

PROPOSED DWELLING

11 HILL TOP ROAD,

AVALON

DRAWING LIST

- A00 COVER SHEET
- A01 SITE PLAN AND NOTES
- A02 GROUND FLOOR PLAN
- A03 LEVEL 1 FLOOR PLAN
- A04 LEVEL 2 FLOOR PLAN
- A05 ELEVATIONS SHEET 1
- A06 ELEVATIONS SHEET 2
- A07 SECTIONS SHEET 1
- A08 SECTIONS SHEET 2
- A09 SOIL & WATER MANAGEMENT PLAN
- A10 LANDSCAPING PLAN
- A11 SHADOW DIAGRAMS
- A12 WASTE MANAGEMENT PLAN
- A13 EXCAVATION & FILL PLAN
- A14 DEMOLITION PLAN
- A20 POOL PLAN & SECTION
- A25 BASIX COMMITMENTS

Plot Date: 14/7/2021 10:09:12 PM Office: AUDC1 Filename: D:\PERSONAL\ASH-R\PHIL-B\AVBEACH-HILL-TOP\A00-HTA.DWG

P.A.BYRNE
CONSTRUCTIONS

SIOBHAN & SHAWN
TRANTER

CLIENT			REV	DATE	REVISION DETAILS	APPROVED	SCALE	SIZE	FINAL DESIGN		PROJECT
			A	10.11.2020	FINAL DESIGN		AS SHOWN	A3			
			B	25.04.2021	REVISED PLAN		DRAWN		APPROVED	DATE	TITLE
			C	22.05.2021	ISSUED FOR DA		ARTS				
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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
COVER SHEET



GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES AND THE LOCAL COUNCIL.
2. ALL TRADES, SERVICES AND SUB-CONTRACTORS SHALL BE LICENSED CURRENTLY WITH THE BUILDING SERVICES CORPORATION
3. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS
4. SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED AND VERIFIED ON SITE, BY THE CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK.
5. IF IN DOUBT, UNDER NO CIRCUMSTANCES IS THE CONTRACTOR TO COMMENCE THAT STAGE OF THE PROJECT. THE CONTRACTOR SHALL CONFIRM THE DESIGN WITH THE OWNER OR THE DESIGNER.
6. ALL TIMBER WORK SHALL BE CONSTRUCTED AND G6. SUITABLY BRACED IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 - 1992
7. ALL BUILDING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENT OF THE BUILDING CODE OF AUSTRALIA (BCA 2019)

SOUTH-WESTERLY WINDS

VIEWS FROM LIVING AND BEDROOMS

HILLTOP ROAD

EDGE OF BITUMEN ROAD

EDGE OF BITUMEN ROAD

46.0

47.0

6500

6.5m BUILDING LINE

EXISTING DRIVEWAY

6.5m BUILDING LINE

SINGLE STOREY WEATHERBOARD RESIDENCE No. 9

53.29 RIDGE

55.43 GUTTER

56.03 GUTTER

56.54 RIDGE

55.98 GUTTER

55.80 AWNING

55.40 FENCE

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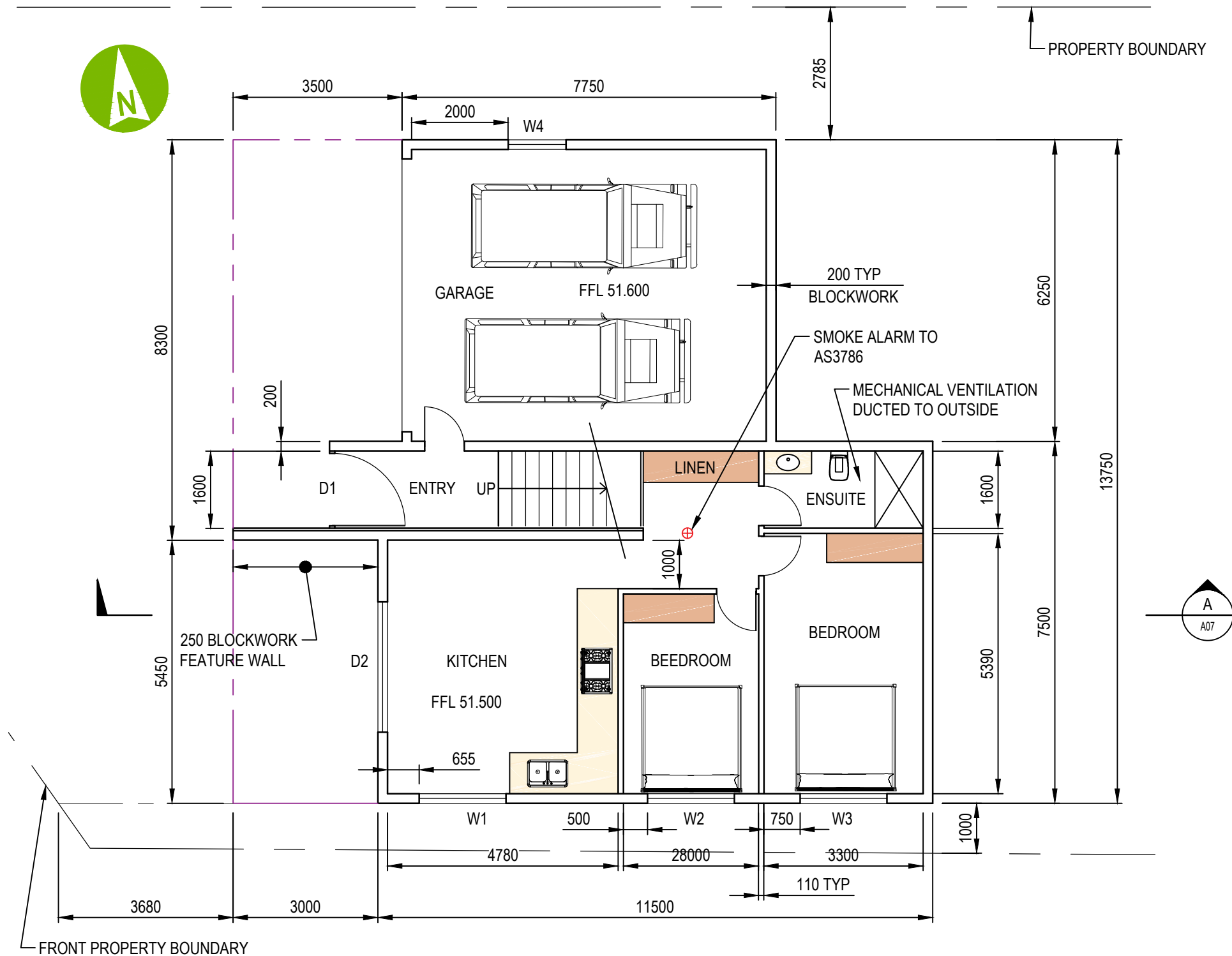
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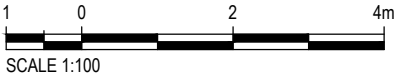
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GROUND FLOOR PLAN (GRANNY FLAT LEVEL)
1:100

WINDOW & DOOR SCHEDULE		
TAG	WIDTHxHEIGHT	COMMENTS
D1	1600x2200	ENTRANCE, TIMBER
D2	2700x2200	SLIDING, ALUMINIUM
D3	GARAGE DOOR	
D4	6000x2400	BIFOLD, ALUMINIUM
D5	4800x2400	BIFOLD, ALUMINIUM
W1	1800x1000	SLIDING, ALUMINIUM
W2	1800x1000	SLIDING, ALUMINIUM
W3	1800x1000	SLIDING, ALUMINIUM
W4	1200x600	SLIDING, ALUMINIUM
W5	800x600	LOUVRE
W6	4500x1000	SLIDING, ALUMINIUM
W7	2200x600	600 LOUVRE, FIXED, 600 LOUVRE
W8	2200x600	600 LOUVRE, FIXED, 600 LOUVRE
W9	1800x600	600 LOUVRE, FIXED, 600 LOUVRE
W10	1800x600	600 LOUVRE, FIXED, 600 LOUVRE
D6	3300x2400	SLIDING, ALUMINIUM
W12	1800x1400	FIXED +600 LOUVRE RHS, OPAQUE
D7	3600x2400	SLIDING, ALUMINIUM
W14	2200x1000	SLIDING, ALUMINIUM
W15	2200x1000	SLIDING, ALUMINIUM
W16	2200x1000	SLIDING, ALUMINIUM
W17	1800x600	600 LOUVRE, FIXED, 600 LOUVRE
W18	900x600	LOUVRE, OPAQUE
W19	1800x600	600 LOUVRE, FIXED, 600 LOUVRE
W20	1200x800	SLIDING, ALUMINUM
W21	4500x1600	BIFOLD, ALUMINIUM



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CONSTRUCTIONS

SIOBHAN & SHAWN
TRANTER

CLIENT

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A	14.12.2020	FINAL DESIGN
B	25.04.2021	REVISED PLAN
C	22.05.2021	ISSUED FOR DA

APPROVED

SCALE
AS SHOWN

SIZE
A3

FINAL DESIGN

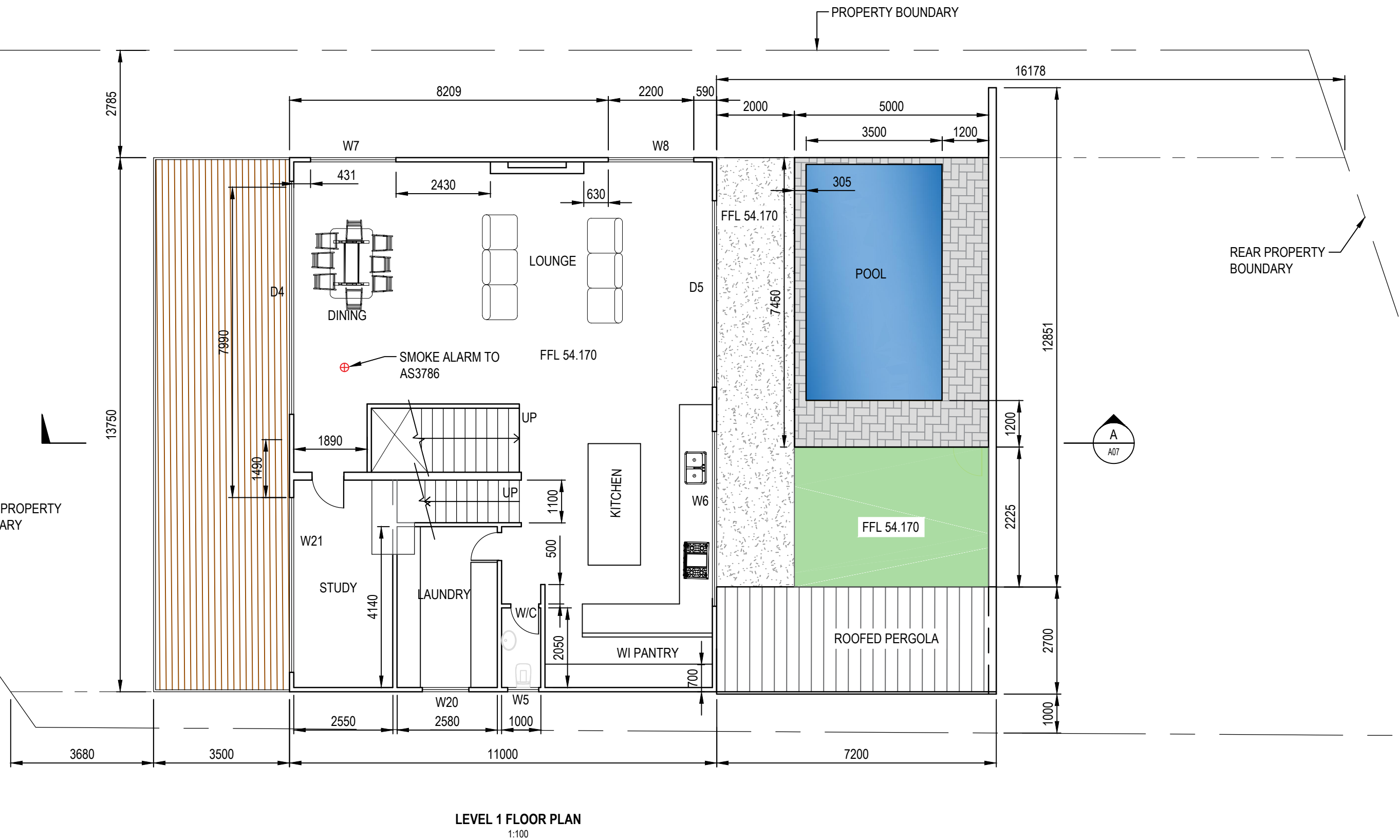
PROJECT

APPROVED
DATE

TITLE

PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
GROUND FLOOR PLAN

DRAWING No. HT PROJECT No. HT NUMBER A02 REV - C



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A	14.12.2020	FINAL DESIGN
B	25.04.2021	REVISED PLAN
C	22.05.2021	ISSUED FOR DA

APPROVED

SCALE
AS SHOWN

SIZE
A3

FINAL DESIGN

PROJECT

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ARTS

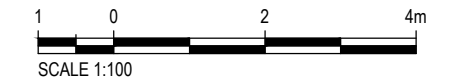
DESIGNED

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DATE

TITLE



PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
LEVEL 1 FLOOR PLAN

DRAWING No.	PROJECT No.	NUMBER	REV
HT	HT	A03	- C



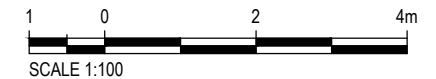
PROPERTY BOUNDARY

BALCONY ROOF

REAR PROPERTY BOUNDARY

FRONT PROPERTY BOUNDARY

LEVEL 2 FLOOR PLAN
1:100



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DATE

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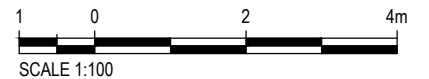
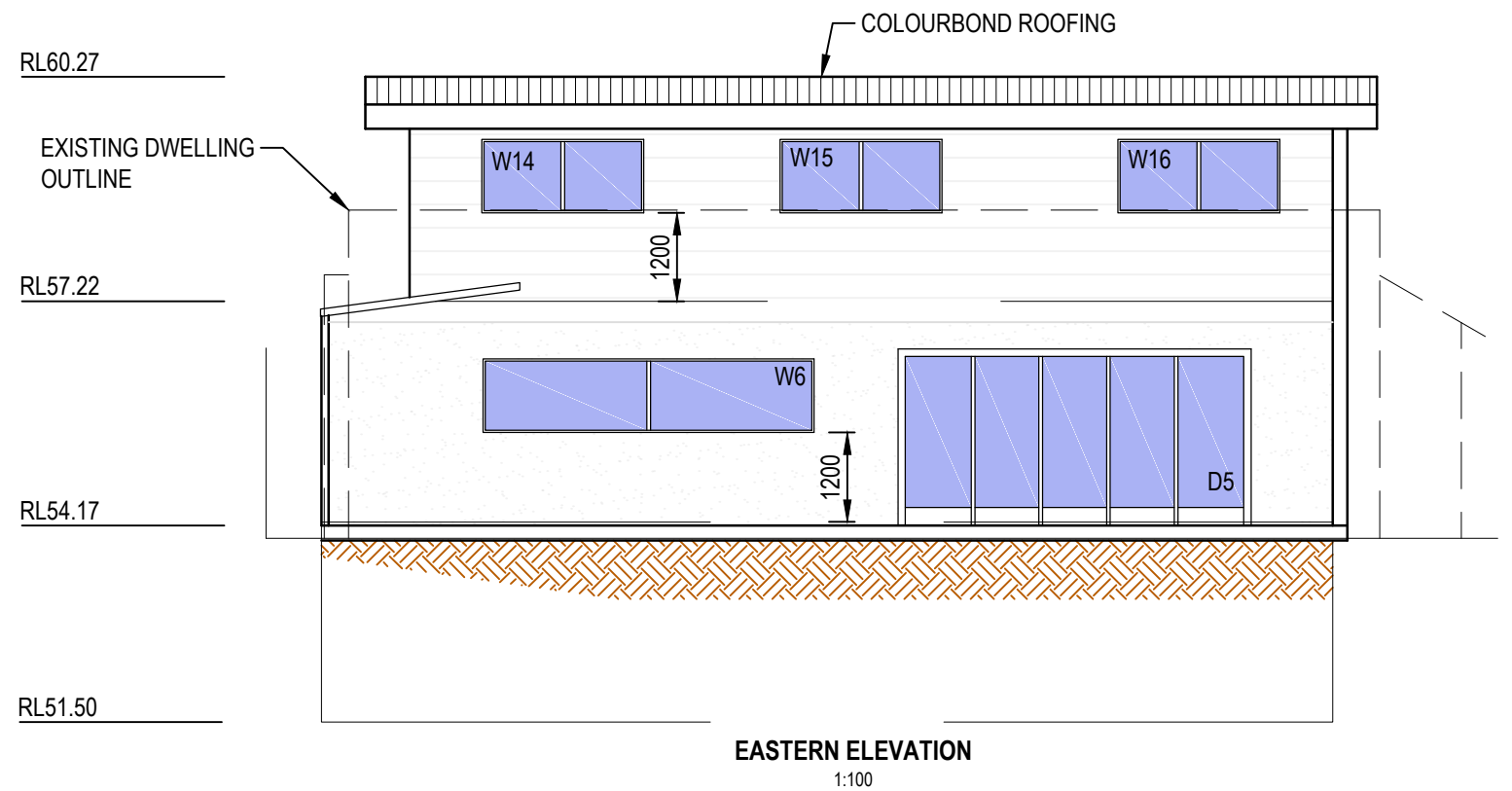
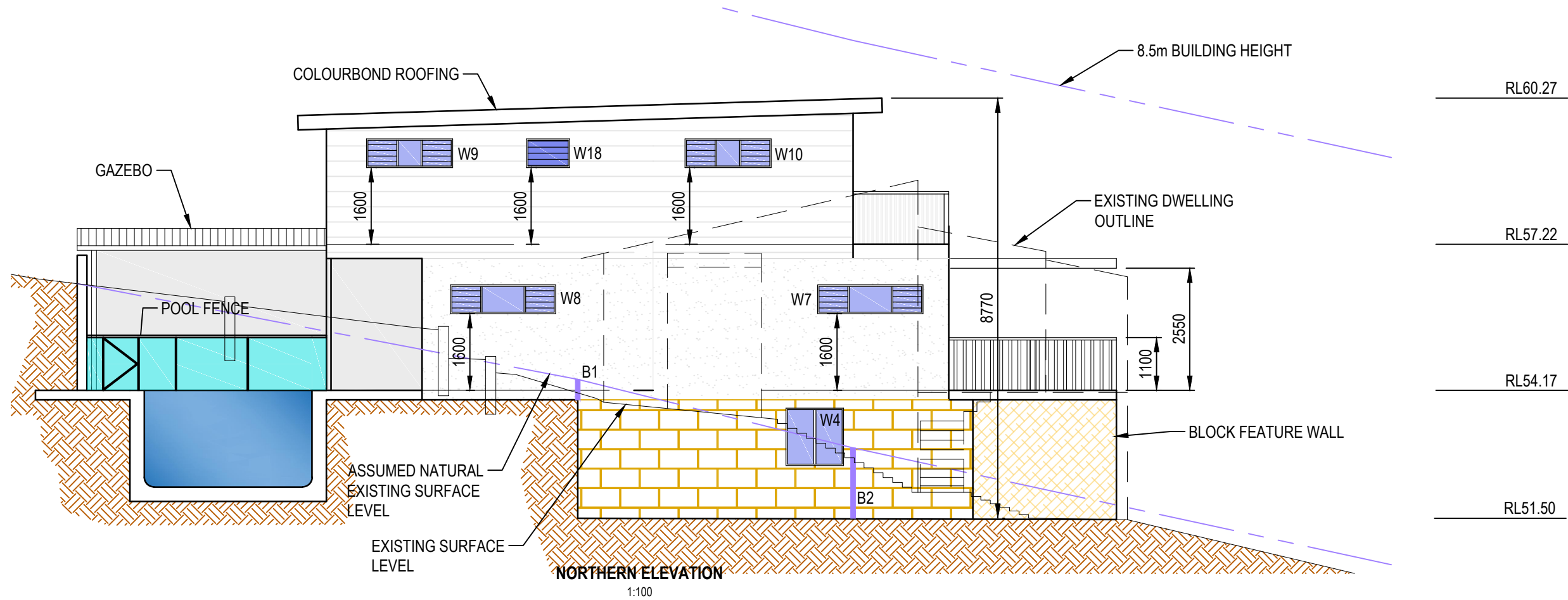
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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
LEVEL 2 FLOOR PLAN

DRAWING No. HT PROJECT No. HT NUMBER A04 REV - C

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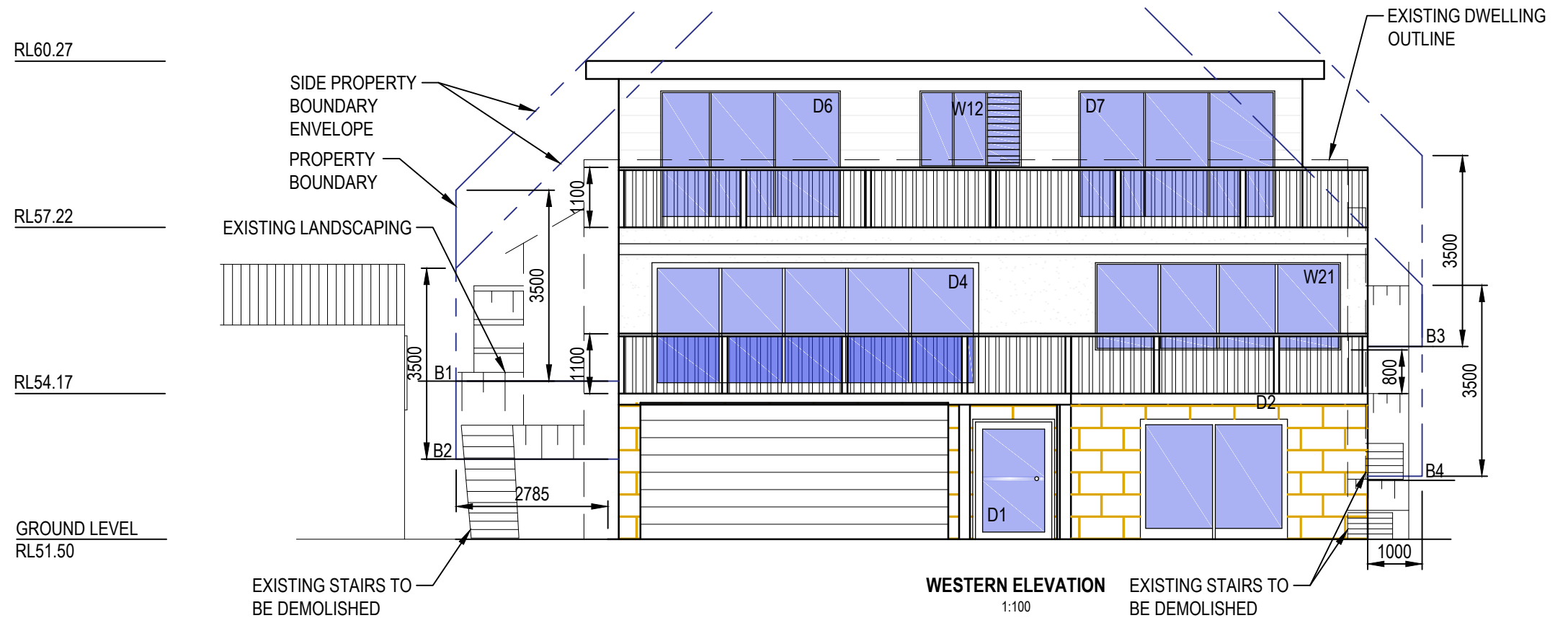
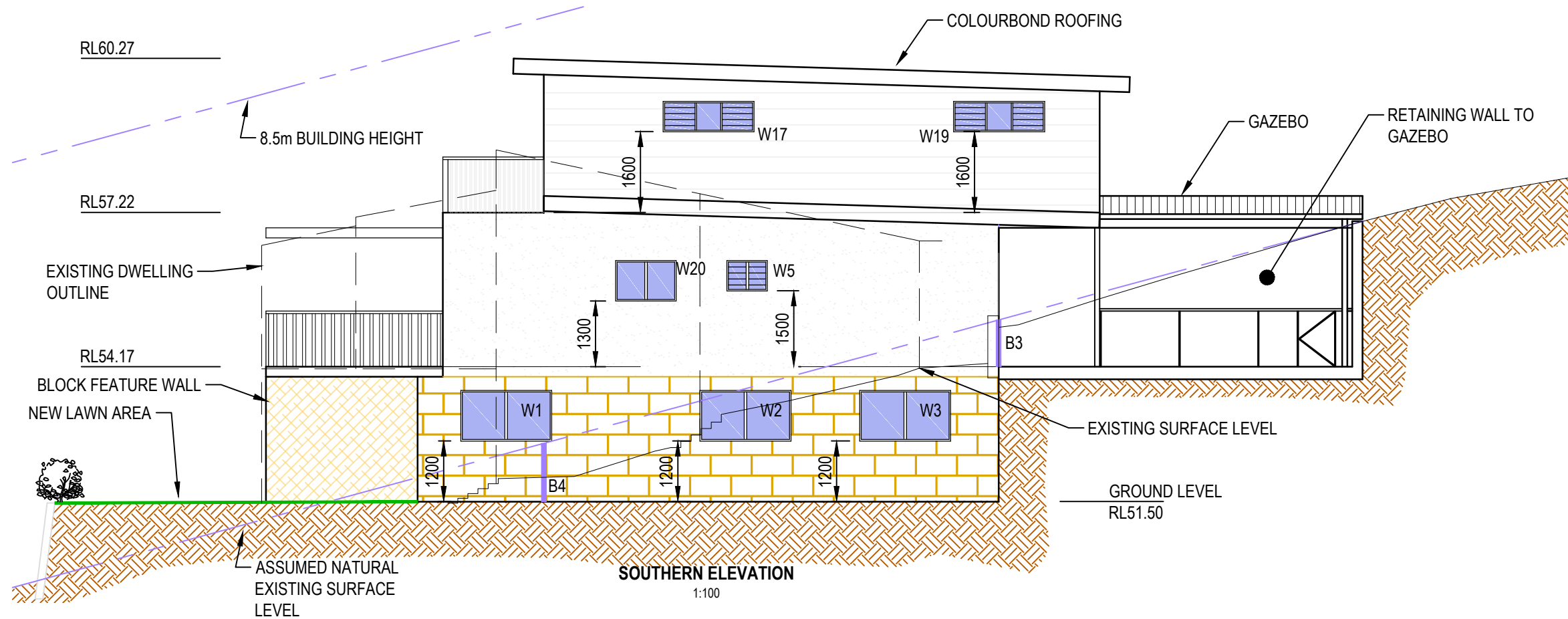
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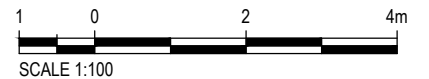
PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
ELEVATIONS
SHEET 1

DRAWING No.	PROJECT No.	NUMBER	REV
HT		A05	- C

Plot Date: 14/7/2021 10:09:44 PM Office: AUDC1 Filename: D:\PERSONAL\ASH-R\PHIL-B\AVBEACH-HILL\TOPA06-HTA.DWG



NOTE:
B2 & B4 DENOTES ASSUMED EXISTING NATURAL SURFACE LEVEL AT FRONT OF DWELLING
B1 & B3 DENOTES ASSUMED EXISTING NATURAL SURFACE LEVEL AT REAR OF PROPOSED DWELLING



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CONSTRUCTIONS

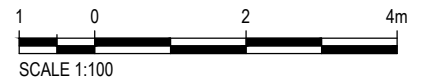
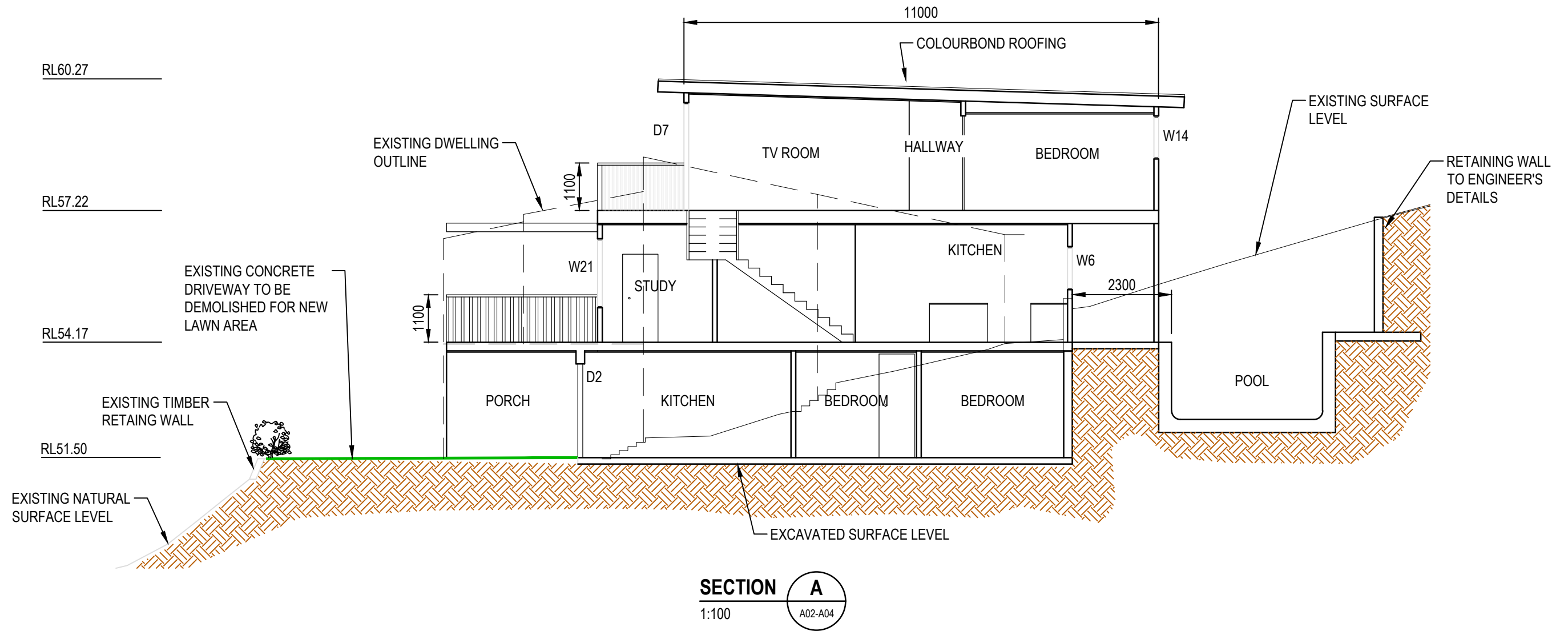
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TRANter

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					DRAWN		APPROVED	
					ARTS		DATE	TITLE
					DESIGNED			
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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
ELEVATIONS
SHEET 2

DRAWING No. HT PROJECT No. HT NUMBER A06 REV - C

Plot Date: 14/7/2021 10:09:50 PM Office: AUDC1 Filename: D:\PERSONAL\ASH-R\PHIL-B\AVBEACH-HILL\TOPA07-HTA.DWG



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CONSTRUCTIONS

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A	14.12.2020	FINAL DESIGN
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SCALE
AS SHOWN

SIZE
A3

FINAL DESIGN

PROJECT

DRAWN
ARTS

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DATE

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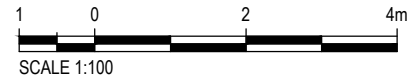
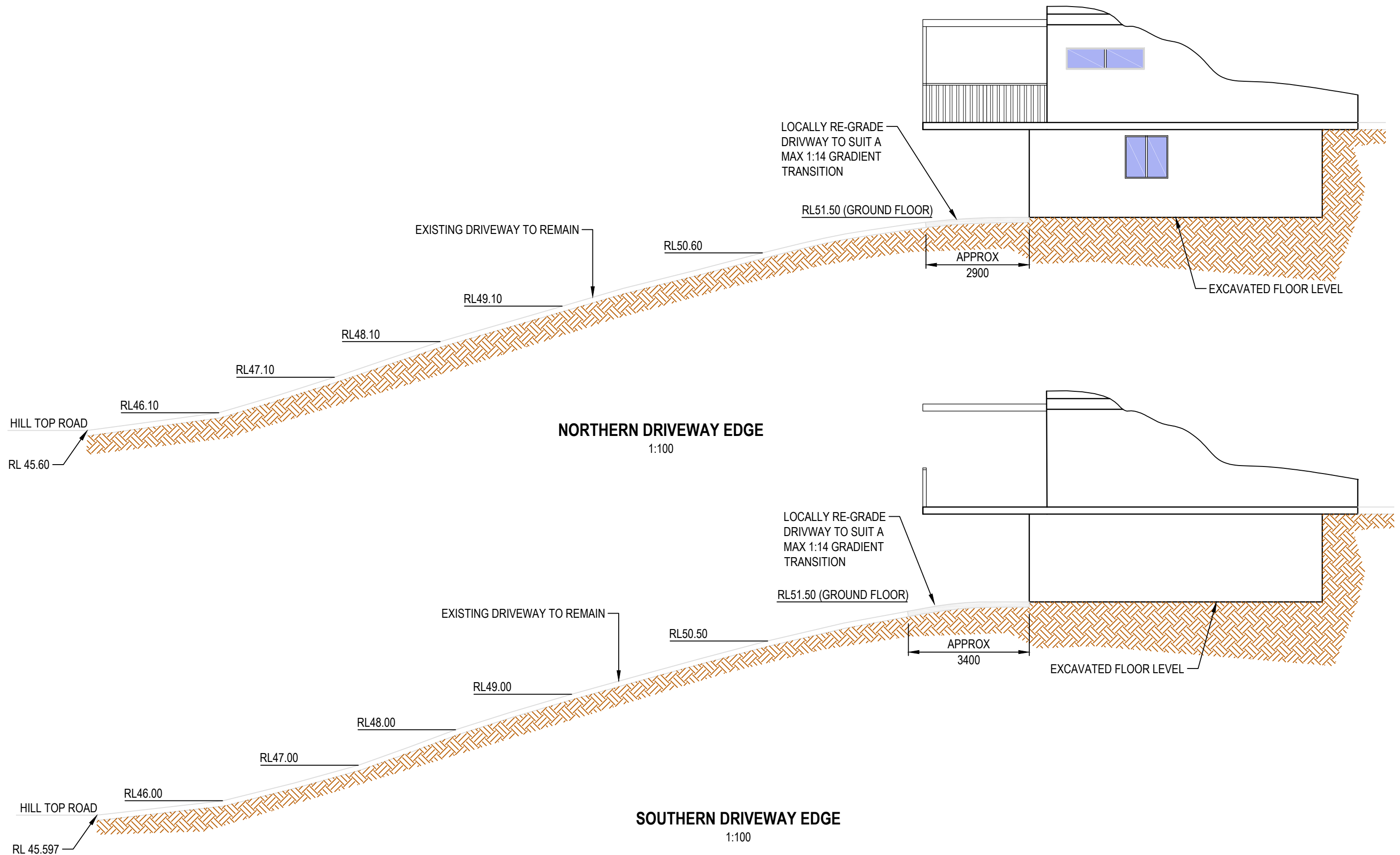
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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
SECTIONS
SHEET 1

DRAWING No.	PROJECT No. HT	NUMBER A07	REV - C
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Plot Date: 14/7/2021 10:09:56 PM Office: AUDC1 Filename: D:\PERSONAL\ASH-R\PHIL-B\AVBEACH-HILL\TOPA08-HTA.DWG



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PROJECT

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DATE

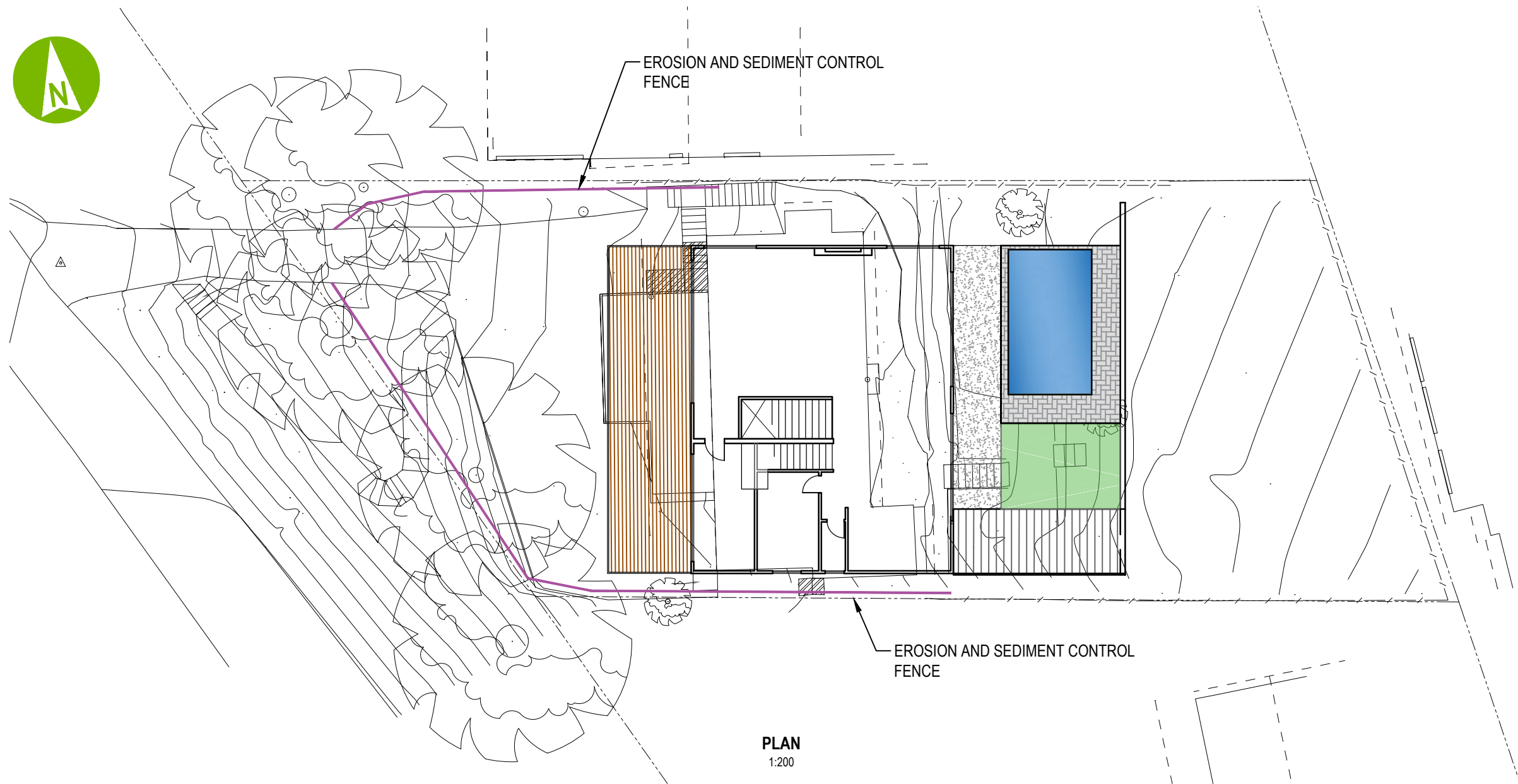
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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
SECTIONS
SHEET 2

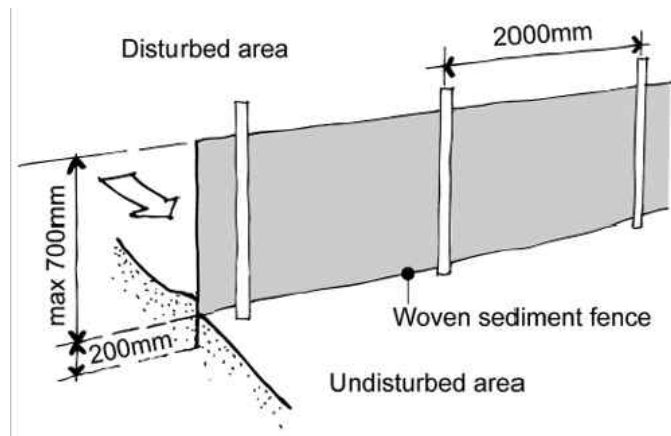
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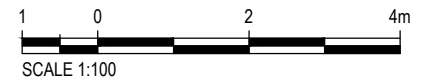
REV
- C



PLAN
1:200



TYPICAL SEDIMENT FENCE DETAIL
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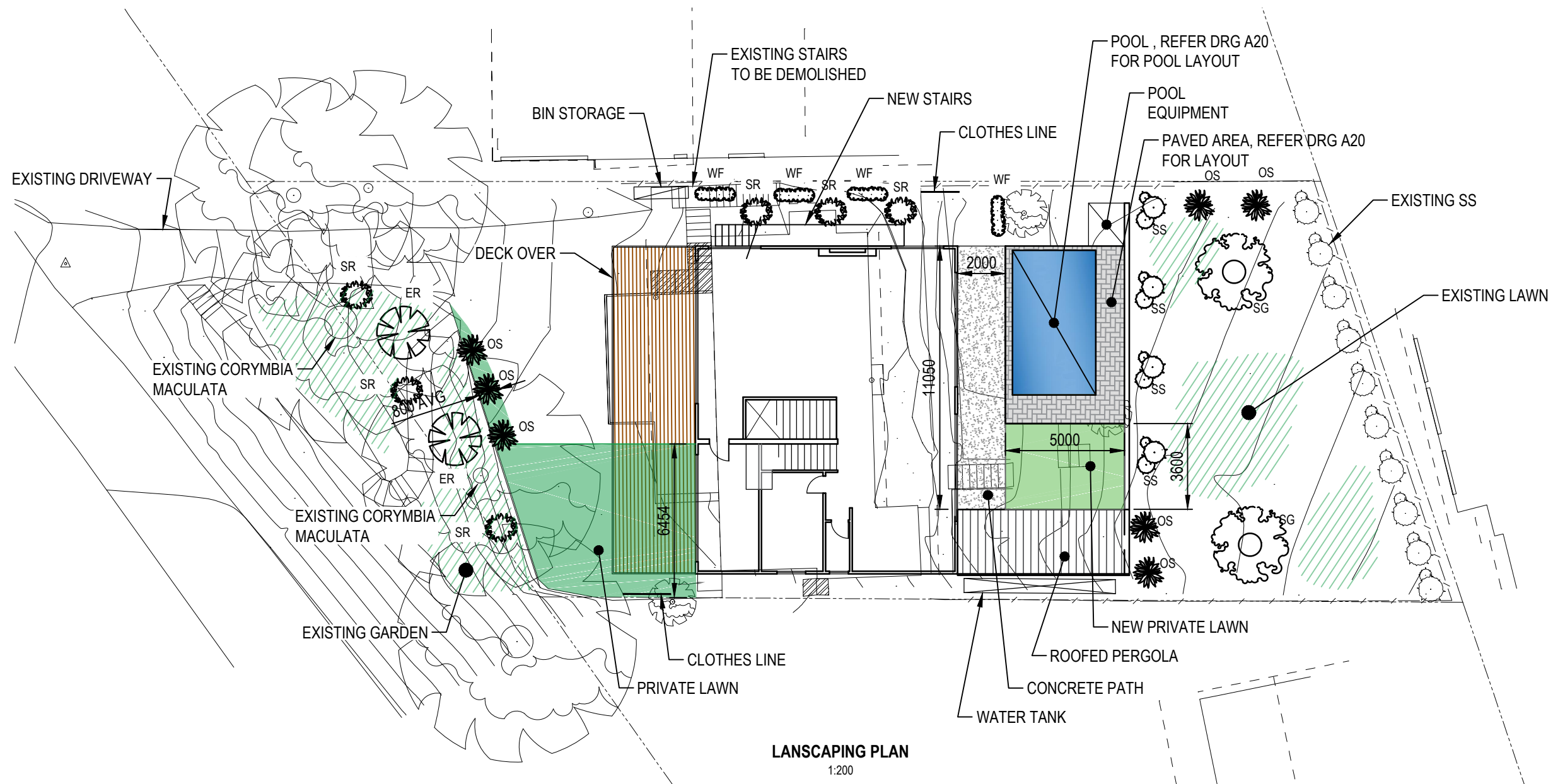
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CONSTRUCTIONS

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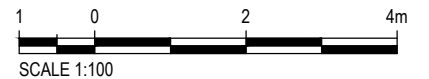
PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
SOIL & WATER MANAGEMENT PLAN

DRAWING No.	PROJECT No.	NUMBER	REV
HT		A09	- C



VEGETATION LEGEND

- OPLISMENUR SP (OS)
- SCAEVOLA RAMOSISSIMA (SR)
- SYZYGIUM SMITHII (SS) 200 POT SIZE
- ELAEOCARPUS RETICULATUS (ER) 300 POT SIZE
- CORYMBIA MACULATA (SG) 52 LITRE POT
- WESTRINGIA FRUTICOSA (WF) 200 POT SIZE



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CONSTRUCTIONS

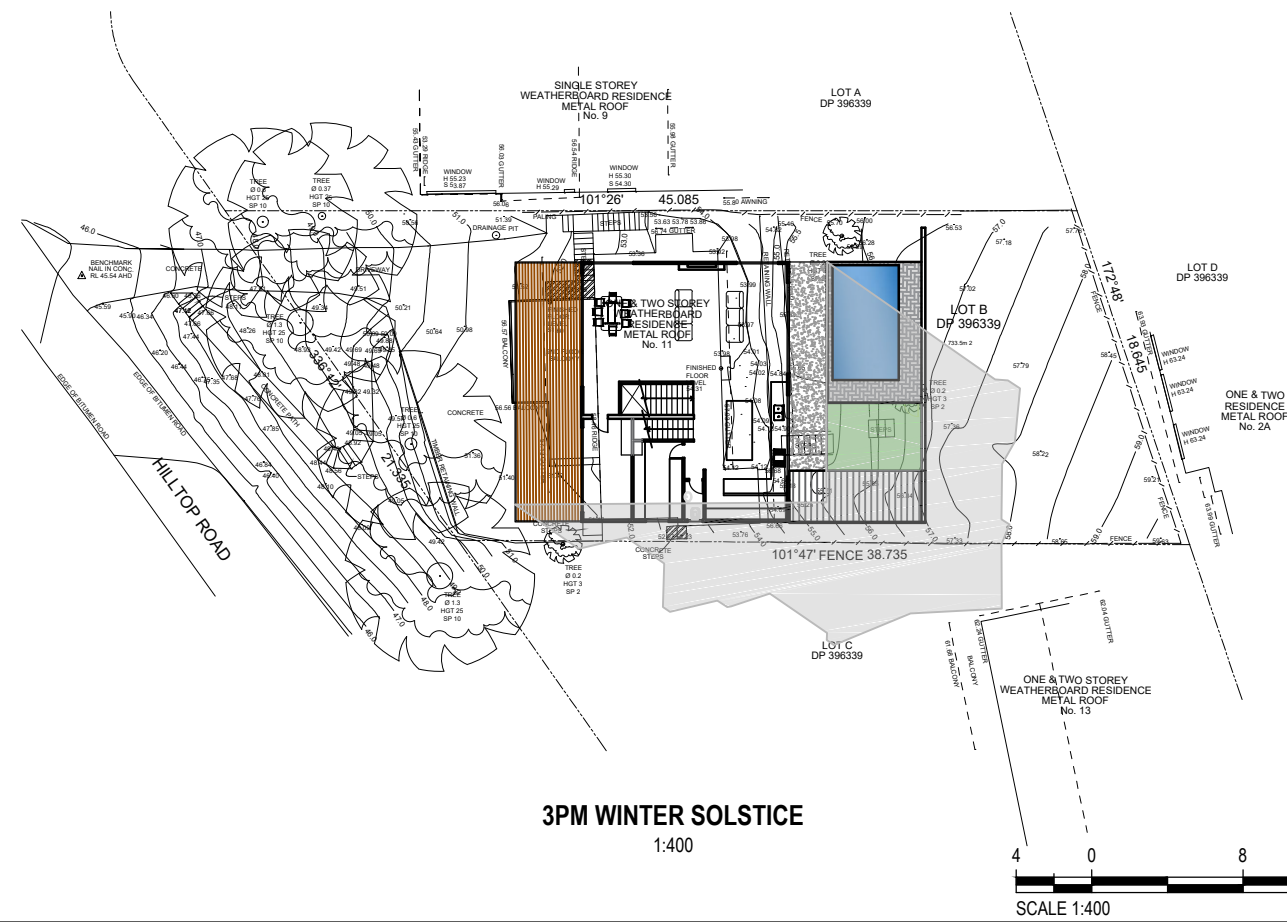
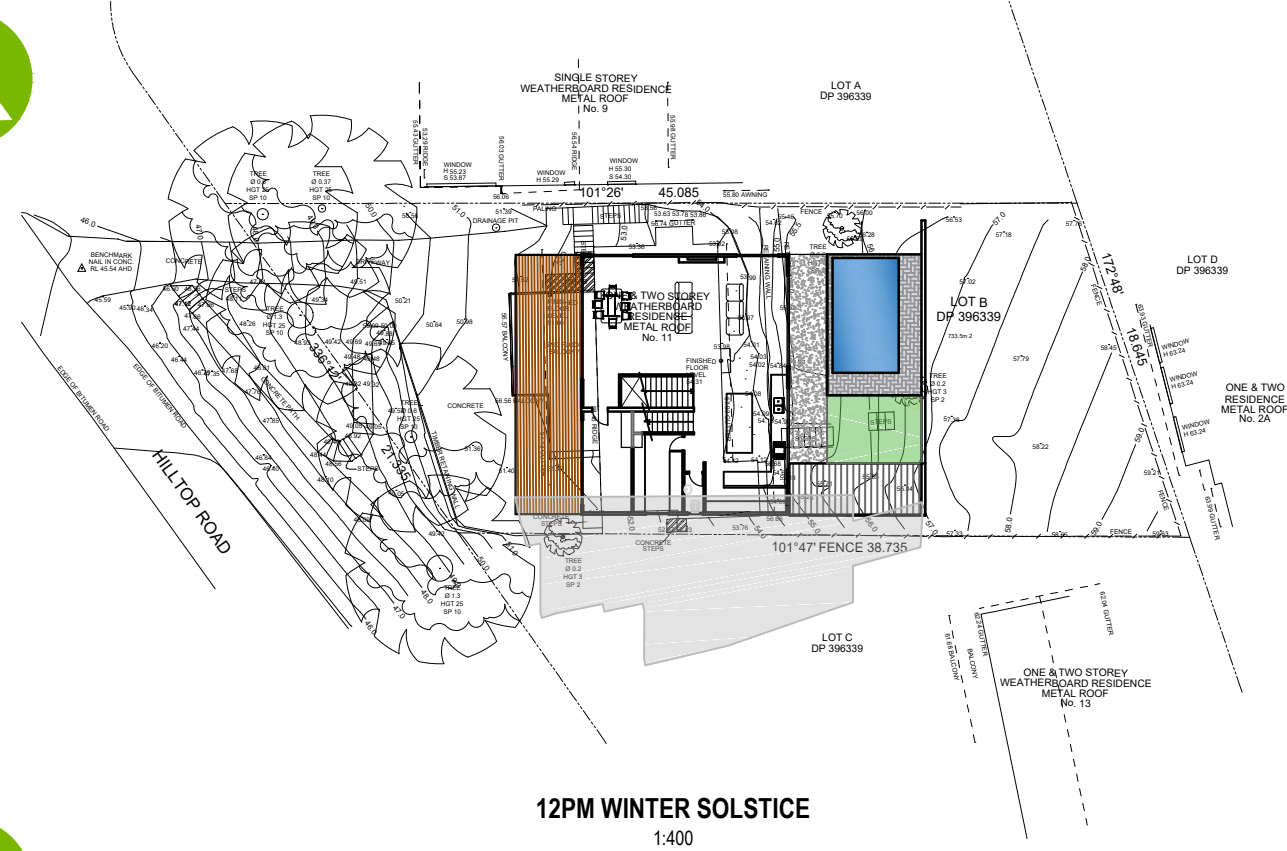
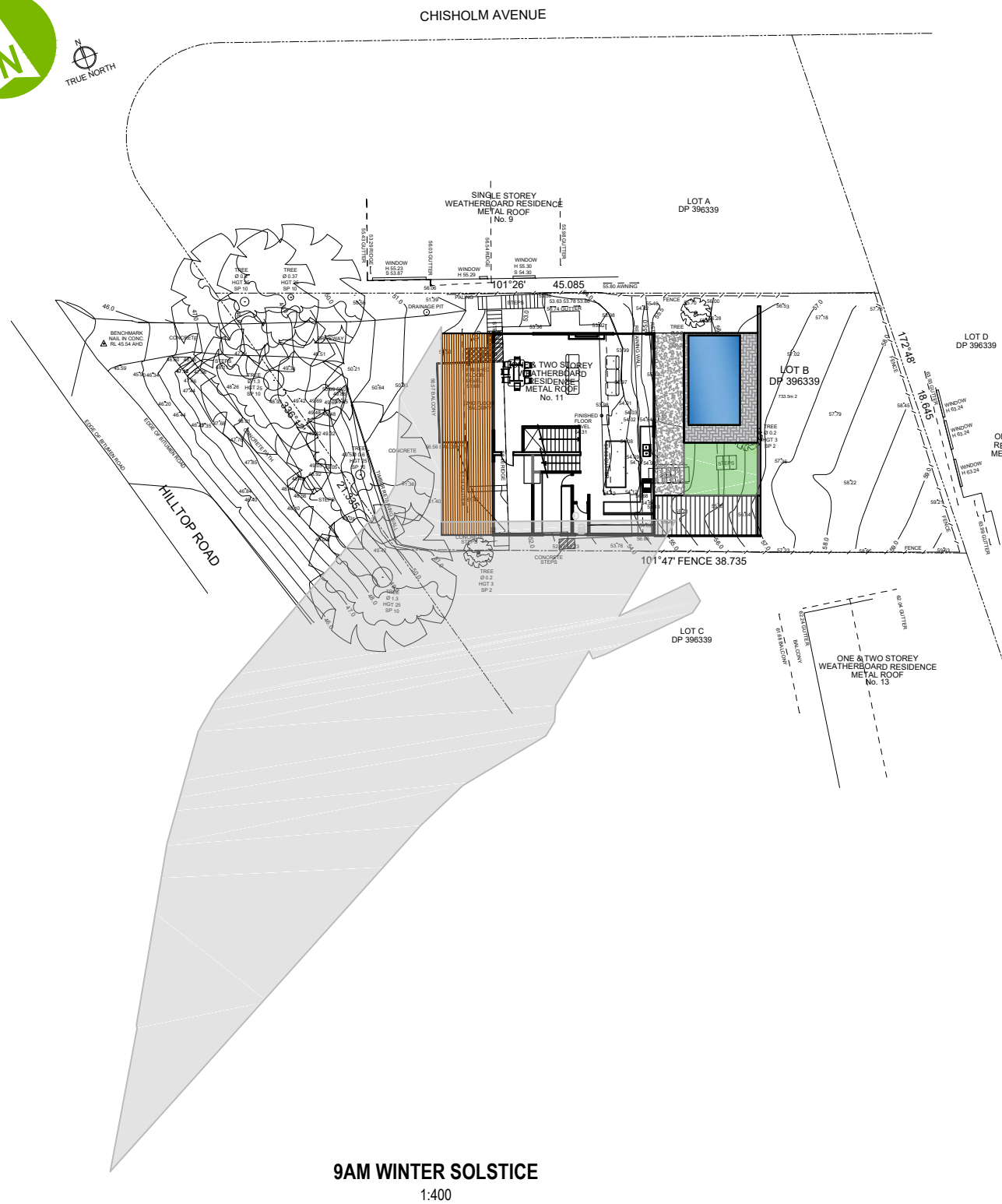
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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
LANDSCAPING PLAN

DRAWING No. HT PROJECT No. A10 NUMBER - C

Plot Date: 14/7/2021 10:10:12 PM Office: AUDC1 Filename: D:\PERSONAL\ASH-R\PHIL-BAYBEACH-HILLTOPA11-HTA.DWG



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CONSTRUCTIONS

SIOBHAN & SHAWN
TRANter

CLIENT

REV DATE REVISION DETAILS

A 14.12.2020 FINAL DESIGN
B 25.04.2021 REVISED PLAN
C 22.05.2021 ISSUED FOR DA

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SCALE

AS SHOWN

SIZE

A3

FINAL DESIGN

PROJECT

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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
SHADOW DIAGRAMS

DRAWING No. HT PROJECT No. A11 NUMBER REV - C



MATERIALS STORAGE
AREA DURING
CONSTRUCTION

WASTE STORAGE
AREA DURING
CONSTRUCTION

PLAN
1:200



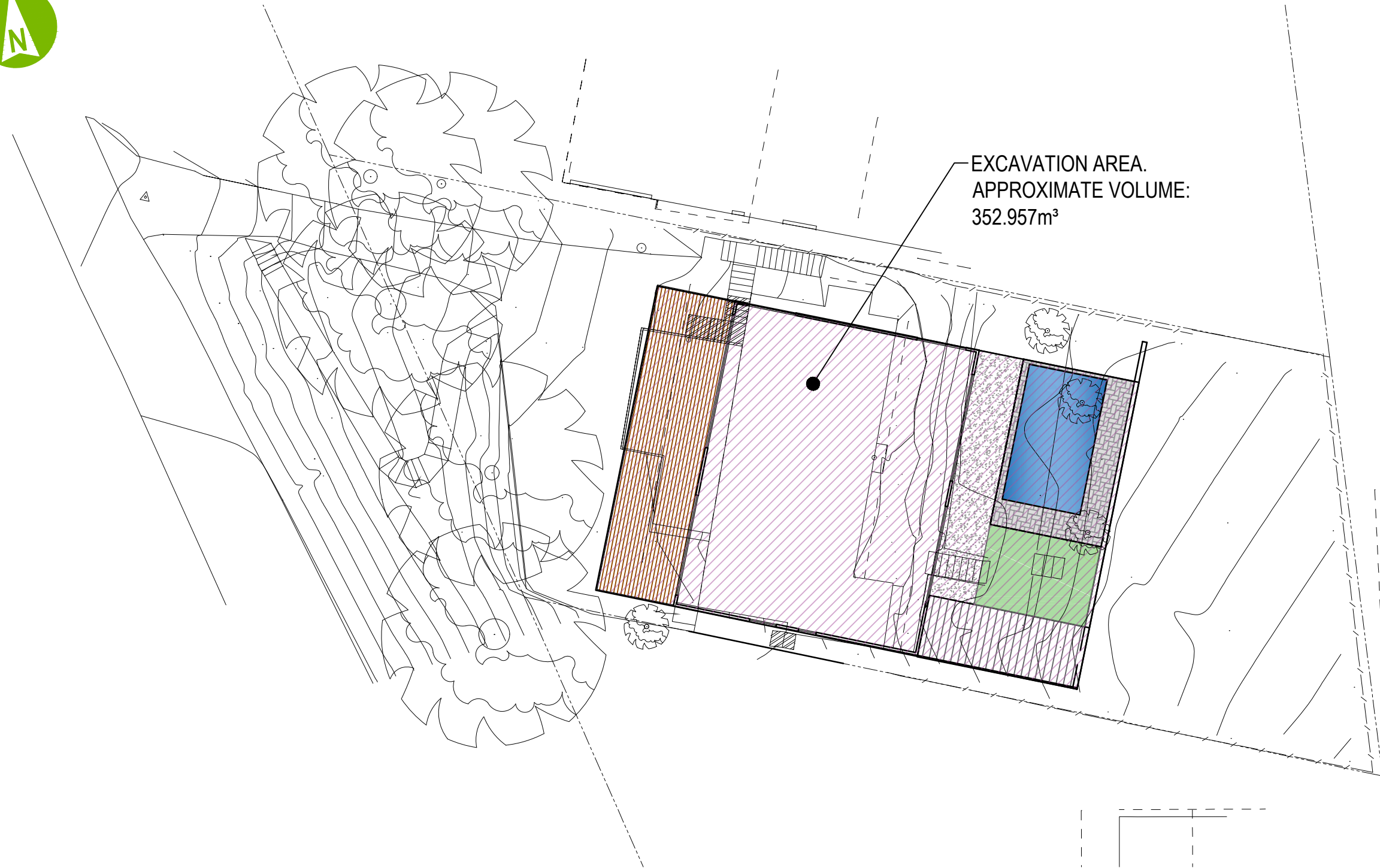
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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
WASTE MANAGE AND STORAGE
PLAN

DRAWING No.	PROJECT No.	NUMBER	REV
HT		A12	- A



EXCAVATION PLAN
1:200



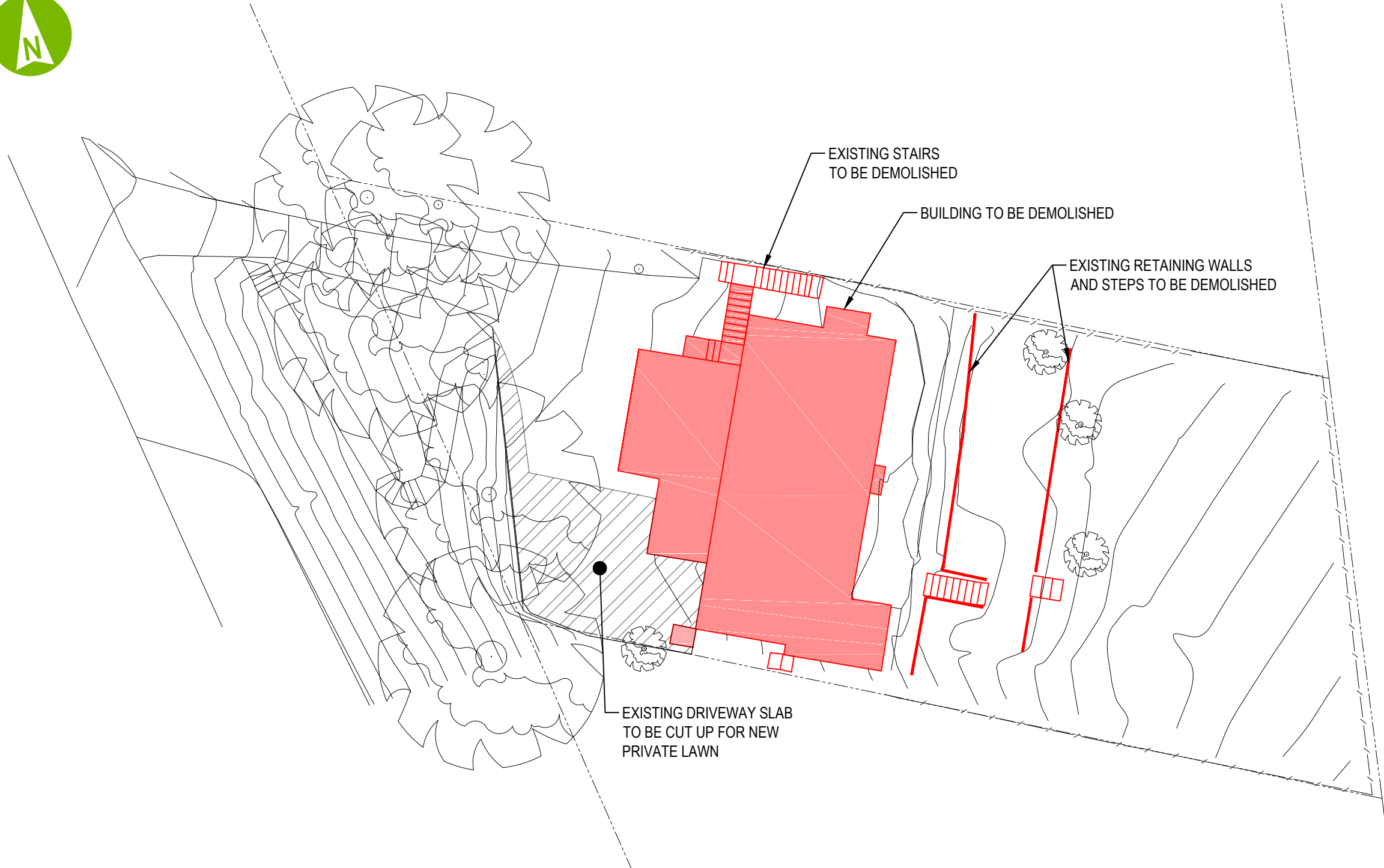
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PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
EXCAVATION & FILL
PLAN

DRAWING No.	PROJECT No.	NUMBER	REV
HT	HT	A13	- A



DEMOLITION PLAN
1:200



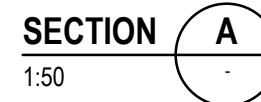
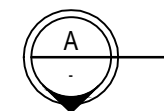
P.A.BYRNE
CONSTRUCTIONS

SIOBHAN & SHAWN
TRANter

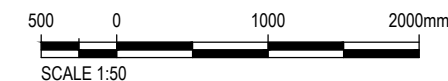
CLIENT	REV	DATE	REVISION DETAILS	APPROVED	SCALE	SIZE	FINAL DESIGN	PROJECT
	A	22.05.2021	ISSUED FOR DA		AS SHOWN	A3		
					DRAWN		APPROVED	TITLE
					ARTS		DATE	
					DESIGNED			
					CHECKED			

PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
DEMOLITION PLAN

DRAWING No.	PROJECT No.	NUMBER	REV
HT		A14	A



- NOTES:
1. REFER DRG A01 FOR GENERAL NOTES
 2. POOL FENCING TO COMPLY WITH AUSTRALIAN STANDARDS 1926.1 - 2012.
 3. GLASS BALUSTRADING TO COMPLY WITH AUSTRALIAN STANDARDS 1288-2006 SECTION 7.
 4. POOL FILTER TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS 1926 (2012) & SWIMMING POOLS ACT 1992.



P.A.BYRNE
CONSTRUCTIONS

SIOBHAN & SHAWN
TRANter

CLIENT	REV	DATE	REVISION DETAILS
SIOBHAN & SHAWN	A	14.12.2020	FINAL DESIGN
	B	25.04.2021	REVISED PLAN
	C	22.05.2021	ISSUED FOR DA

APPROVED	SCALE AS SHOWN	SIZE A3	FINAL DESIGN	PROJECT
	DRAWN ARTS		APPROVED	TITLE
	DESIGNED		DATE	
	CHECKED			

PROPOSED DWELLING
11 HILL TOP ROAD, AVALON
POOL PLAN & SECTION

DRAWING No.	PROJECT No.	NUMBER	REV
HT		A20	- C

Schedule of BASIX commitments			
The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.			
1. Commitments for multi-dwelling houses			
(a) Dwellings			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Fixtures													
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover
1	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	5 star	no	-	-	32.0	yes	outdoors	no	-	-
All other dwellings	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	5 star	no	-	-	-	-	-	-	-	-

Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscaped connection	Toilet connection (s)	Laundry connection	Pool top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	yes	yes	yes	no
None	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(iii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Hot water							
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
1	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off
All other dwellings	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light	natural ventilation only, or no laundry	-

Cooling			Heating		Artificial lighting					Natural lighting		
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	gas hydronic system	1-phase airconditioning EER 2.5 - 3.0	4	3	yes	yes	yes	yes	3	yes
All other dwellings	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	electric floor heating	1-phase airconditioning EER 2.5 - 3.0	2	1	yes	yes	no	yes	0	no

Appliances & other efficiency measures												
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
1	electric heat pump	yes	-	-	Induction cooktop & electric oven	-	no	-	-	-	no	no
All other dwellings	-	-	-	-	gas cooktop & electric oven	-	no	-	-	-	no	no

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
1	2.5
All other dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	40.4	20.2
All other dwellings	35.2	4.2

Construction of floors and walls				
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)
1	33	21	-	45
All other dwellings	67	-	-	-

Primarily rammed earth or mudbrick walls	
No	
No	

3. Commitments for common areas and central systems/facilities for the development (non-building specific)			
(b) Common areas and central systems/facilities	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(i) Water			
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	2500.0	To collect run-off from at least: - 180.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- Irrigation of 0.0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Project summary	Tranter -BCC.PW_02
Project name	11 Hilltop Road Avalon Beach 2107
Street address	Northern Beaches Council
Local Government Area	deposited 396339
Plan type and plan number	B
Lot no.	-
Section no.	0
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0

Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

BASIX Certificate	
Building Sustainability Index www.basix.nsw.gov.au	
Multi Dwelling	
Certificate number: 1158389M_02	
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at: www.basix.nsw.gov.au	
Secretary	Date of issue: Monday, 05 July 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.	
NSW	Planning, Industry & Environment

Certificate Prepared by	
Name / Company Name: BASIX Certificate Centre	
ABN (if applicable): 31 430 367 846	

SCHEDULE OF FINISHES 11 HILLTOP RD AVALON

Ground Level walls in sandstone rock face finish



Roofing in Monument colour Klip Lok



First floor walls, light grey render finish



Upper storey walls, Metal cladding in monument colour.



Aluminium Windows and doors



Monument Matt

Exterior Glass handrails

