

Statement of Environmental Effects

Alterations and Additions to Dwelling
20 Quirk Street
Dee Why NSW

EVOLUTION PLANNING



February 2020

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February 2020

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1 Introduction

This Statement of Environmental Effects (SEE) has been prepared by Evolution Planning to accompany a Development Application (DA) for alterations and additions to a two-storey dwelling at 20 Quirk Street, Dee Why.

The proposed works include the internal reconfiguration and minor addition of the rear ground floor living space (including new windows); removal of external laundry; site landscaping; and, a new/replacement roof over the rear terrace area.

As an indication of the nature of the proposed work, the proposed development could have been administered as Complying Development had it not been for that the works are to be carried out in the vicinity of a tree, (which will be unaffected by the proposed works).

The proposed development does not constitute *designated development* or *integrated development*.

This DA is made in accordance with Section 4.12 of the Environmental Planning and Assessment Act 1979 (the Act) and is assessed within this SEE pursuant to Section 4.15 of the Act.

This DA has been prepared with the assistance of a number of specialists who have informed design development and this assessment. The project team includes:

View Thru Architects	Project Management, Architecture; Shadow Diagrams, BASIX.
Evolution Planning	Town Planning, Statement of Environmental Effects
TSS	Land Survey

Reports and other related material prepared by these specialists accompany the DA and are referred to throughout this SEE.

2 Site

The subject site, 20 Quirk Street, Dee Why, is legally described as Lot 14 Section B in DP8139, has an area of 646.5sq.m and is rectangular in shape.

The site presently accommodates a two-storey single dwelling with a double carport at the front. There is a large tree in proximity of the dwelling at the rear which will be unaffected by the proposed development.

Development in the vicinity of the site comprises one and two storey single dwellings.

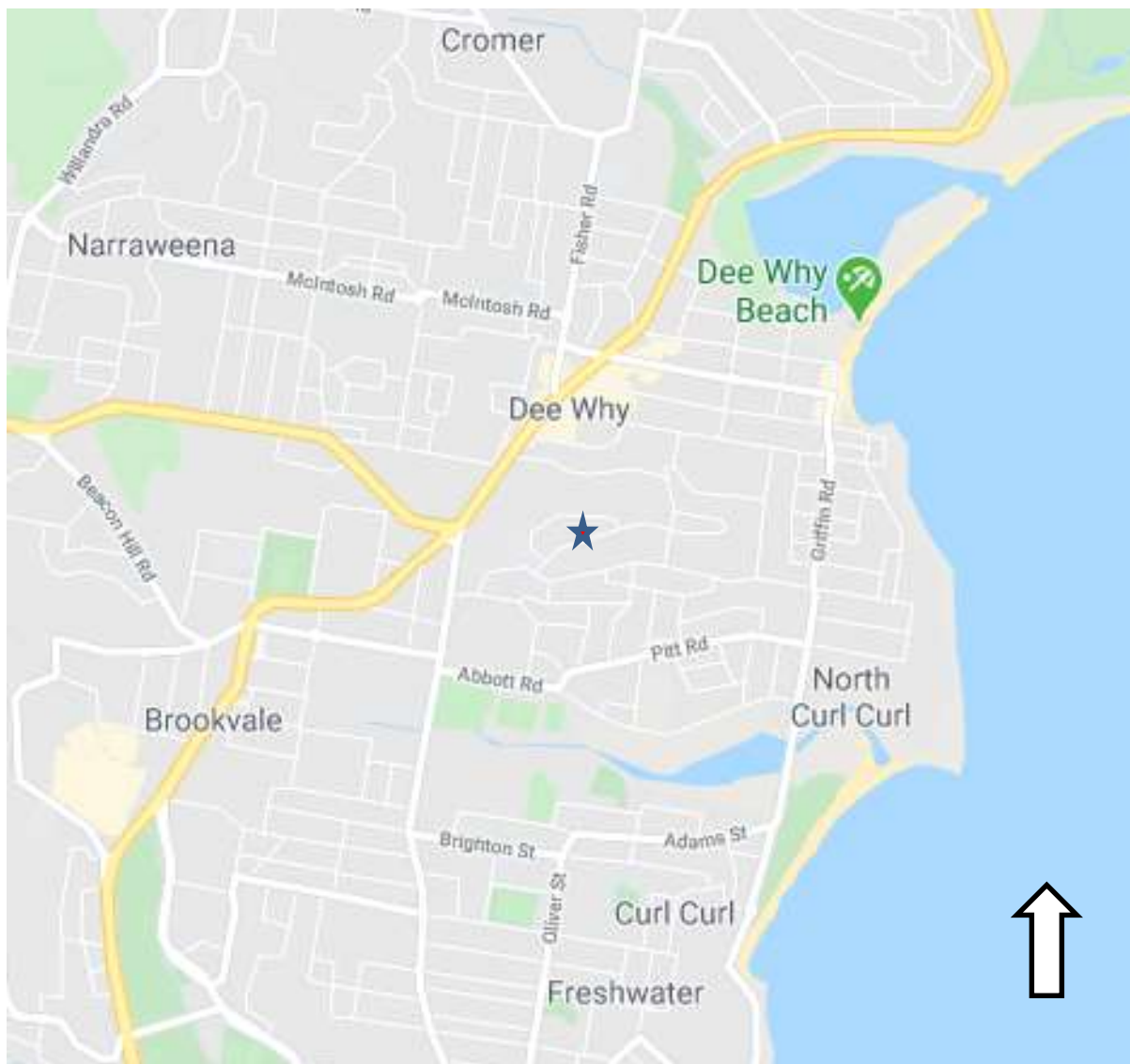


Figure 1: Location Plan

The site is not affected by land acquisition, acid sulphate soils, flooding, or bushfire. The site is not a heritage item; nor is it located in a Conservation Area or located in the vicinity of a heritage item.

Refer below to the Aerial Site Context Plan; photographs and the accompanying survey and site analysis plan.



Figure 2: Aerial Site Plan (Boundary indicative)



Figure 3: Street view of dwelling which will remain unchanged



Figure 4: Rear view of dwelling from rear of garden



Figure 5: Existing wall in proximity to western boundary (to be retained); existing roof (to be replaced) over existing deck and tree, (both to be retained).

3 Proposal

The objective of the proposed development is to improve the amenity available at the existing rear terrace area and the internal rear living space by creating a more open plan design and by increasing natural light and solar access to the area.

These objectives have been achieved by:

- the demolition of the existing external laundry and its relocation inside which creates a clear access to the rear area and a better sense of openness to the external terrace area;
- the replacement of the existing pitched roof over the external rear terrace with a flat roof incorporating a skylight and a clerestory portion allowing natural light into the living space;
- the removal of internal walls and the relocation of the WC to create an open plan living, dining and kitchen area;
- the provision of larger windows along the side ground floor walls including a or addition to the dining area.

Refer to the perspective below of the rear view of the proposed development.



garden view

Figure 6: Rear perspective

Ground Level

- Demolition of internal walls from rear building line to mid-point of floor plate;
- Relocate the existing WC and external laundry to mid portion of floor plate both to include small windows;

- Internal fit-out including new kitchen and joinery;
- Replacement of existing kitchen window with a larger one; removal of the east facing dining room window and new window partly wrapping round a north and east facing small extension to the eastern side of the dining area of approximately 1sq.m; replacement of the west facing family room window and new east facing window; new sliding glazed doors opening out onto existing rear deck;
- Demolition of the existing roof over the rear terrace area and replacement with a flat roof with a clerestory roof element facing north. The roof will have the same “footprint” as the existing roof.

Refer to the extracts below of the proposed ground floor plan; east elevation and existing and proposed rear elevation for the purpose of comparison.

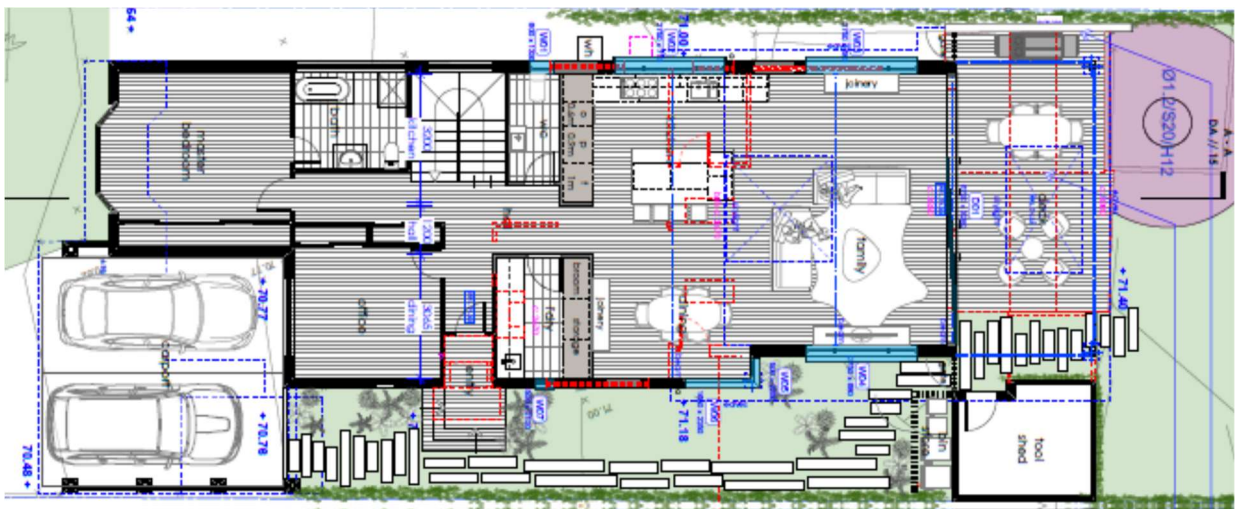


Figure 7: Extract proposed ground floor plan

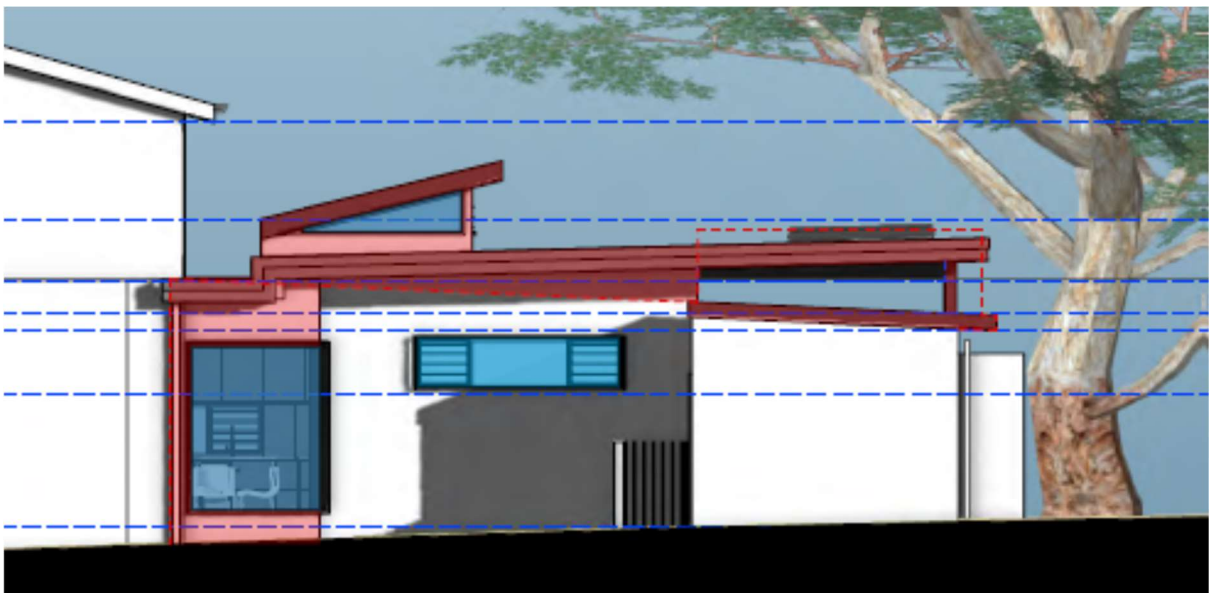
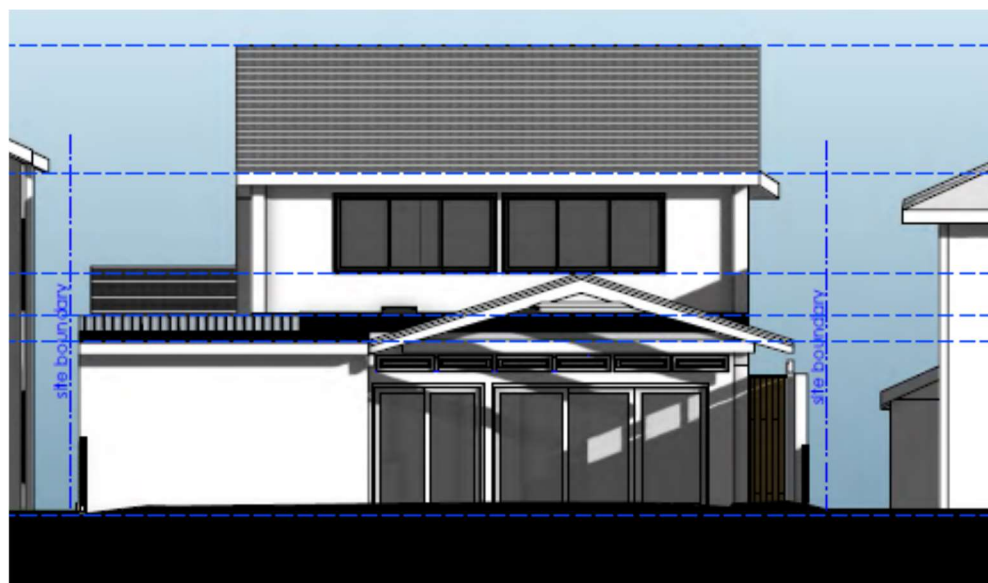
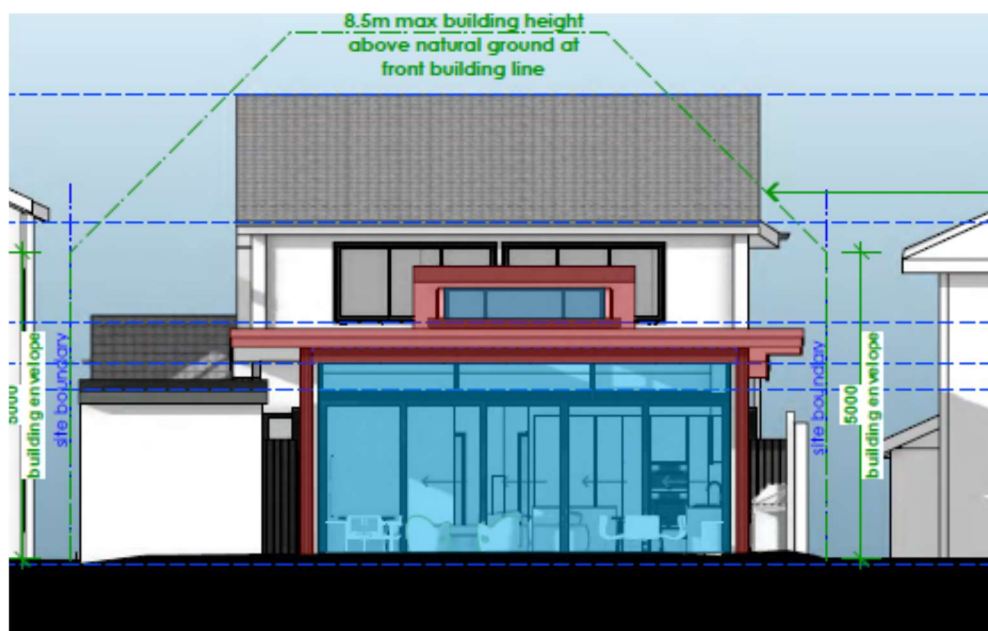


Figure 8: Proposed east elevation



north west elevation // existing
scale: 1:100



north west elevation // proposed

Figure 9: Existing and Proposed Rear Elevations

Refer to the following accompanying drawings prepared by ViewThru for details for which consent is sought.

4 Statutory Assessment

4.1 Environmental Planning and Assessment Act 1979

This application is made pursuant to s.4.12 the Act, and is assessed under s.4.15.

The proposed development does not constitute *designated development* or *integrated development* under the Act.

The following environmental planning instruments, DCPs and policies are relevant to this assessment:

- *Warringah Local Environmental Plan (LEP) 2011;*
- *State Environmental Planning Policy 55 – Remediation of Land;*
- *State Environmental Planning Policy – BASIX;*
- *Warringah Development Control Plan 2011 (DCP).*

4.2 Warringah Local Environmental Plan 2011

4.2.1 Land Use Objectives and Permissibility

The proposed development is best described as alterations and additions to a “dwelling house”

Under the LEP the site is zoned R2 Low Density Residential, where development for the purpose of a dwelling is permitted.

Zone Objectives

The Objectives of the R2 Zone are:

- *To provide for the housing needs of the community within a low-density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah*

The proposed development is considered to satisfy the zone objectives for the following reasons:

- It will provide for the housing needs of the community in a low-density context;
- The proposed development will improve the landscaped setting of the development by the removal of the external laundry and the introduction of landscaping into that space as well as the replacement of hard cover at the east side of the dwelling with landscaping. Landscaped area will increase from 43.6% to 50.3% as a result of the proposal.

4.2.2 Height

At Clause 4.3 of the LEP a development standard pertaining to building height of 8.5m applies to the site.

The maximum building height of the development does not change. The height of the proposed work is 5.05m and therefore complies with the development standard.

4.2.3 Earthworks

In response to the heads of consideration at Clause 6.2(3) of the LEP, no significant earthworks are proposed.

The proposed development:

- Will not significantly disrupt, or have any detrimental effect on, existing drainage patterns and soil stability in the locality,
- Will allow for a form of development which is consistent with the zoning objectives;
- Will not result in any adverse contamination issues (Refer to SEPP 55 discussion below);
- Will not adversely impact on the amenity of neighbouring properties as a result of earthworks;
- Will not disturb any significant relics.

4.2.4 Development on Sloping Land

The site is within “Area A” in terms of potential Landslip, being land with a slope of less than 5°.

Under Clause 6.4 of the LEP, development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that—

- (a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and
- (b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and
- (c) the development will not impact on or affect the existing subsurface flow conditions.

In response to these heads of consideration: the proposed works have no implications with respect to landslip; stormwater management; or, subsurface conditions, since the works are to occur on the existing footprint except for the demolition of the existing external laundry and the minor addition of the dining area which measures approximately 1sq.m and is located on level ground.

The proposed development fully satisfies the related provisions of LEP 2011.

4.3 State Environmental Planning Policy No.55 – Remediation of Land

SEPP 55 aims to promote the remediation of contaminated land to reduce the risk of harm to human health and the environment.

The policy requires the consent authority, when considering a development application, to take into consideration whether the land is contaminated, and if so, whether the land is suitable for the proposed development, either in its current state, or subject to remediation.

Due to the historic residential use of the land and that no known past contaminating activities have been conducted on the land, the land is considered to be suited to its continued residential use.

4.4 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

In accordance with s.50 of the Environmental Planning and Assessment Regulation 2000, a BASIX Certificate accompanies the DA.

4.5 Draft Planning Instruments

We are unaware of any draft environmental planning instruments which would affect the assessment of this development.

4.6 Development Control Plans

4.6.1 Warringah Development Control Plan 2011

DCP 2011	Proposal	Compliance
Wall height 7.2m	3.25m	✓
No. of storeys - 2	No change. 2	✓
Building Envelope – 5m/45°	Complies – refer to the accompanying elevation drawings.	✓
Side Boundary Setbacks – 0.9m	<p>The eave of the western edge of the new replacement roof over the rear terrace area is setback 450mm from the side boundary.</p> <p>The proposed setback is considered to be satisfactory given:</p> <ul style="list-style-type: none">• It has the same setback as the existing roof which it replaces; and,• It satisfies the objectives of this Part which are discussed as follows:<ul style="list-style-type: none">○ <i>To provide opportunities for deep soil landscape areas.</i> <p>Comment: The proposed roof does not decrease opportunities for deep soil planting. The proposed development results in an overall increase in landscaped area of 7%.</p> <ul style="list-style-type: none">○ <i>To ensure that development does not become visually dominant.</i> <p>Comment: The flat roof is less visually dominant than the existing pitched roof.</p>	Satisfactory

	<ul style="list-style-type: none"> ○ <i>To ensure that the scale and bulk of buildings is minimised.</i> <p>Comment: The scale and bulk of the roof is minimised by the change in profile.</p> <ul style="list-style-type: none"> ○ <i>To provide adequate separation between buildings to ensure a reasonable level of privacy, amenity and solar access is maintained.</i> <p>Comment: The replacement roof will not introduce any additional impacts related to privacy or overshadowing. Refer to further discussion below.</p> <ul style="list-style-type: none"> ○ <i>To provide reasonable sharing of views to and from public and private properties.</i> <p>Comment: The proposed roof does not hinder any significant views.</p> <p>The existing wall and western portion of the external terrace are also within 0.9m of the western boundary. No works are proposed to these elements.</p>	
Front Setback – 6.5m	No change	✓
Rear Setback – 6m	No change. In excess of 6m	✓
Parking – 2 spaces/dwelling	2 spaces	✓
Landscaped Open Space – 40%	Increase from 43.6% to 50.3%	✓

The proposed development is considered to satisfy the related guidelines and provisions contained within DCP 2011, subject to the operations of s.4.15(3A)(b) of the Act, with respect to the side setback of the replacement roof over the terrace area.

4.7 Likely impacts of the proposed development

The proposed development is not considered to impose any significant adverse impacts on the natural or built environments or on the residential amenity of neighbouring properties.

The new and enlarged windows on the side elevations are at ground floor level and privacy will be protected by the existing side boundary fences.

No significant additional overshadowing impacts will be introduced as shown in the accompanying drawings.

4.8 Suitability of the site

The site has no inherent physical, social, or environmental constraints that would hinder the site to be developed for the proposed purpose.

The site is considered to be suited to the proposed development.

4.9 Submissions

Any submissions received are required to be considered under Section 4.15 of the Environmental Planning and Assessment Act 1979. Evolution Planning will be happy to respond to any submissions as required.

4.10 Public Interest

No significant matters of wider public interest are invoked as a result of the proposed development.

5 Conclusion

The proposed development has been assessed against the relevant heads of consideration under s.4.15 of the Act as being satisfactory.

The principal environmental planning instrument related to this assessment is the *Warringah Local Environmental Plan 2011*, which the development fully satisfies.

The proposed development complies with Warringah DCP 2011 except for a minor non-compliance with the western side setback guideline with respect to the replacement of an existing roof over the existing external terrace. The degree of the minor numeric non-compliance remains unchanged.

The proposed roof is considered to satisfy the related objectives of the side setback guideline and subject to the operations of s.4.15(3A)(b) of the Act, which allows for the flexible application of DCPs, is considered to be satisfactory.

The proposed development is not considered to impose any significant adverse impacts on the natural or built environments or on the residential amenity of neighbouring properties.

It is therefore recommended that subject to the imposition of appropriate conditions that development consent be granted.