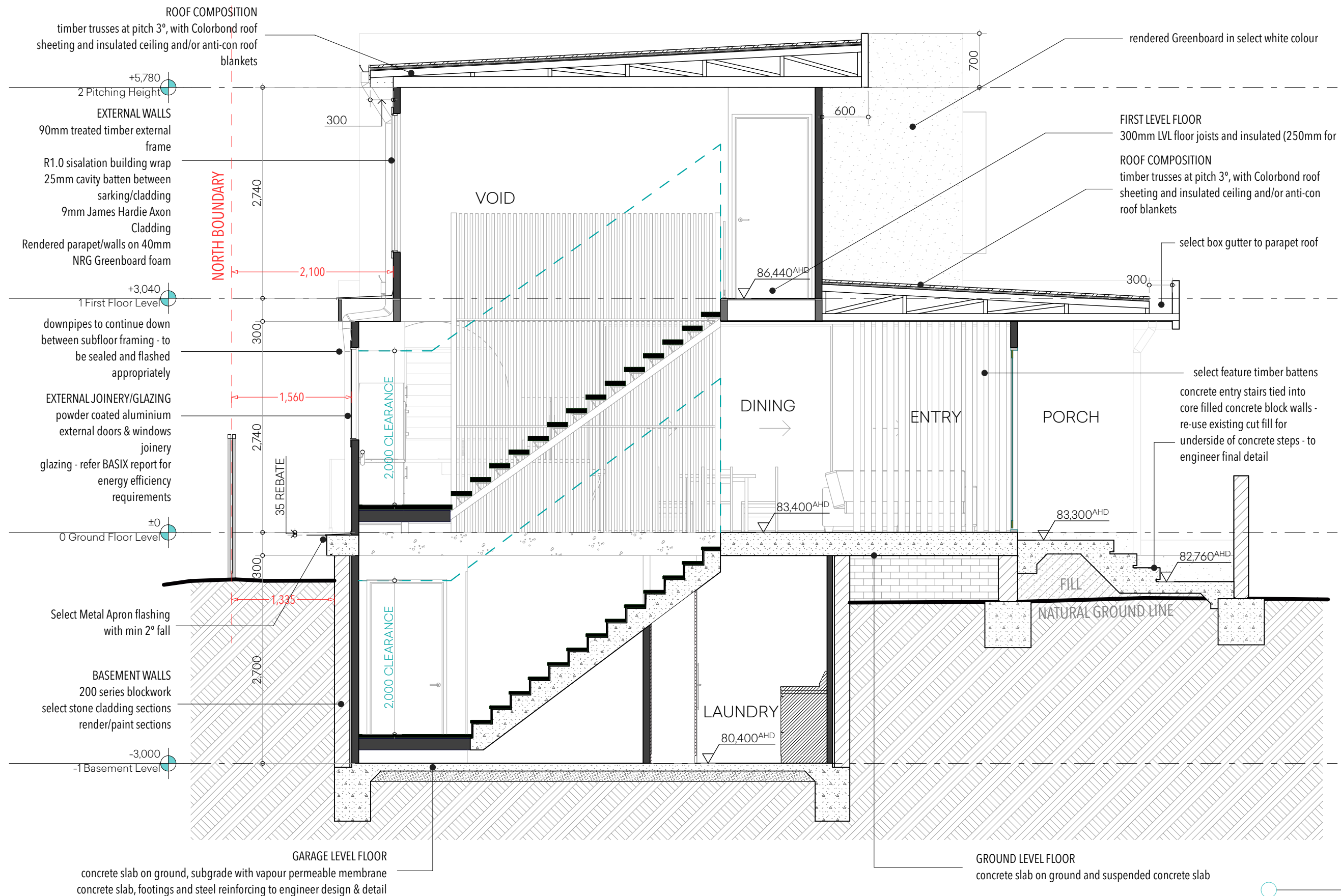
DRAWING TITLE:

SECTION A-A

SCALE: 1:100 A3

SHEET NO.

8.5m BUILDING HEIGHT LIMIT

**BOX GUTTER NOTES**

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5. must have a constant slope between 1:40 and 1:100
6. downpipe must be vertical from sump
7. minimum sump length is 400mm

**TERMITE VISUAL BARRIER OR MANAGEMENT SYSTEMS**

termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1/2014 and [NCC 2022 Vol 2 HP part 3.4](#). (refer details page) - termite management system to [NCC 2022 VOL 2 HP PART 3.4.2](#) - all select barrier products refer to manufacturers specification and conditions of approval

**STRUCTURAL NOTE**

all structural elements - tie down & bracing, footings, columns, roof framing and wall frame to be designed & sized by a registered practicing engineer queensland (RPEQ)

**GENERAL NOTE**

all details, dimensions, materials etc to be verified with designer & client prior to build and necessary alterations rectified prior to construction start on site

**FRAMING NOTE**

trusses, roof frame, wall frame, subfloor frame and tie down & bracing designed and installed in accordance with AS1684.2 2021 and manufacturers specifications

**SECTION B-B**

1:50

**GENERAL NOTES:**

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REV. ID	ISSUE	DATE
I	PRELIMINARY WORKING DRAWINGS	20/1/2025
J	PLANNING ISSUE - RFI	7/4/2025
K	PLANNING ISSUE - RFI	14/4/2025
L	PLANNING / FSR PLAN	14/4/2025

**PROPOSED NEW RESIDENCE**

CLIENT: Sophia & Stuart Naylor  
SITE ADDRESS: 2 Prince Edward Rd  
Seaforth NSW

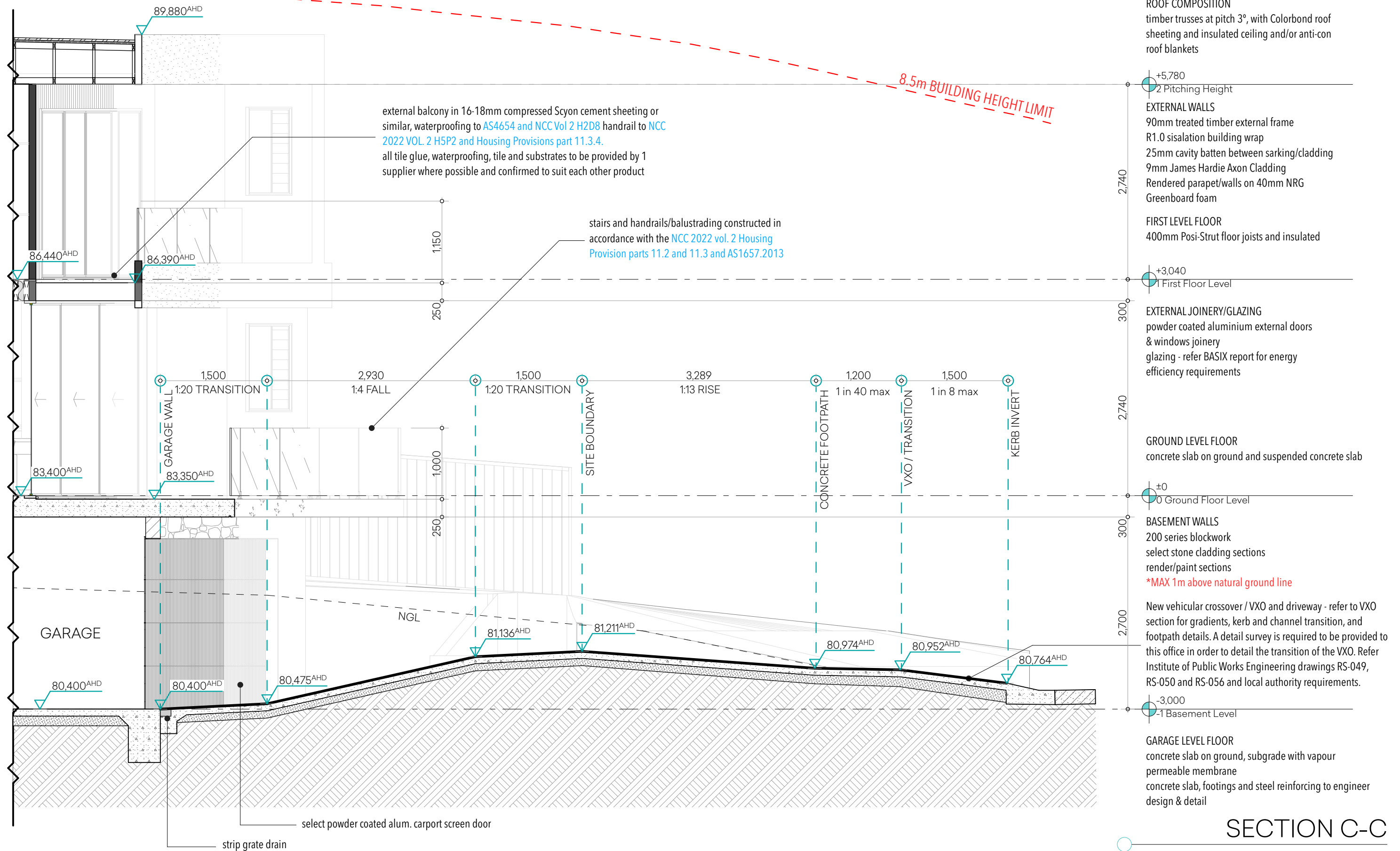
**DRAWING TITLE:**

SECTION B-B

SCALE: 1:50 A3

**SHEET NO.**





1:50

## GENERAL NOTES:

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J	PLANNING ISSUE - RFI	7/4/2025
K	PLANNING ISSUE - RFI	14/4/2025
L	PLANNING / FSR PLAN	14/4/2025
M	DRIVE SECTION	22/4/2025

PROPOSED NEW  
RESIDENCE

CLIENT: Sophia &amp; Stuart Naylor

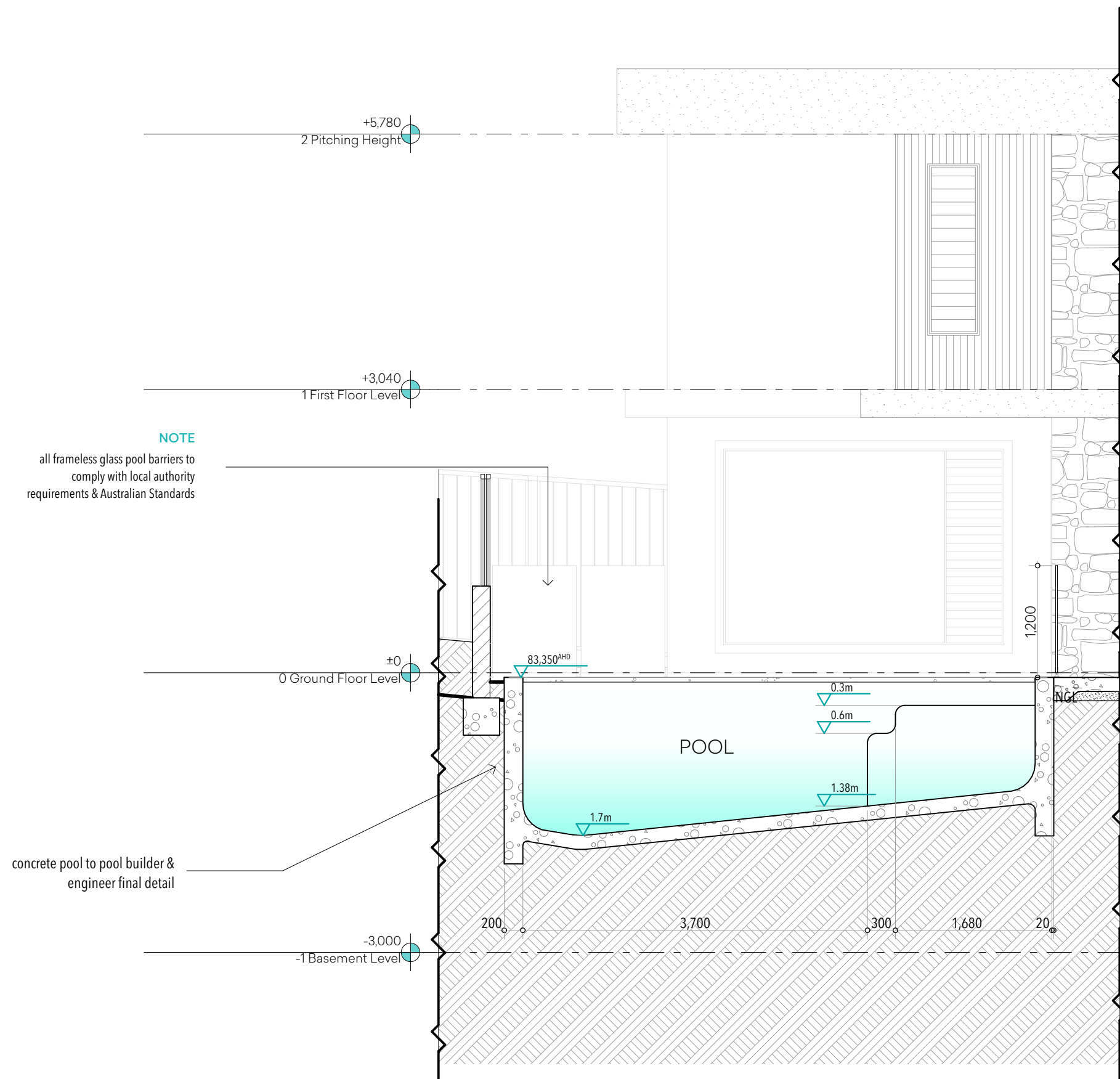
SITE ADDRESS: 2 Prince Edward Rd  
Seaforth NSW

DRAWING TITLE:

SECTION C-C (DRIVE)

SCALE:  
1:50 A3

SHEET NO.



SECTION D-D (POOL)

1:50



SLAB PLAN NOTES

ALL SITE PREPARATION, CUT/FILL AND EXCAVATION TO NCC VOL 2 PART 3.2. ALL FOOTINGS AND CONCRETE SLABS TO ADHERE TO [NCC 2022 VOL. 2 & HOUSING PROVISIONS PART 4.2.](#)

PLUMBER TO VERIFY ALL DIMENSIONS PRIOR TO POSITIONING UNDERSLAB POINTS. MEASUREMENTS MAY VARY. ALL PLUMBING AND DRAINAGE WORK TO COMPLY WITH AS3500-2003, [NCC 2022 VOL. 3, AND NCC 2022 VOL 2 & HOUSING PROVISIONS PART 3.3.](#)

ALL SLAB DIMENSIONS TO BE VERIFIED PRIOR TO SETOUT. SLAB AND FOOTINGS TO BE CONSTRUCTED TO ENGINEERS DETAIL AND IN ACCORDANCE WITH AS2870.

TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH APPROVED COLLARS AT PENETRATIONS IN ACCORDANCE WITH AS3600.1. AND [NCC 2022 VOL. 2. & HOUSING PROVISIONS PART 3.4.](#)

FOUNDATIONS OF FOOTING AND SLAB CONSTRUCTION TO COMPLY WITH NCC VOL 2. PART 3.2.5.

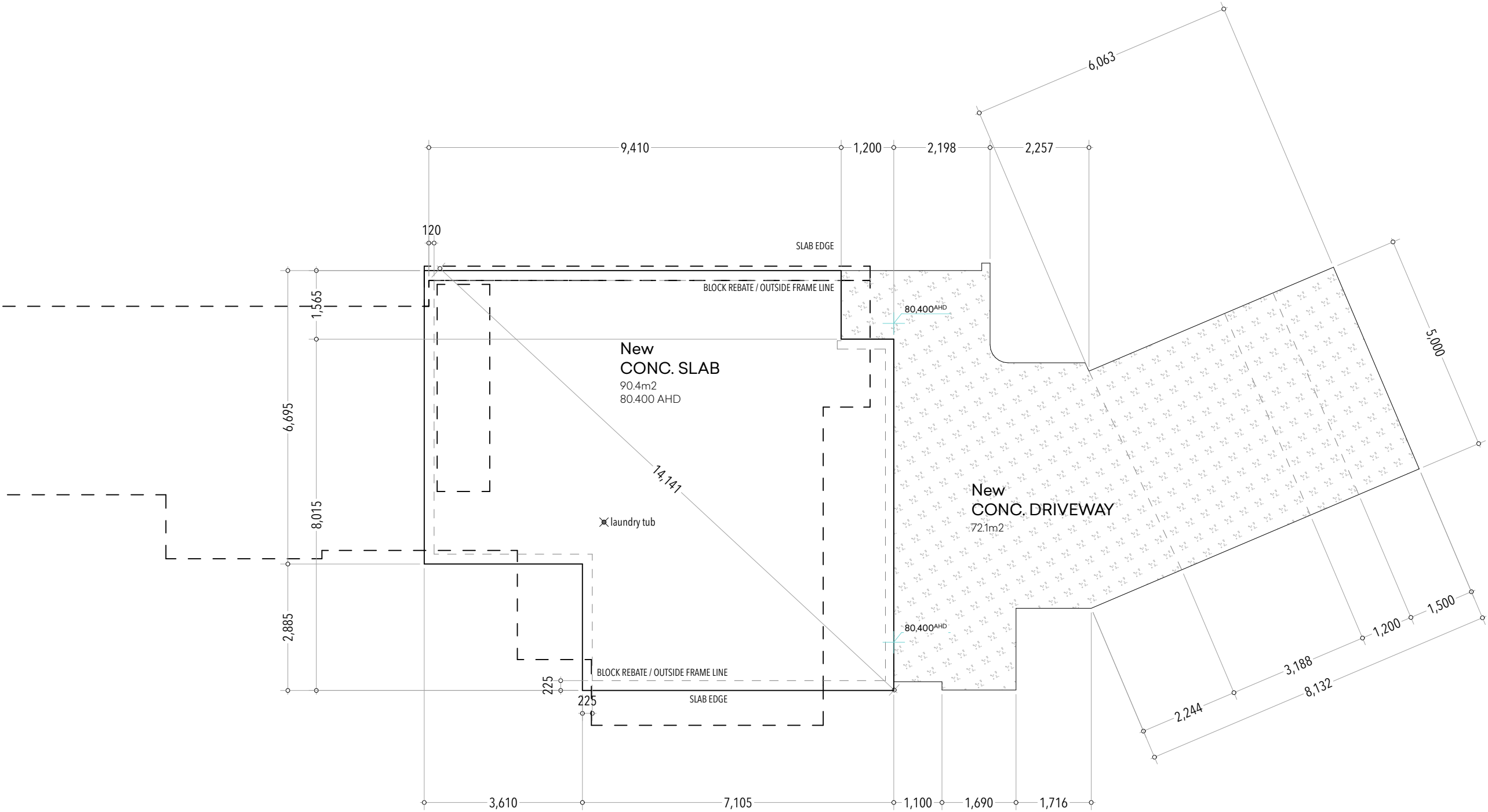
ALL TIMBER SUB-FLOOR MEMBER SIZES AND SPANS SUBJECT TO ENGINEER DESIGN & SPECIFICATION AND TO BE COMPLIANT WITH AS1684.2-2021.

WET AREAS - ARE TO BE REBATED 45mm IN TO CONCRETE SLAB AT A MINIMUM. IT IS A REQUIREMENT TO REBATE TIMBER FLOOR JOISTS OR TRUSSES 45mm AS A MINIMUM. SUBJECT TO GRADIENTS OF PLUMBING REQUIREMENTS.

ENGINEER PROVIDED SUB-FLOOR LAYOUT SUPERSEDES SUBFLOOR LAYOUT SHOWN HERE.

FINISHED SLAB LEVEL TO COMPLY WITH [NCC 2022 VOL 2 & HOUSING PROVISIONS PART 3.3.3.](#) - THE HEIGHT TO THE SLAB ON GROUND (MEASURED AT THE SLAB EDGE) ABOVE EXTERNAL FINISHED SURFACES MUST BE NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL; OR 100mm ABOVE SANDY, WELL DRAINED AREAS; OR 50mm ABOVE PAVED OR CONCRETED AREAS THAT SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH NCC PART 3.3.3.

SLAB & FLOOR WASTE SYMBOLS ARE INDICATIVE ONLY AND SUBJECT TO FINAL FIXTURE SELECTION, THEIR MANUFACTURER SPECS. AND PLUMBER/BUILDER REQUIREMENTS



SLAB PLAN BASEMENT

1:100



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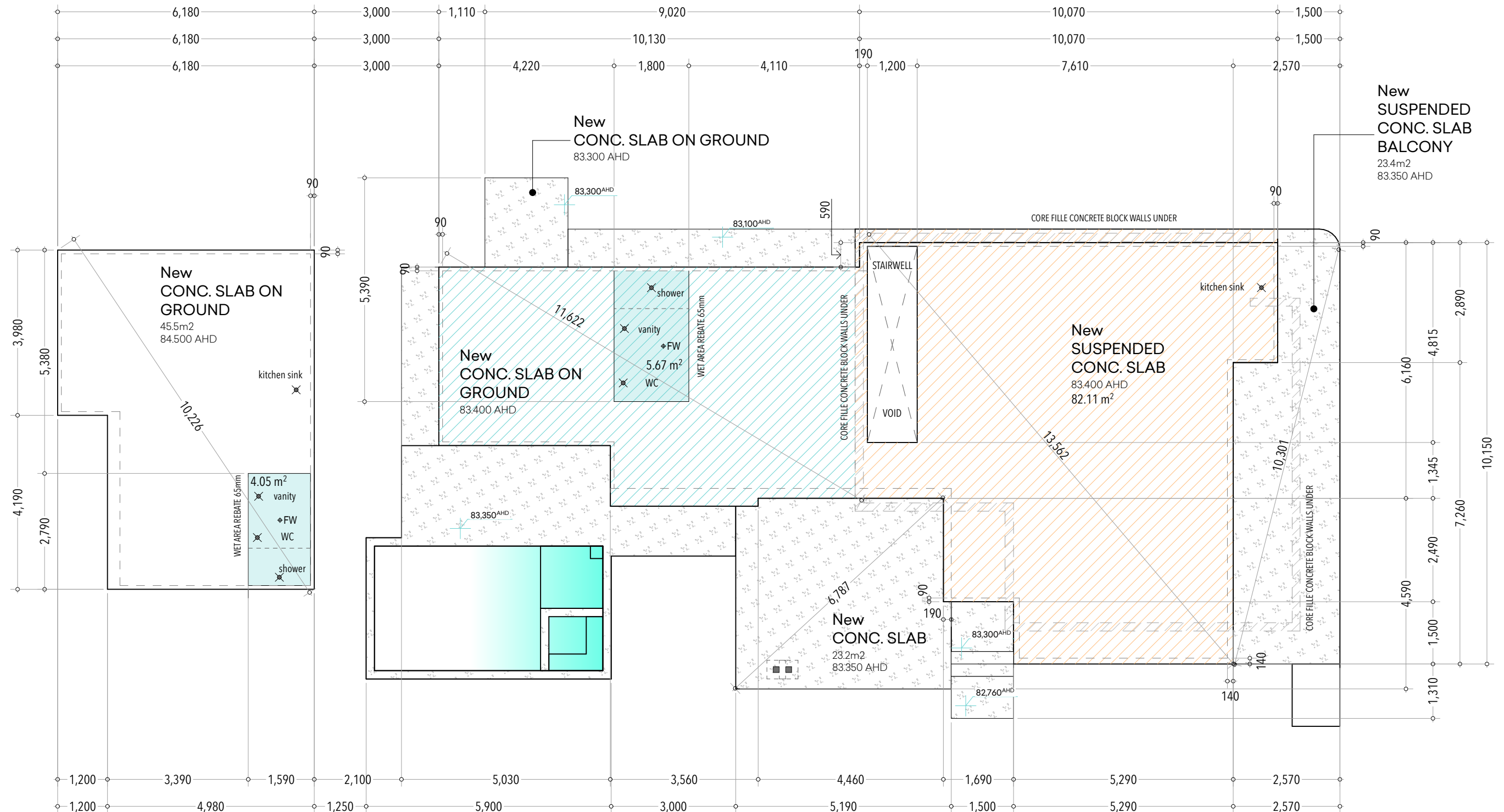
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K	PLANNING ISSUE - RFI	14/4/2025
L	PLANNING / FSR PLAN	14/4/2025

PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE: SLAB PLAN BASEMENT
SCALE: 1:100 A3

SHEET NO.



100



**SLAB PLAN NOTES**

ALL SITE PREPARATION, CUT/FILL AND EXCAVATION TO NCC VOL 2 PART 3.2. ALL FOOTINGS AND CONCRETE SLABS TO ADHERE TO [NCC 2022 VOL 2 & HOUSING PROVISIONS PART 4.2.](#)

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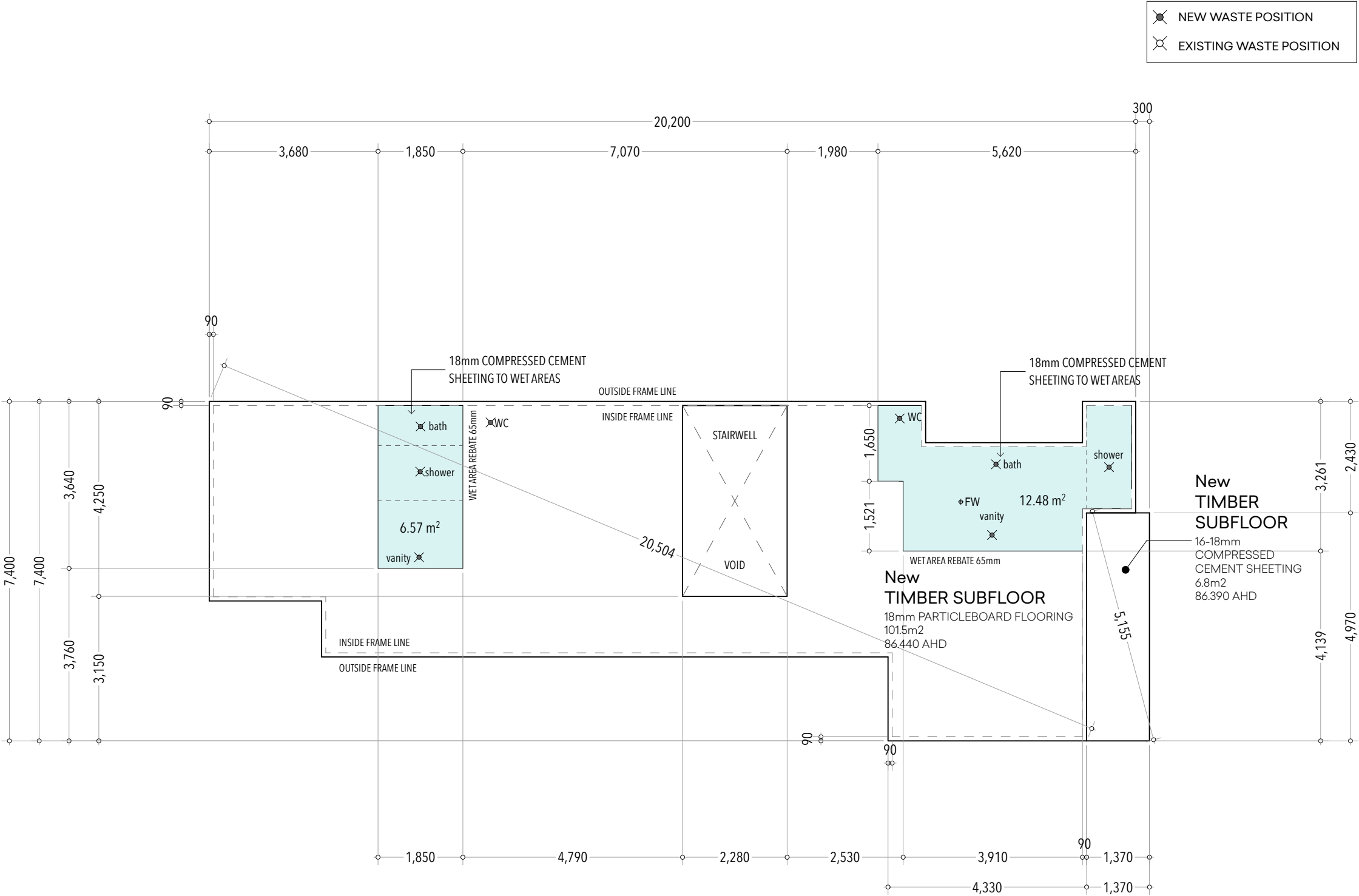
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SLAB & FLOOR WASTE SYMBOLS ARE INDICATIVE ONLY AND SUBJECT TO FINAL FIXTURE SELECTION, THEIR MANUFACTURER SPECS. AND PLUMBER/BUILDER REQUIREMENTS



UPPER FLOOR FRAMING PLAN

1:100



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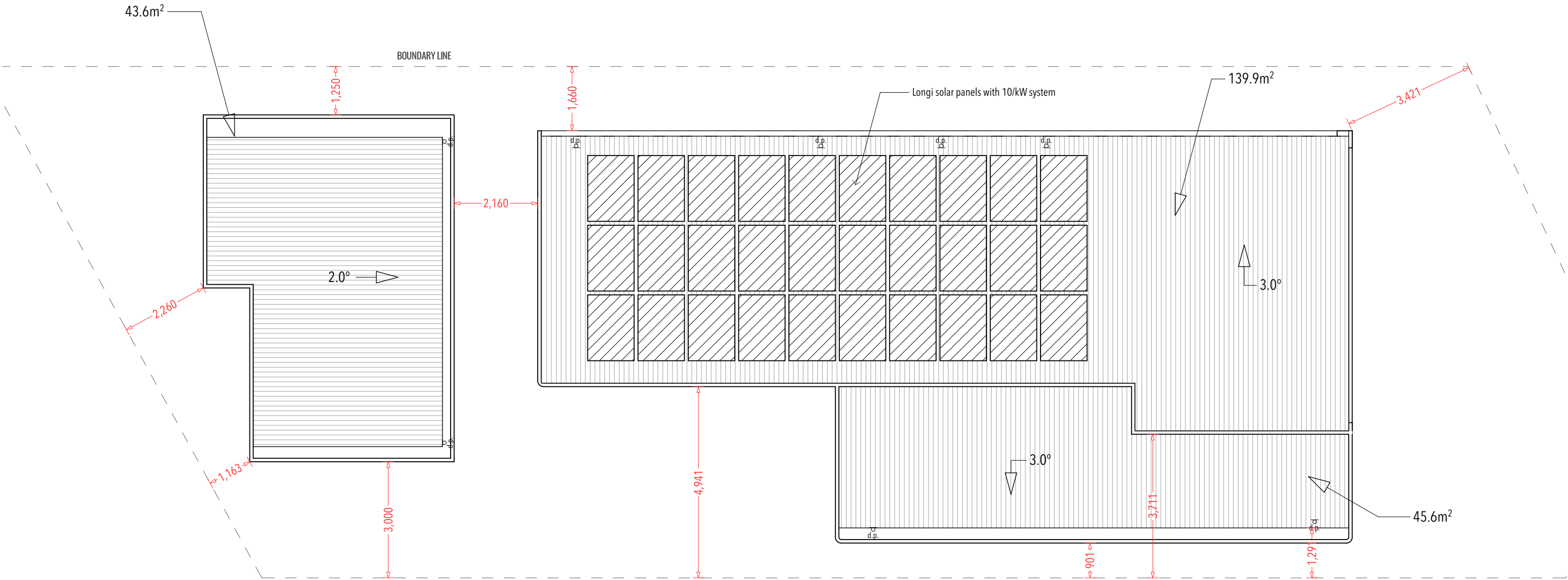
1. BUILDER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO SITE START  
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
3. DO NOT SCALE FROM PLAN  
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5. TERMITE PROTECTION: TREATMENT AS PER AS 3660 - 2004 & AS3600.1/2009(A)&(B)  
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REV. ID	ISSUE	DATE
I	PRELIMINARY WORKING DRAWINGS	20/1/2025
J	PLANNING ISSUE - RFI	7/4/2025
K	PLANNING ISSUE - RFI	14/4/2025
L	PLANNING / FSR PLAN	14/4/2025

PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE: UPPER FLOOR FRAMING PLAN
SCALE: 1:100 A3

SHEET NO.



ROOF PLAN

1:100



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GENERAL NOTES:  
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SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE:
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SCALE: 1:100 A3

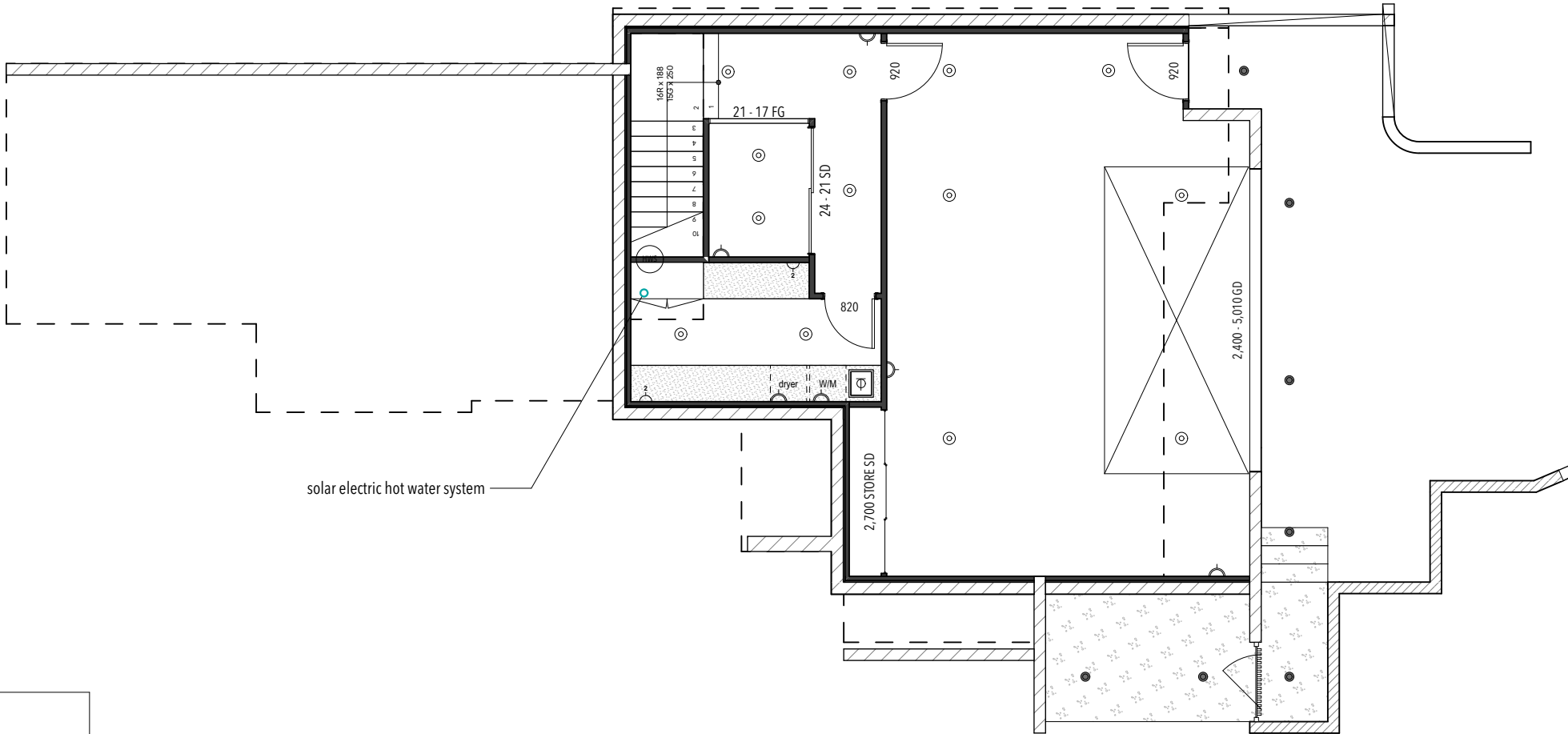
SHEET NO.



**NOTE**  
ALL ELECTRICAL EXCEPT SMOKE DETECTORS, IS INDICATIVE ONLY AND TO BE VERIFIED WITH OWNERS, AND BUILDER/ELECTRICIAN DURING QUOTING AND BUILDING STAGES

- ELECTRICAL PLAN NOTES**
1. ALL HEIGHTS ARE TO BE MEASURED FROM THE MAIN FLOOR LEVEL UNLESS OTHERWISE NOTED
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  3. TOP OF METER BOX TO BE 1900 mm MAX ABOVE GROUND LEVEL
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  5. PROVIDE SMOKE ALARMS / AUTOMATIC FIRE DETECTION SYSTEM IN ACCORDANCE WITH [NCC 2022 VOL 2 H3D6 AND HOUSING PROVISIONS PART 9.5.1](#) AND AS3786 - 2004. SMOKE DETECTORS 2 OR MORE SHALL BE INTERCONNECTED AS PER [NCC 2022 VOL 2 HOUSING PROVISIONS PART 9.5.1 \(d\)](#)
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  7. L.E.D. LIGHTING IS RECOMMENDED TO ALL POSSIBLE APPLICATIONS.
  8. ALL ELECTRICAL WORK TO COMPLY TO AS3000 - 2003

ELECTRICAL LEGEND	
	GPO SPECIAL PT. - REFER STD. DETAILS
	DOUBLE GPO 300mm
	SINGLE GPO 1050mm
	DOUBLE GPO 1050mm
	DOUBLE GPO & USB POINT 1050mm
	DOUBLE GPO & USB PT. TO SUIT BED SIDE TABLE POSITIONS
	SOLAR LED
	LIGHT ON WALL
	DOWNLIGHT MOUNTED
	DOWNLIGHT RECESSED
	PENDANT LIGHT ADJUSTABLE
	SELECT BATHROOM WALL LIGHT
	FLURO CEILING 1200mm
	LED BATTEN CEILING 1200mm
	FLOOD LIGHT
	MOTION DETECTING SENSOR LIGHT
	ANTENNA POINT
	DATA/PHONE POINT
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT
	HEAT LAMP/LIGHT/EXHAUST UNIT
	AIR CON DUCT OUTLET
	CEILING FAN 1200mm
	SMOKE DETECTOR PHOTO-ELECTRIC
	ELECTRICAL METERBOARD TBD



**ENERGY EFFICIENT LIGHTING**

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ELECTRICAL PLAN BASEMENT

1:100



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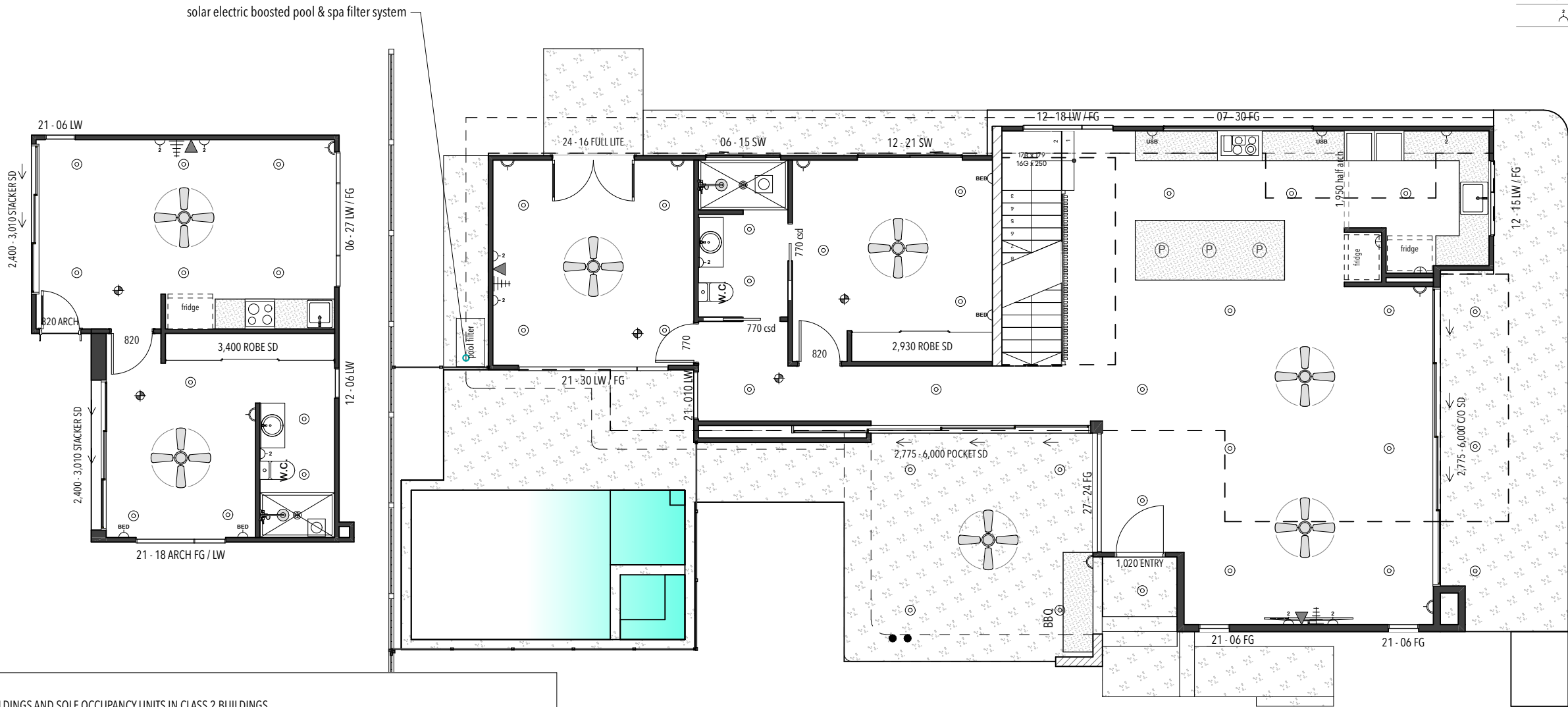
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REV. ID	ISSUE	DATE	PROPOSED NEW RESIDENCE	DRAWING TITLE:	SHEET NO.
I	PRELIMINARY WORKING DRAWINGS	20/1/2025	Sophia & Stuart Naylor	ELECTRICAL PLAN BASEMENT	25 of 35
J	PLANNING ISSUE - RFI	7/4/2025			
K	PLANNING ISSUE - RFI	14/4/2025			
L	PLANNING / FSR PLAN	14/4/2025			
			2 Prince Edward Rd Seaforth NSW	SCALE: 1:100, 1:11 A3	

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ELECTRICAL LEGEND		
	Cat 6 Data Pt.	3
	Ceiling Fan	7
	Downlight LED Recessed	41
	Exhaust Fan w/LED	2
	GPO Bedside Height	4
	GPO Double 300mm	8
	GPO Double 1050mm	3
	GPO Double 1050mm w/USB	2
	GPO refer standard heights	2
	Smoke Detector Photo-Electric	5
	Special Pendant	3
	TV Antenna Pt.	3
	TV height GPO Double	6

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ELECTRICAL PLAN GROUND

1:100



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J	PLANNING ISSUE - RFI	7/4/2025	
K	PLANNING ISSUE - RFI	14/4/2025	
L	PLANNING / FSR PLAN	14/4/2025	

CLIENT: Sophia & Stuart Naylor

SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE: ELECTRICAL PLAN GROUND

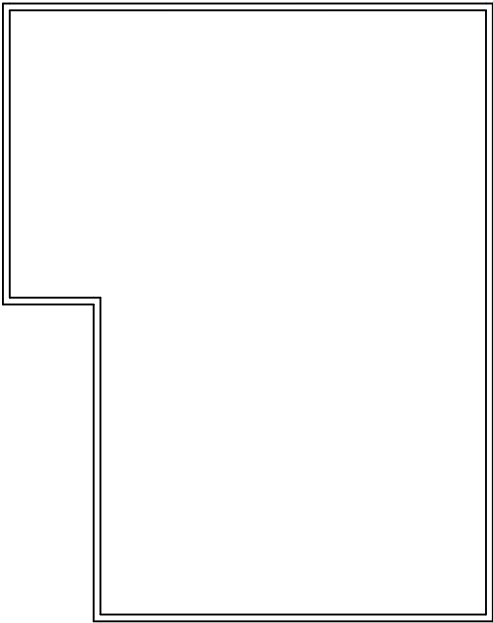
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SHEET NO.



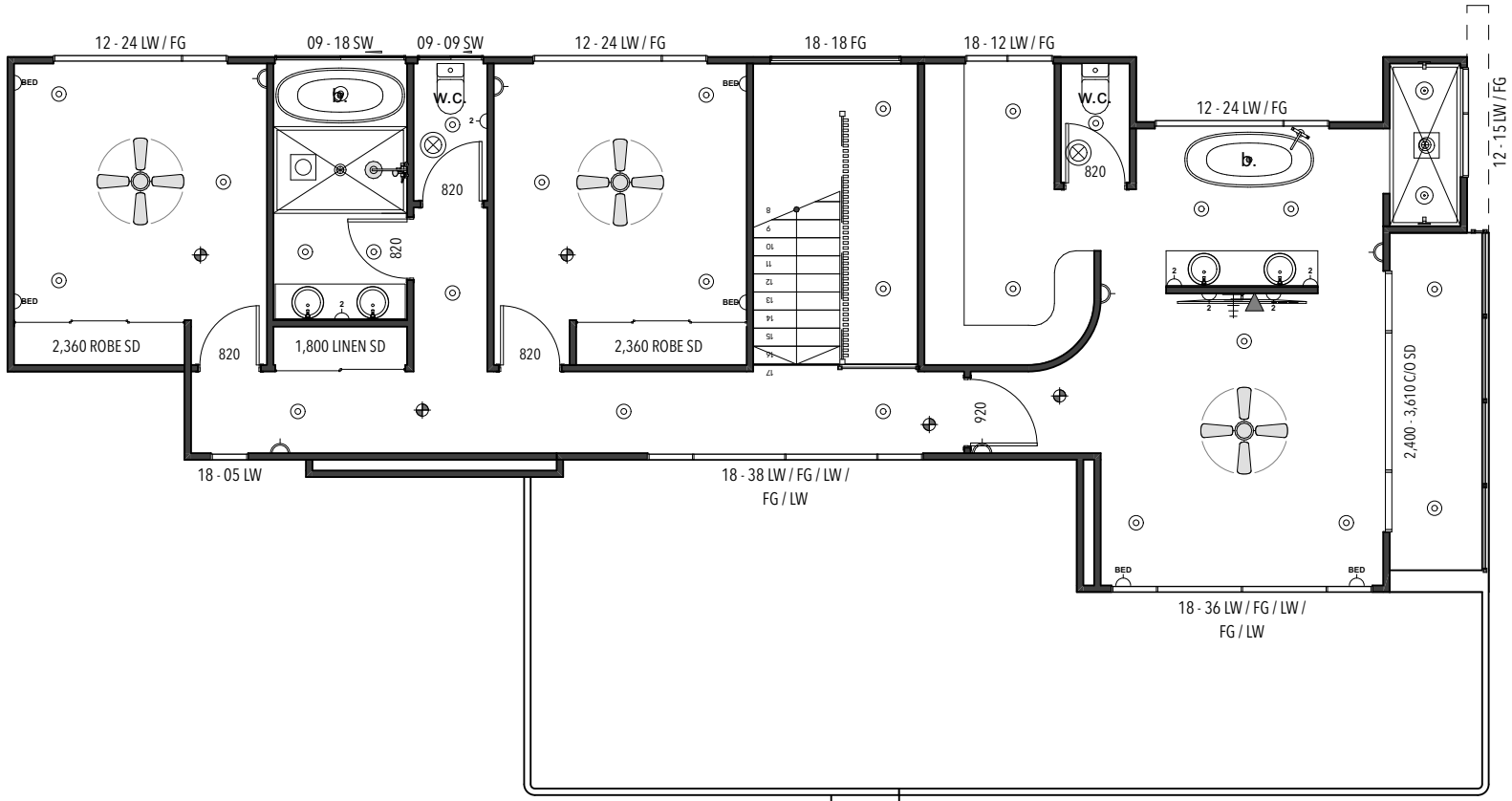
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DA PRELIMINARY WORKING DRAWINGS ONLY - NOT FOR CONSTRUCTION OR TENDER

ELECTRICAL LEGEND		
	Cat 6 Data Pt.	1
	Ceiling Fan	3
	Downlight LED Recessed	26
	Exhaust Fan Only	2
	Exhaust Fan w/LED	2
	GPO Bedside Height	6
	GPO Double 300mm	6
	GPO Double 1050mm	4
	Smoke Detector Photo-Electric	5
	TV Antenna Pt.	1
	TV height GPO Double	2



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## ELECTRICAL PLAN UPPER

1:100



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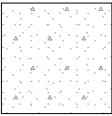
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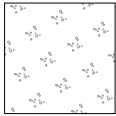
PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE: ELECTRICAL FIRST FLOOR
SCALE: 1:1, 1:100, 1:111, 1:110 A3

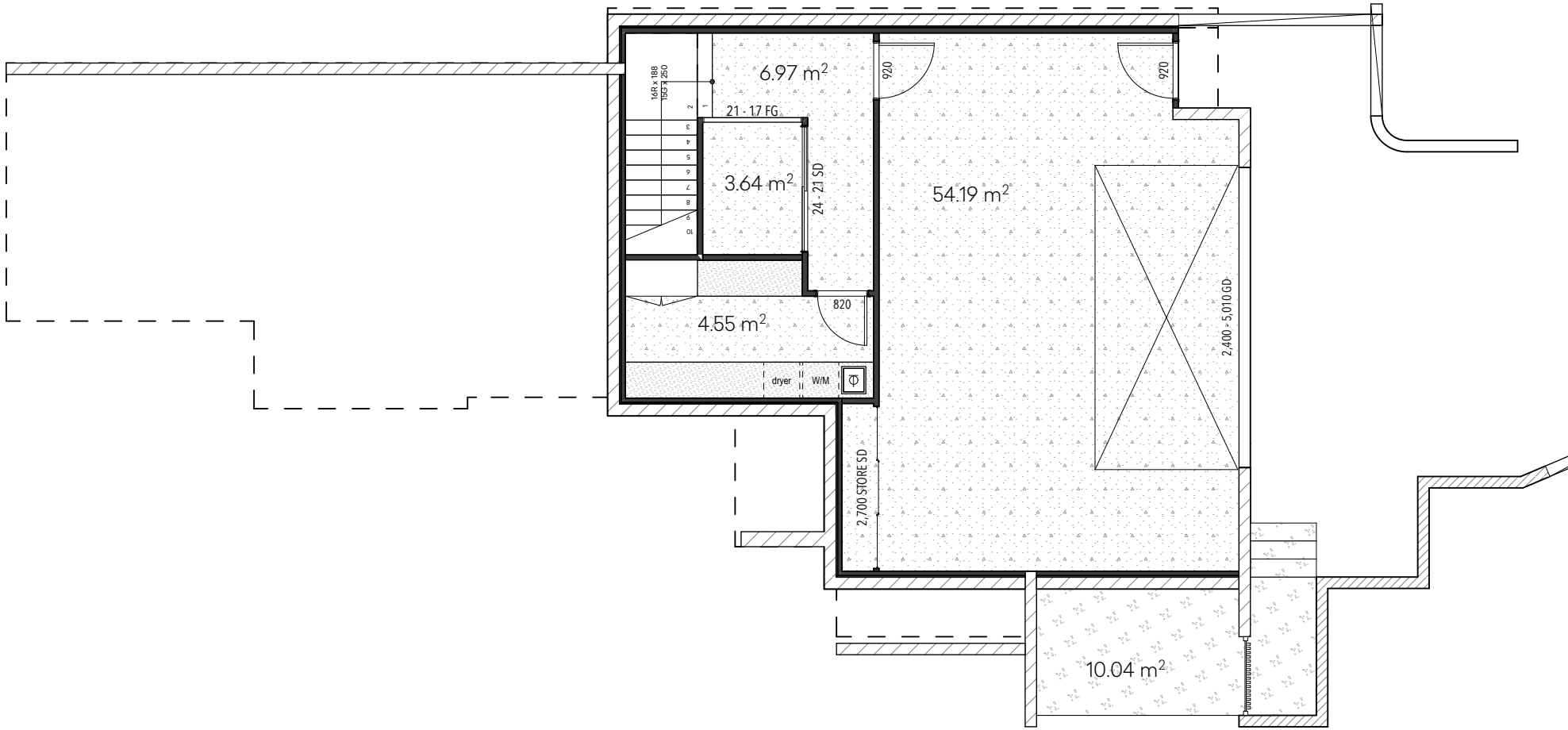
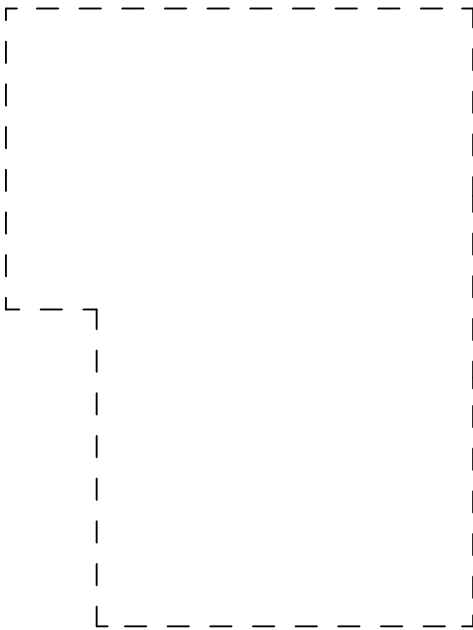
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CONCRETE



HONED CONCRETE  
EXTERIOR



FLOOR COVERING & TILING NOTES:

- 1. FLOOR TILE HATCHING SHOWN - INDICATES AREA TO BE TILED ONLY AND NOT THE FINISHED LAYOUT
- 2. THESE DIMENSIONS ARE A PRICING GUIDE ONLY AND ALL AREAS AND SIZES MUST BE CHECK MEASURED ON SITE PRIOR TO FABRICATION OR CUTTING
- 3. TRANSITIONS BETWEEN FLOOR COVERINGS TO BE CENTRALISED WITH DOOR THICKNESS
- 4. ALL FLOOR COVERING SELECTIONS ARE TO BE VERIFIED WITH PROPERTY OWNER/CLIENT AND BUILDING CONTRACTOR PRIOR TO ORDERING MATERIALS

FLOOR COVERINGS BASEMENT

1:100



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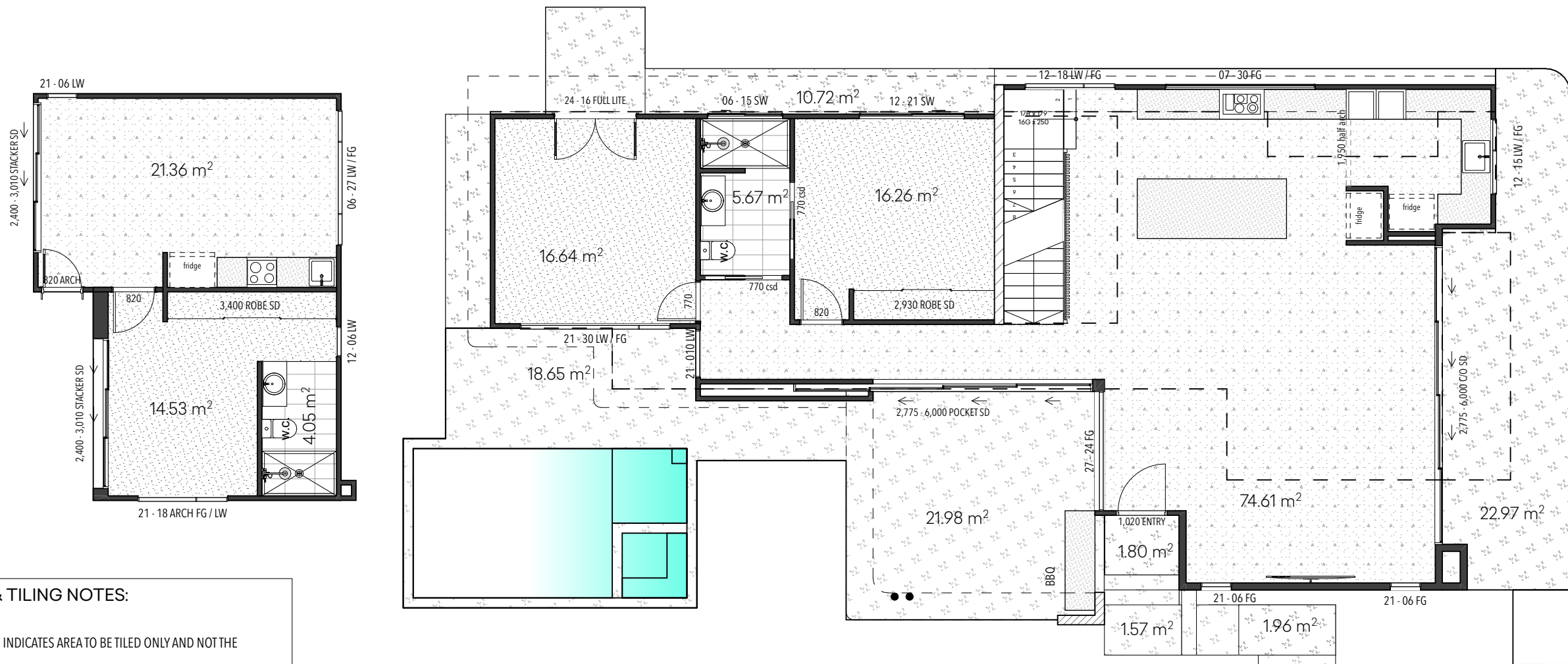
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PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE: FLOOR COVERINGS BASEMENT
SCALE: 1:100 A3

SHEET NO.





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FLOOR COVERINGS GROUND

1:100



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SHEET NO.

SELECT POLISHED CONCRETE

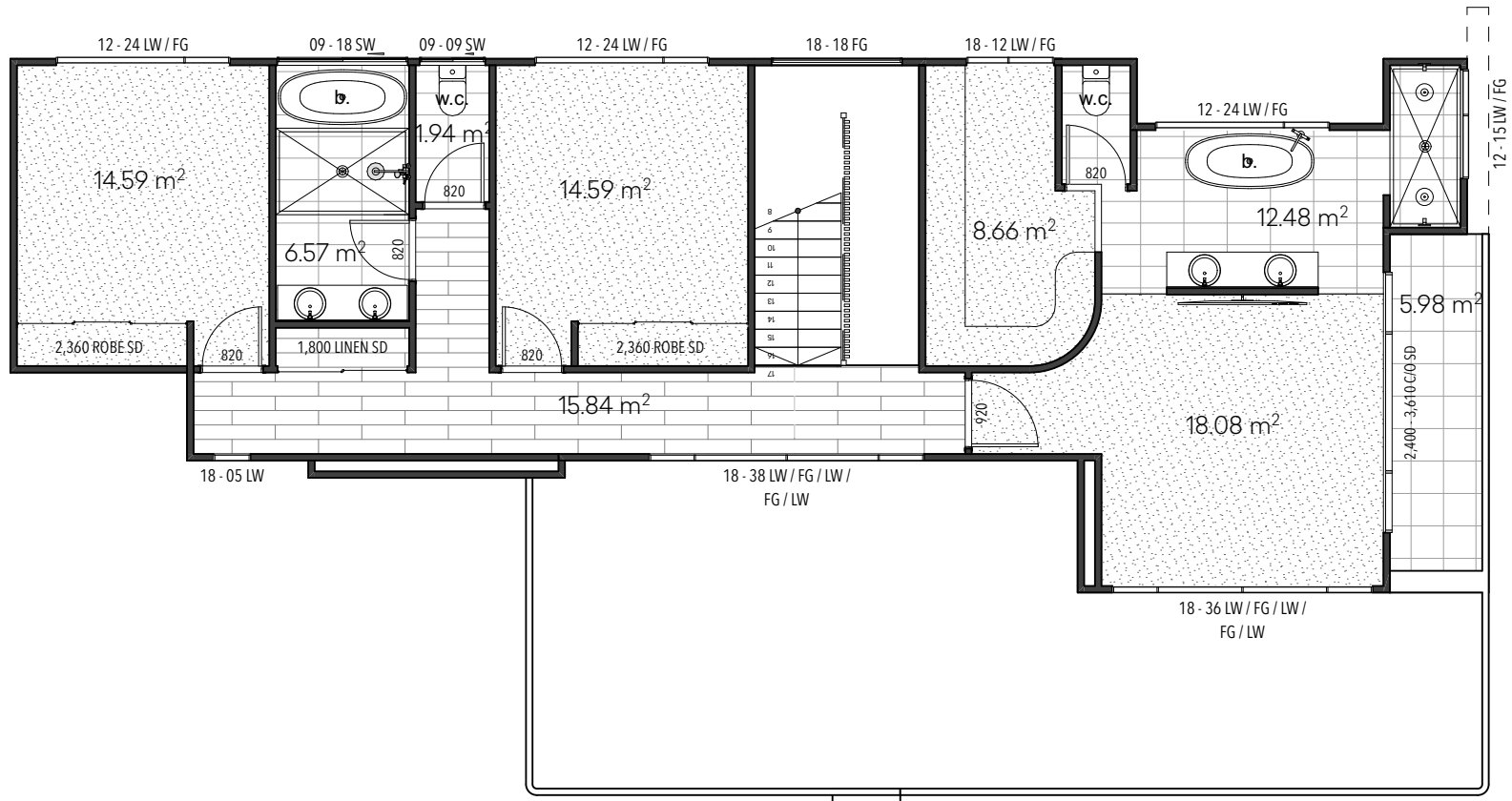
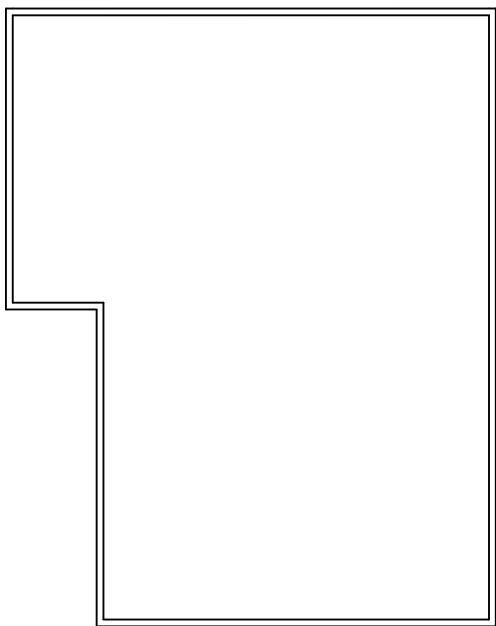
HONED CONCRETE EXTERIOR

SELECT WET AREA TILES

SELECT ENGINEERED TIMBER FLOOR

SELECT CARPET

SELECT NON-SLIP OUTDOOR TILE



FLOOR COVERING & TILING NOTES:

1. FLOOR TILE HATCHING SHOWN - INDICATES AREA TO BE TILED ONLY AND NOT THE FINISHED LAYOUT
2. THESE DIMENSIONS ARE A PRICING GUIDE ONLY AND ALL AREAS AND SIZES MUST BE CHECK MEASURED ON SITE PRIOR TO FABRICATION OR CUTTING
3. TRANSITIONS BETWEEN FLOOR COVERINGS TO BE CENTRALISED WITH DOOR THICKNESS
4. ALL FLOOR COVERING SELECTIONS ARE TO BE VERIFIED WITH PROPERTY OWNER/CLIENT AND BUILDING CONTRACTOR PRIOR TO ORDERING MATERIALS

FLOOR COVERINGS UPPER

1:100



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REV. ID	ISSUE	DATE
I	PRELIMINARY WORKING DRAWINGS	20/1/2025
J	PLANNING ISSUE - RFI	7/4/2025
K	PLANNING ISSUE - RFI	14/4/2025
L	PLANNING / FSR PLAN	14/4/2025

PROPOSED NEW RESIDENCE
CLIENT: Sophia & Stuart Naylor
SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW

DRAWING TITLE: FLOOR COVERINGS FIRST FLOOR
SCALE: 1:100 A3

SHEET NO.



DOOR SCHEDULE											
ID	D-01	D-02	D-03	D-04	D-05	D-06	D-08	D-09	D-10	D-11	D-12
Door Type	Sliding Door #1916	Door 27	Door 27	Door 27	Sliding Robe Doors	CI Tools Garage Door	Door 27	CI Tools Door Exterior	Door 27	CI Tools Door Exterior	CI Tools Door Exterior
Library Part Name	Sliding Door #1916	Door 27	Door 27	Door 27	Sliding Robe Doors	CI Tools Garage Door	Door 27	CI Tools Door Exterior	Door 27	CI Tools Door Exterior	CI Tools Door Exterior
Quantity	1	1	1	1	1	1	1	1	1	1	1
Height	2,400	2,340	2,340	2,340	2,400	2,400	2,340	2,775	2,340	2,400	2,775
Width	2,110	920	820	920	2,700	5,010	820	6,000	770	1,020	6,000
To Room Number	001	001	001	001	001	001	001	001	001	001	001
Comments					---	---		---			---
Home Story Name	Basement Level	Basement Level	Basement Level	Basement Level	Basement Level	Basement Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level
Renovation Status	New	New	New	New	New	New	New	New	New	New	New
Specific Notes											

DOOR SCHEDULE													
ID	D-13	D-14	D-15	D-16	D-17	D-18	D-19	D-20	D-21	D-21	D-22	D-23	D-24
Door Type	CI Tools Door Exterior	CI Tools Door Exterior	Sliding Robe Doors	Sliding Robe Doors	Cavity Sliding Door	Double Door 27	Arch Door 27	Door 27	CI Tools Door Exterior	Cavity Sliding Door	Sliding Robe Doors	Door 27	Sliding Robe Doors
Library Part Name	CI Tools Door Exterior	CI Tools Door Exterior	Sliding Robe Doors	Sliding Robe Doors	Cavity Sliding Door	Double Door 27	Arch Door 27	Door 27	CI Tools Door Exterior	Cavity Sliding Door	Sliding Robe Doors	Door 27	Sliding Robe Doors
Quantity	1	1	1	1	1	1	1	1	1	1	1	1	1
Height	2,400	2,400	2,100	2,400	2,340	2,400	2,400	2,340	2,400	2,340	2,100	2,340	2,100
Width	3,010	3,010	2,930	3,400	770	1,640	820	820	3,610	770	2,360	820	2,360
To Room Number	001	001	001	001	001	001	001	001	002	001	002	002	002
Comments	---	---	---	---					---		---		---
Home Story Name	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	First Floor Level	Ground Floor Level	First Floor Level	First Floor Level	First Floor Level
Renovation Status	New	New	New	New	New	New	New	New	New	New	New	New	New
Specific Notes													

DOOR SCHEDULE					
ID	D-25	D-26	D-27	D-29	D-30
Door Type	Door 27	Door 27	Door 27	Door 27	Sliding Robe Doors
Library Part Name	Door 27	Door 27	Door 27	Door 27	Sliding Robe Doors
Quantity	1	1	1	1	1
Height	2,340	2,340	2,340	2,340	2,400
Width	820	820	820	920	1,800
To Room Number	002	002	002	002	002
Comments					---
Home Story Name	First Floor Level	First Floor Level	First Floor Level	First Floor Level	First Floor Level
Renovation Status	New	New	New	New	New
Specific Notes					

DOOR SCHEDULE



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REV. ID	ISSUE	DATE	PROPOSED NEW RESIDENCE	DRAWING TITLE:	SHEET NO.
I	PRELIMINARY WORKING DRAWINGS	20/1/2025	CLIENT: Sophia & Stuart Naylor SITE ADDRESS: 2 Prince Edward Rd Seaforth NSW	DOOR SCHEDULE	31 of 35
J	PLANNING ISSUE - RFI	7/4/2025			
K	PLANNING ISSUE - RFI	14/4/2025			
L	PLANNING / FSR PLAN	14/4/2025			

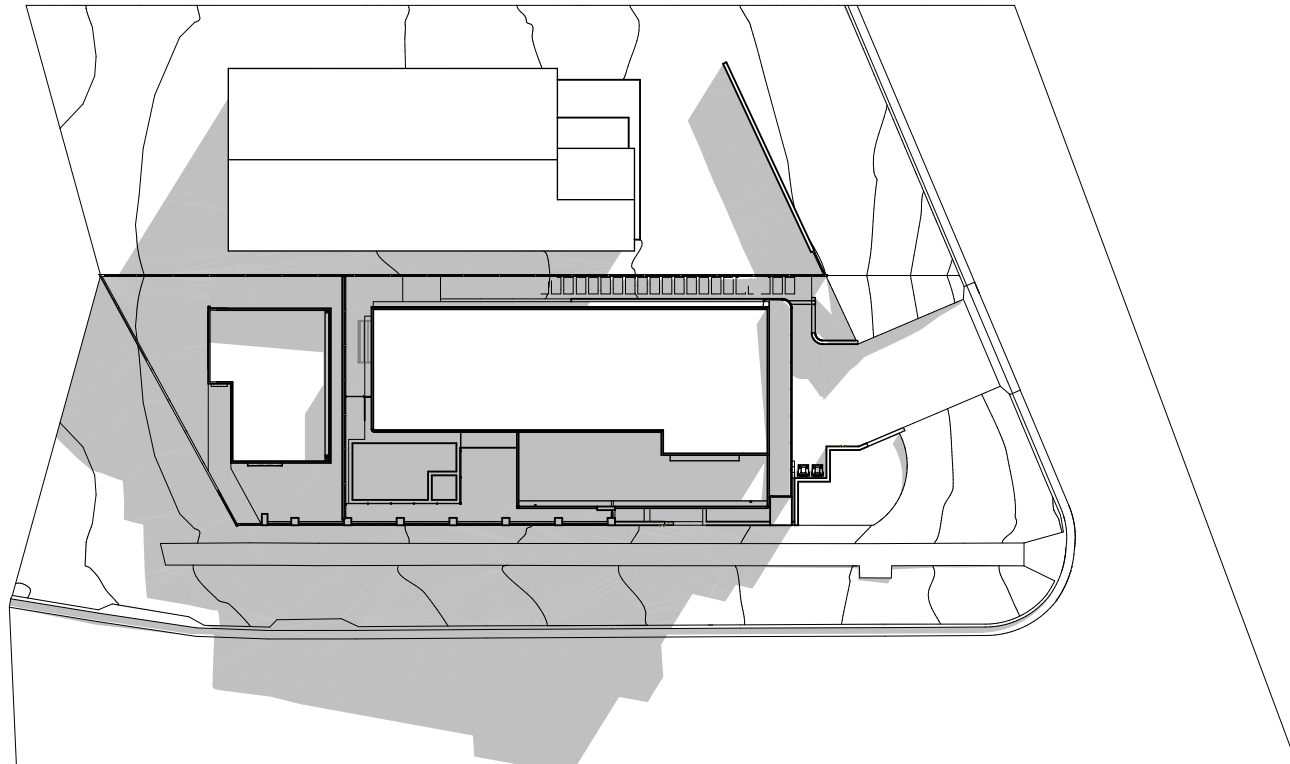
WINDOW SCHEDULE												
ID	W-02	W-03	W-04	W-05	W-06	W-07	W-08	W-09	W-10	W-11	W-12	W-13
Window Type												
Window Name	Cl Tools Window	Aluminium Sliding	Aluminium Fixed	Aluminium Sliding	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window
Quantity	1	1	1	1	1	1	1	1	1	1	1	1
Height	2,100	1,200	700	600	1,200	2,100	2,740	2,100	1,200	600	2,100	2,100
Width	1,660	2,110	3,010	1,510	1,510	3,010	2,400	950	600	2,710	1,800	600
Window head height	2,400	2,400	1,650	2,400	2,400	2,400	2,740	2,400	2,400	2,400	2,400	2,400
Window sill height	300	1,200	950	1,800	1,200	300	0	300	1,200	1,800	300	300
Location	Basement Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level	Ground Floor Level
Renovation Status	New	New	New	New	New	Existing	New	New	New	New	New	New
Specific Notes												
2D Symbol												
Elevation												

WINDOW SCHEDULE												
ID	W-14	W-15	W-16	W-17	W-18	W-19	W-20	W-21	W-22	W-23	W-24	W-25
Window Type												
Window Name	Cl Tools Window	Cl Tools Window	Cl Tools Window	Aluminium Sliding	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window	Cl Tools Window
Quantity	1	1	1	1	1	1	1	1	1	1	1	1
Height	2,100	2,100	1,200	900	1,200	1,800	1,200	1,200	1,200	1,800	1,800	1,800
Width	610	610	1,810	1,810	2,410	1,210	2,410	2,410	1,510	3,610	3,810	514
Window head height	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400
Window sill height	300	300	1,200	1,500	1,200	600	1,200	1,200	1,200	600	600	600
Location	Ground Floor Level	Ground Floor Level	Ground Floor Level	First Floor Level	First Floor Level	First Floor Level	First Floor Level	First Floor Level	First Floor Level	First Floor Level	First Floor Level	First Floor Level
Renovation Status	New	New	New	New	New	New	New	New	New	New	New	New
Specific Notes												
2D Symbol												
Elevation												

WINDOW SCHEDULE			
ID	W-26	W-28	
Window Type			
Window Name	Aluminium Fixed	Aluminium Sliding	
Quantity	1	1	26
Height	1,800	900	
Width	1,810	910	
Window head height	2,400	2,400	
Window sill height	600	1,500	
Location	First Floor Level	First Floor Level	
Renovation Status	New	New	
Specific Notes			
2D Symbol			
Elevation			

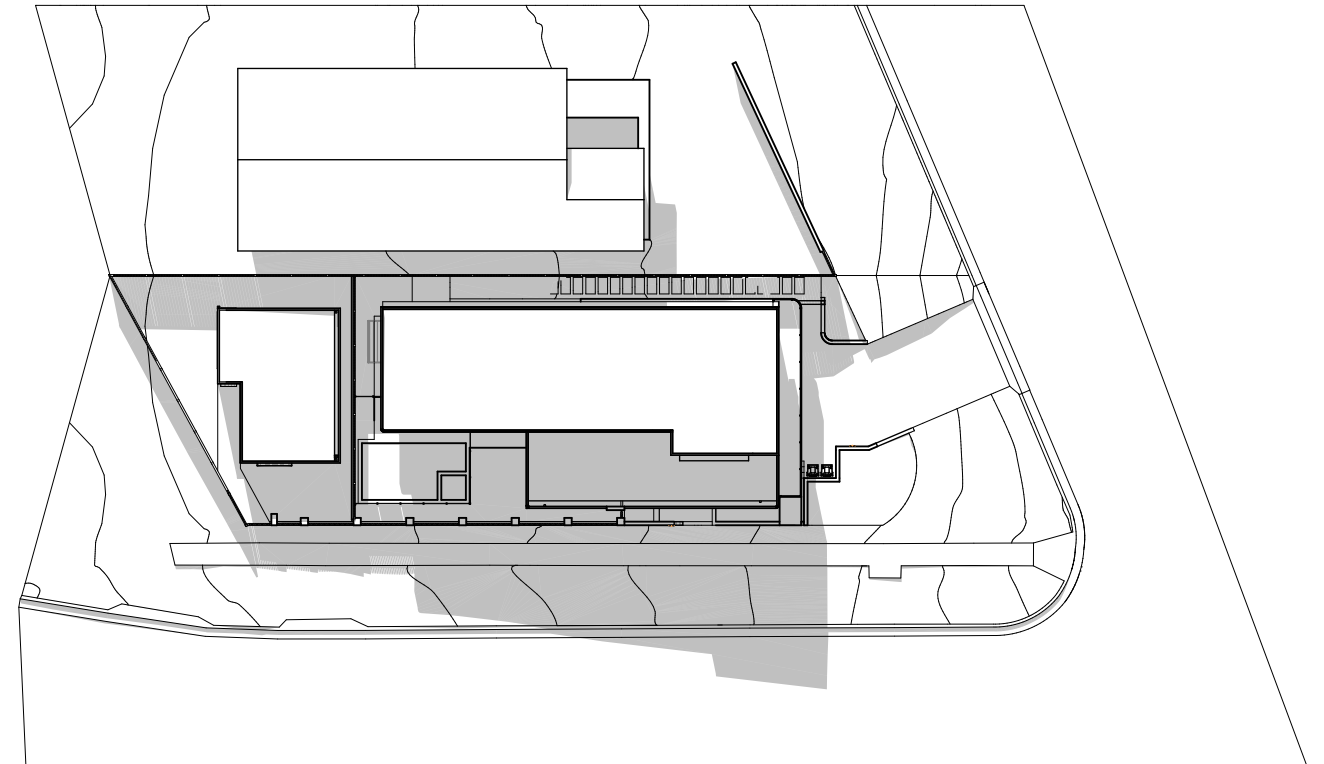
WINDOW SCHEDULE





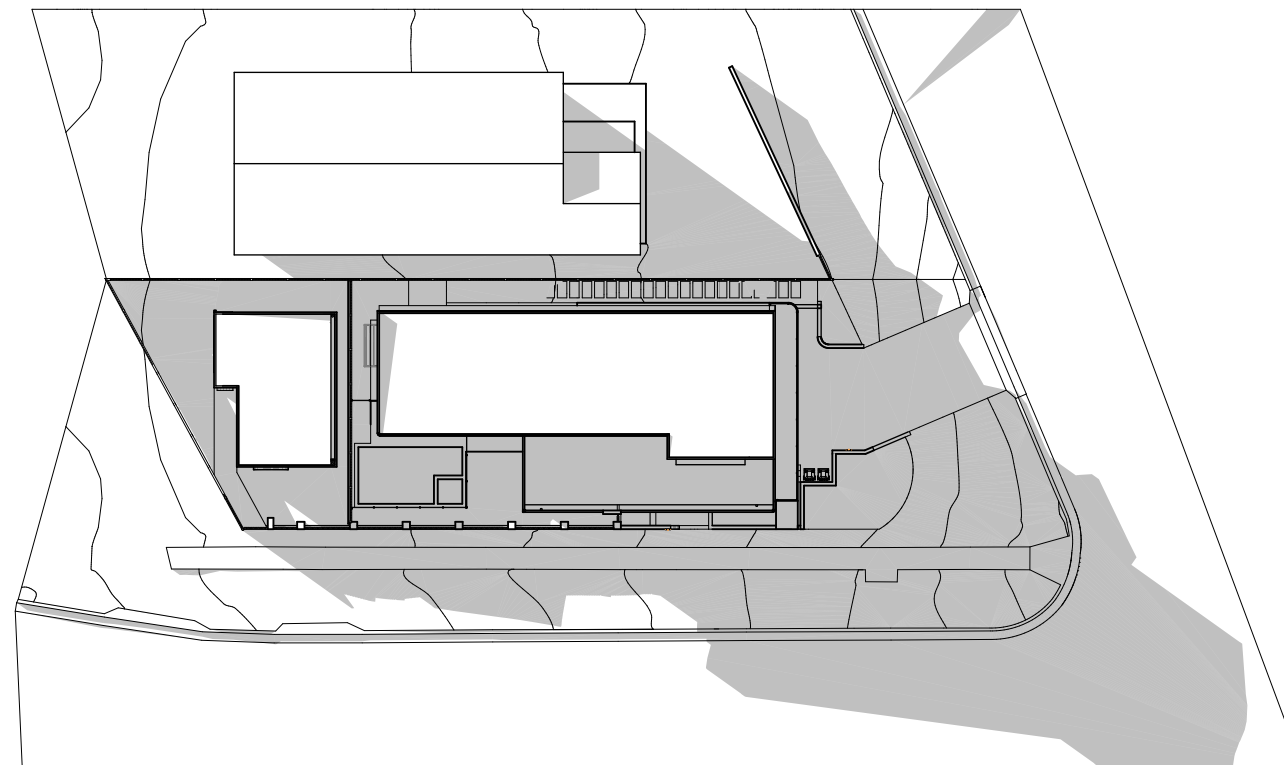
21st JUNE - 9AM

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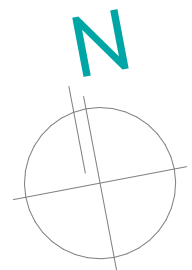
21st JUNE - 12PM

N/A



21st JUNE - 3PM

N/A



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**PROPOSED NEW  
RESIDENCE**

CLIENT:  
Sophia & Stuart Naylor

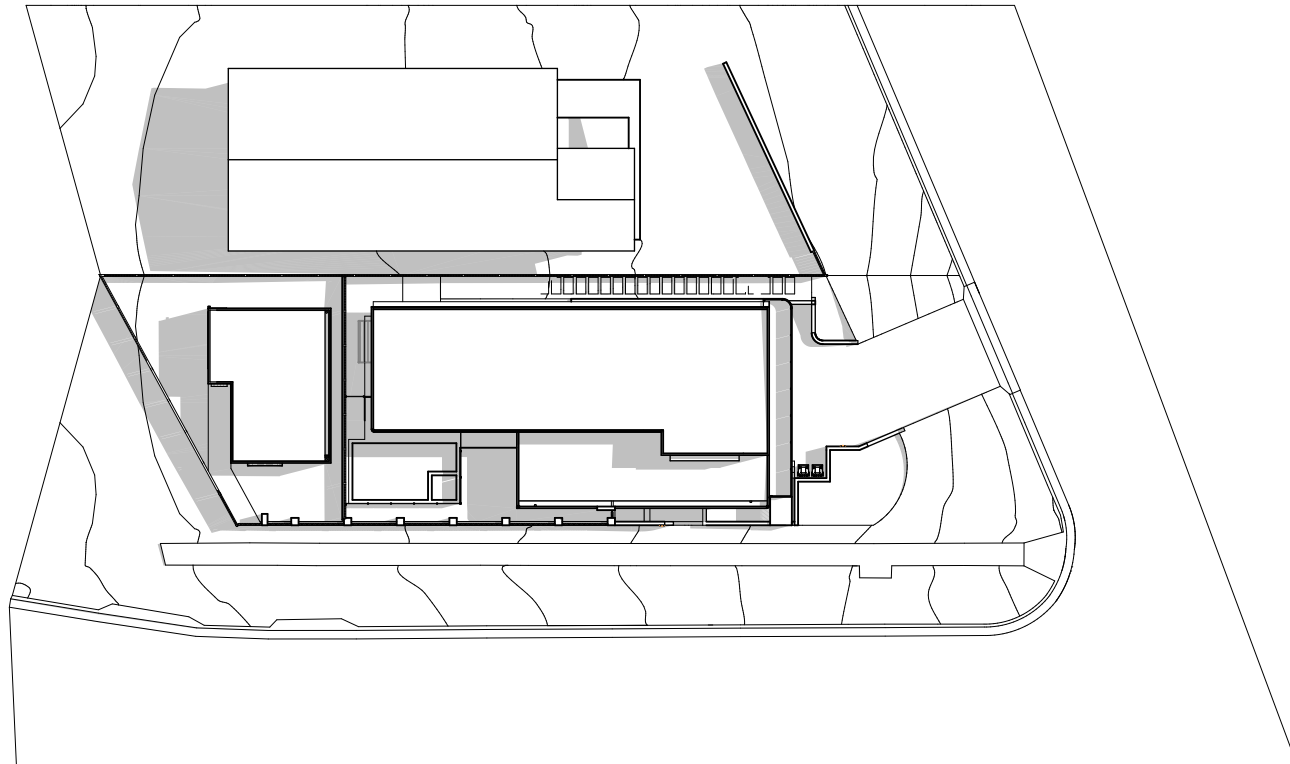
SITE ADDRESS:  
2 Prince Edward Rd  
Seaforth NSW

**DRAWING TITLE:**

**SUN STUDY - JUNE**

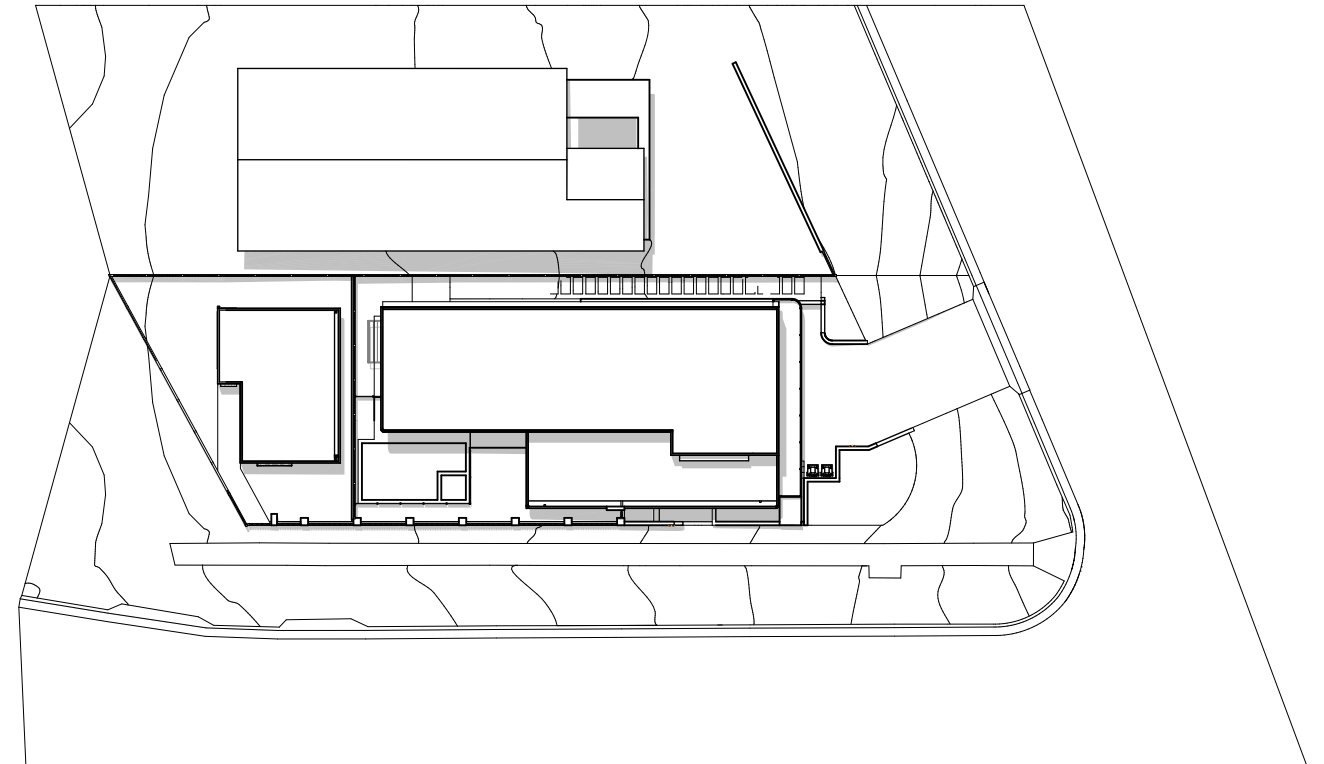
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**SHEET NO.**



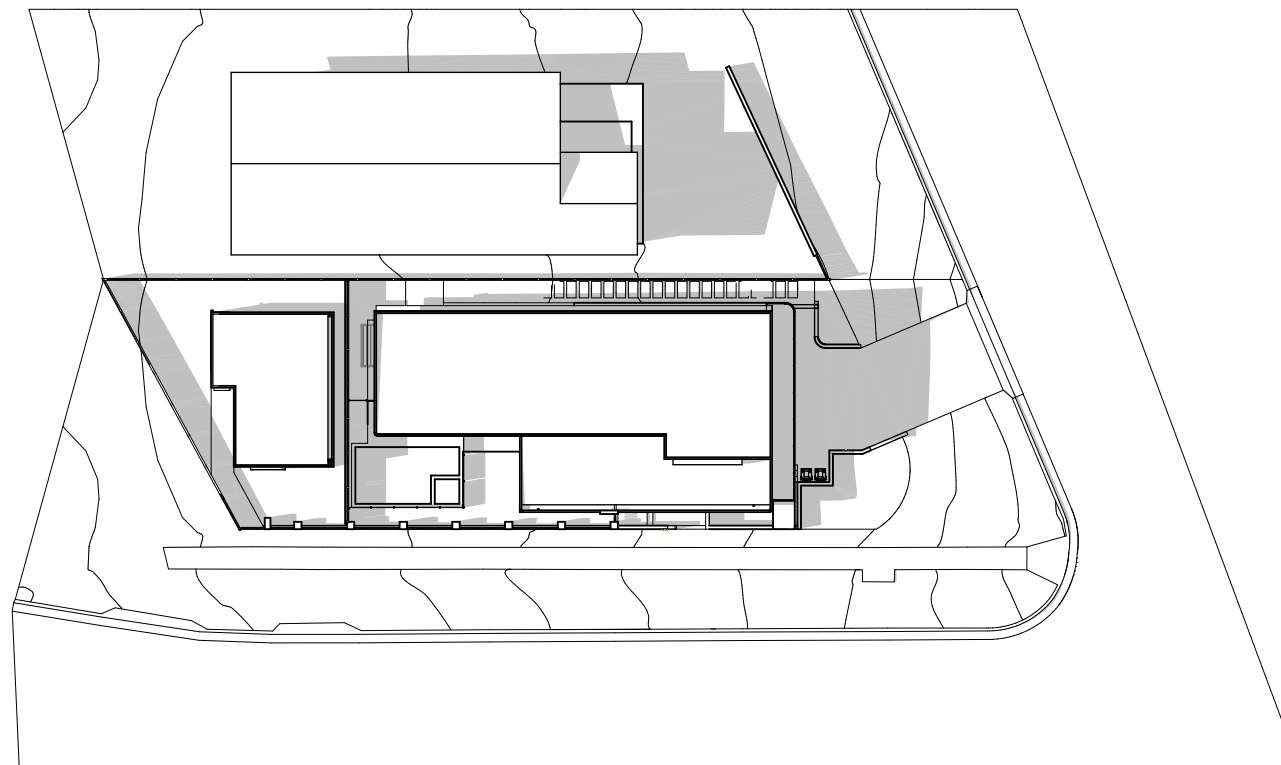
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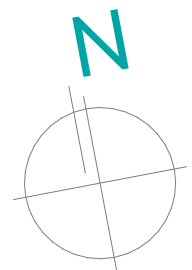
21st DECEMBER - 12PM

N/A



21st DECEMBER - 3PM

N/A



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**PROPOSED NEW  
RESIDENCE**

CLIENT: Sophia & Stuart Naylor

SITE ADDRESS: 2 Prince Edward Rd  
Seaforth NSW

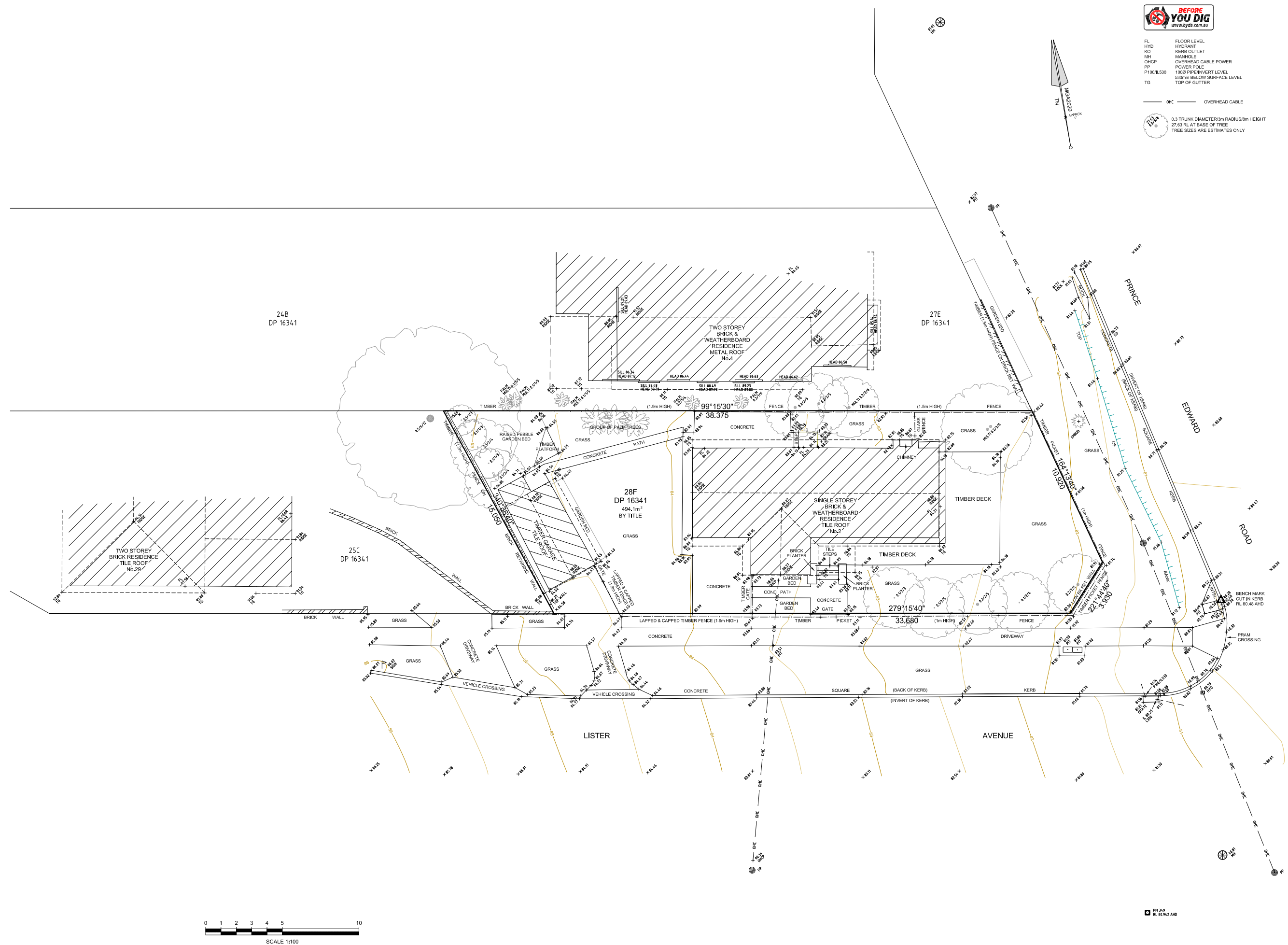
**DRAWING TITLE:**

SUN STUDY - DECEMBER

SCALE:  
1:400 A3

**SHEET NO.**



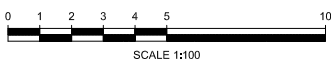


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Amendments		
ISSUE	DATE	DETAILS
INITIAL	19-12-2022	

PLAN:

SHOWING DETAIL AND LEVELS  
AT No.2 PRINCE EDWARD ROAD, SEAFORTH  
BEING LOT 28F IN DP 16341

LGA: NORTHERN BEACHES		REDUCTION RATIO: 1:100	CLIENT:  NAYCON BUILDING SOLUTIONS	B1
SUBURB: SEAFORTH		DATUM: AHD		
ORIGIN: PM 349 RL 80.942 AHD CLASS LC SCMS 15/12/2022		DATE OF SURVEY: 28-11-2022		
		SURVEYED BY: PE	PLAN REFERENCE:	ISSUE:
		DRAWN BY:	6533-DET	INITIAL