

STATEMENT OF ENVIRONMENTAL EFFECTS

PROJECT
PROPOSED CONSTRUCTION OF A STUDIO

PROPERTY
66 BARRENJOEY ROAD, MONA VALE

CLIENT
LINDA AND GARY CALVERT

JOB NO 24-80

DATED 25 February 2025

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1.0 INTRODUCTION

The purpose of this submission is to enlighten Council on some of the thoughts behind the design development of the proposed new dwellings the proprietors wish to construct on the property at 66 Barrenjoey Road, Mona Vale.

This statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed.

This presentation also outlines the design mechanisms implemented to ensure that the impact of the proposal on the adjoining amenity is lessened.

As a result of this assessment, it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of Council.

2.0 THE SITE AND EXISTING BUILDING

The property is located at 66 Barrenjoey Road Lot 6 Section F in a DP7236. The block of land is approximately 696.7 sqm in site area, faces West on Barrenjoey Road. The site is relatively flat and is zoned R2 under the Pittwater Local Environmental Plan 2014.

A single-storey dwelling exists on the property and a vehicle crossing on Barrenjoey Road.



Image 1: 66 Barrenjoey Road, Mona Vale

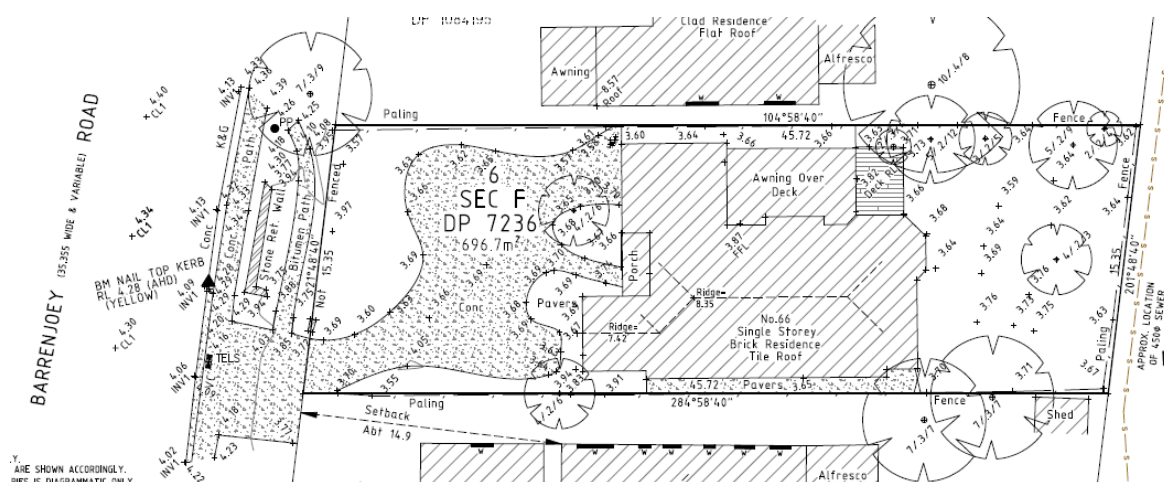


Image 2: Survey Plan

3.0 EXISTING STREETSCAPE

To the immediate North of the subject property at 68 Barrenjoey Road, a one-storey dwelling exists.



Image 3: 68 Barrenjoey Road, Mona Vale

To the immediate south of the subject property at 64 Barrenjoey Road a single storey dwelling exists with a detached garage.



Image 4: 64 Barrenjoey Road, Mona Vale

To the east (rear) of the property at 2 Heath St, is a two- storey dwelling exists.



Image 5: 2 Heaths Street, Mona Vale

To the west of the subject property and across the road, there is a petrol station and some industrial warehouses/storages

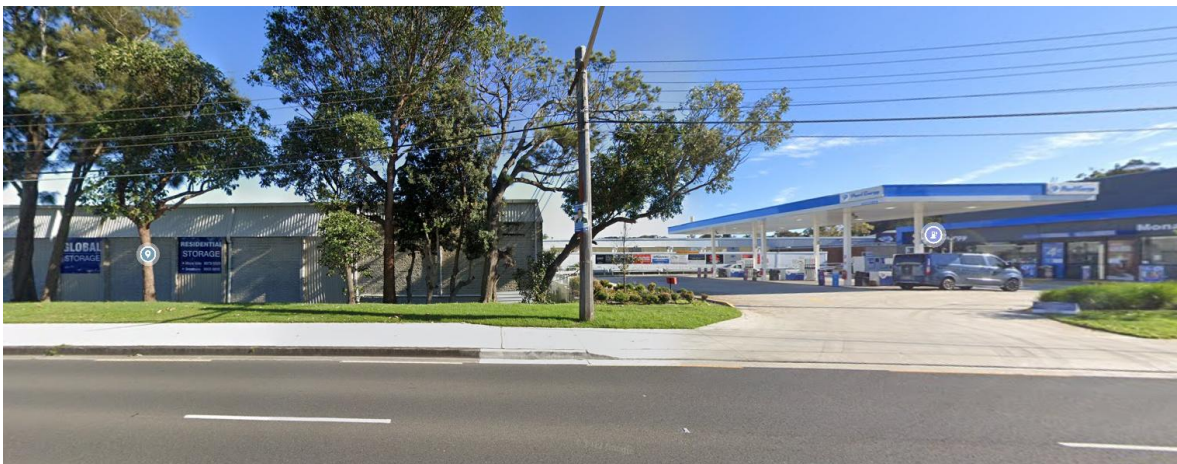


Image 6: To the west of the subject property.

The remainder of Barrenjoey Road is an amalgamation of one and two- storey dwellings in a wide range of architectural styles, character, materials, finishes, bulk and scale.



Image 7: Streetscape of Barrenjoey Road, Mona Vale



Image 8: Streetscape of Barrenjoey Road, Mona Vale



Image 9: Streetscape of Barrenjoey Road, Mona Vale

4.0 THE PROPOSAL

The proprietors of 66 Barrenjoey Road instructed us to design a studio that will cater for their needs. We are of the opinion that this was adequately carried out in our proposal presently before Council.

The proprietors of the subject property wanted a guestroom and a retreat for them. This studio will create a detached, functional and adaptable space. It has a sample room for a desk, living area and small bathroom, whether it's a home office, chill-out zone for the kids (or parents), music room, art studio or just a private space away from the hustle and bustle of the main house. It also has the deck outside with a glass sliding door that leads into an open space. Therefore, it will be used as an ancillary structure to the existing dwelling only and not as a secondary dwelling.

The private entry has been created to give a sense of intimacy to the studio. The open space is provided with windows which allow the space to achieve sufficient penetration of daylight and cross ventilation into the structure. The simple open plan of the studio generates a compact yet pleasant space for users. This coupled with the high raked ceiling in the living area that creates a very spacious and healthy space.

The form and finishes of the proposed studio also reflect the surrounding characteristics of the existing streetscape. It has adopted the architectural style of a single skillion roof with a similar colour tone of the surrounding.

5.0 Compliance with State Environmental Planning Controls

5.1 Compliance with SEPP (Transport and Infrastructure) 2021

The Infrastructure SEPP provides a consistent planning regime for infrastructure and the provision of services across NSW, along with providing for consultation with relevant public authorities during the assessment process.

The SEPP supports greater flexibility in the location of infrastructure and service facilities along with improved regulatory certainty and efficiency.

The application is not subject to clause 2.45 of the SEPP as the development does not propose works within the vicinity of electricity infrastructure that trigger a written referral to the energy authority.

The proposal is not adjacent to a rail corridor and therefore Clause 2.101 of the SEPP does not apply.

The application is not subject to clause 2.119 of the SEPP as the site does not have frontage to a state classified road nominated as a Main Road.

The application is not subject to clause 2.120 of the SEPP as the proposed uses are non-sensitive and are not likely to be adversely affected by road noise or vibration.

5.2 Compliance with SEPP (Resilience and Hazards) 2021

Remediation of Land and in particular 4.6 suggests that a consent authority must not grant consent to the carrying out of any development on land unless it has considered whether the land is contaminated.

The site does not have a history of a previous land use that may have caused contamination and there is no evidence that indicates the site is contaminated.

Accordingly, the development application is satisfactory having regard to the relevant matters for consideration under this SEPP

5.3 Compliance with SEPP (Sustainable Buildings) 2022

The proposal meets water, thermal and energy standards required by BASIX. A BASIX Certificate accompanies this submission.

6.0 COMPLIANCE WITH PITTWATER LOCAL ENVIRONMENTAL PLAN 2014

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

6.1 ZONING AND PERMISSIBILITY

Zone R2 Low Density Residential

Objectives of zone

- To provide for the housing needs of the community within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day-to-day needs of residents.
- To provide for a limited range of other land uses of a low intensity and scale, compatible with surrounding land uses.

2 Permitted without consent

Home businesses; Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dual occupancies; **Dwelling houses**; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home-based child care; Home industries; Jetties; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Respite day care centres; Roads; Secondary dwellings; Tank-based aquaculture; Veterinary hospitals; Water recreation structures

4 Prohibited

Any development not specified in item 2 or 3

6.2 BUILDING HEIGHT

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014:

Clause 4.3 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

Allowable height – 8.5 metres to the highest point of the roof.

Proposed height – 4.16 metres maximum to the highest point of the roof.

The proposed structure is one storey in height with 5 degrees pitched single skillion roof.

Therefore, the proposal complies with the requirements. Refer to the Architectural drawings.

6.3 ACID SULFATE SOILS

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014, **Clause 7.1** and the subject proposal's compliance with the Local Control Plan are outlined as follows:

The site has been identified on the Acid Sulfate Soils Map as being with the Class 3 Acid Sulfate Soils Area. The proposal will not see any substantial disturbance of the site to accommodate the studio and accordingly no further investigation is deemed necessary in this instance.

6.4 FLOODPLAIN RISK MANAGEMENT

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014, **Clause 7.4** and the subject proposal's compliance with the Local Control Plan are outlined as follows:

The site is subject to flooding

Accordingly, a Flood Risk Management Report has been prepared by Taylor Consulting on 25th of February 2025

The proposal will be carried out in accordance with the recommendations of this report and will therefore be in keeping with the provisions of this clause.

7.0 COMPLIANCE WITH PITTWATER 21 DEVELOPMENT CONTROL PLAN

7.1 CHARACTER AS VIEWED FROM A PUBLIC PLACE

- To achieve the desired future character of the Locality.
- To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing built and natural environment.
- To enhance the existing streetscapes and promote a scale and density that is in scale with the height of the natural environment.
- The visual impact of the built form is secondary to landscaping and vegetation, or in commercial areas and the like, is softened by landscaping and vegetation.
- High quality buildings designed and built for the natural context and any natural hazards.
- Buildings do not dominate the streetscape and are at 'human scale'. Within residential areas, buildings give the appearance of being two-storey maximum.
- To preserve and enhance district and local views which reinforce and protect the Pittwater's natural context.
- To enhance the bushland vista of Pittwater as the predominant feature of the landscape with built form, including parking structures, being a secondary component.
- To ensure that development adjacent to public domain elements such as waterways, streets, parks, bushland reserves and other public open spaces, compliments the landscape character, public use and enjoyment of that land.

The required controls to achieve the outcomes are to ensure that the building form maintains a compatibility with the locality through appropriate design relief.

The bulk and scale of the proposed structure will have negligible (if any) impacts on adjoining properties along with the proposed deck connected to the living which will provide healthy amenity for the residents whilst not imposing on the neighborhoods.

7.2 BUILDING COLOURS AND MATERIALS

D9.3 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows.

- Achieve the desired future character of the Locality.
- The development enhances the visual quality and identity of the streetscape.
- To provide attractive building facades which establish identity and contribute to the streetscape.
- To ensure building colours and materials compliments and enhances the visual character and its location with the natural landscapes of Pittwater.
- The colours and materials of the development harmonise with the natural environment.
- The visual prominence of the development is minimised.
- Damage to existing native vegetation and habitat is minimised.

Controls

External colours and materials shall be dark and earthy tones as shown below:



The proposed colours and finishes have been selected to complement existing works and the characteristics of the neighbourhood.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Finishes Schedule.

7.3 BUILDING SETBACKS

D9.6 AND D9.7 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows.

Required setbacks

Front	-	10 metres or established building line.
Primary Side	-	1 metres
Secondary Side	-	2.5 metres
Rear	-	6.5 metres

Proposed setbacks

Front	-	37 metres
Primary Side	-	1 metres
Secondary Side	-	9.2 metres
Rear	-	1.5 metres

Therefore, the proposal does not comply with the requirements of the Development Control Plan. Refer to Section 7.4 for the Rear Setback Variation.

7.4 REAR SETBACK VARIATION

- To achieve the desired future character of the Locality.
- The bulk and scale of the built form is minimised.
- Equitable preservation of views and vistas to and/or from public/private places.
- To encourage view sharing through complimentary siting of buildings, responsive design and well-positioned landscaping.
- To ensure a reasonable level of privacy, amenity and solar access is provided within the development site and maintained to residential properties.
- Substantial landscaping, a mature tree canopy and an attractive streetscape.
- Flexibility in the siting of buildings and access.
- Vegetation is retained and enhanced to visually reduce the built form.
- To ensure a landscaped buffer between commercial and residential zones is established.

The varied proposal is in keeping within the characteristics of the existing locality. The proposed development is 1 storey structure, integrated with the landform and landscape with minimal environmental impact.

It is therefore considered that the proposed development will be consistent with the objectives of the zone and of the development standards that are being varied. Therefore, we request that Council take into consideration the existing site surroundings and the following justifications:

- Given the positioning of the primary dwelling and the existing site layout, there is not enough space to provide a 6.5m rear setback. The chosen location for the structure is the most suitable on the site, as there are no other areas where it could be positioned behind the building line.
- It is important to note that the structure is designed as a single-storey, intended exclusively for use as an ancillary building rather than a self-contained living space. As such, it will not create any privacy concerns for the neighboring properties.
- According to the SEPP controls outlined in the Housing Code, a detached structure must maintain a minimum setback of 900mm from the building line, based on the width of the lot. As a result, the proposed structure fully complies with this setback requirement as specified by the SEPP controls, ensuring adherence to the necessary planning standards.

- From the aerial view of the site, it is evident that the property adjacent to the subject site has dense, full-screen planting along the boundary. This landscaping effectively blocks any direct views to and from the subject site, providing privacy and minimising visibility between the properties.



Image 10: Aerial view of the subject site and the surroundings.

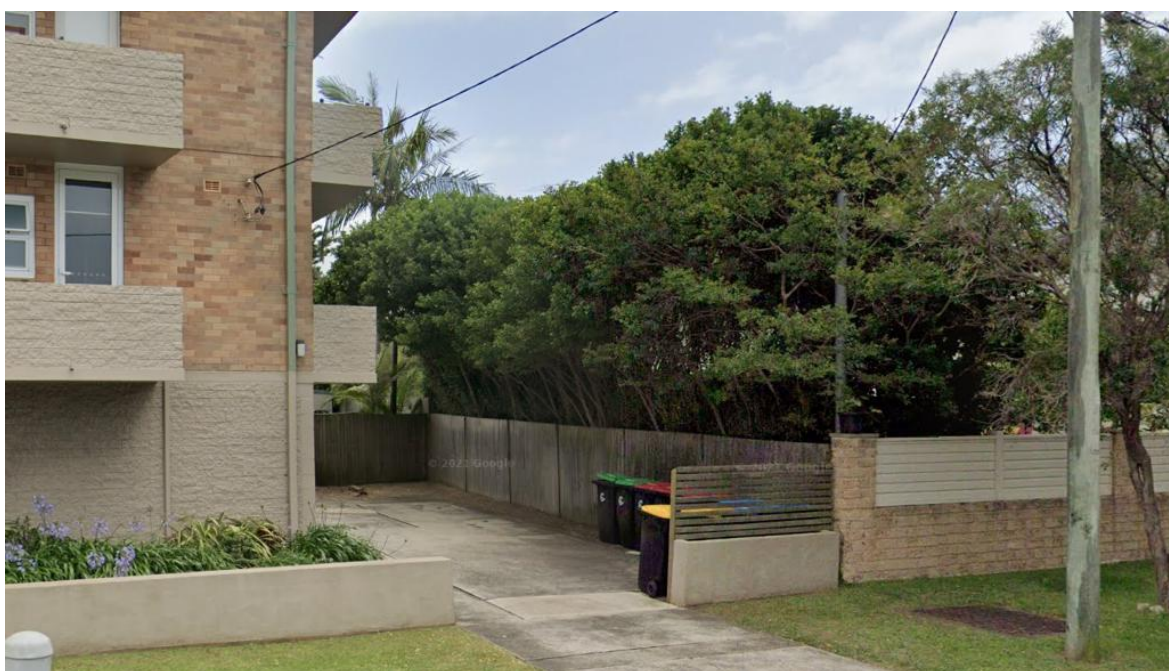


Image 11: Screen planting all along the boundary.

- It is also worth mentioning that the neighboring property at 68 Barrenjoey Road has a detached structure positioned at the same setback as the proposed structure as shown in below in the aerial image above. Furthermore, many existing dwellings in the area do not adhere to the 6.5m rear setback due to their proximity to a classified road.

As a result, these sites are designed with greater front setbacks, which in turn limits the available space at the rear, making it difficult to meet the required rear setback.

In conclusion, the proposed setback variation is designed to uphold the residential amenity of the property.

The overall scale of the building has been considered to ensure that it will not result in adverse effects such as shadowing, bulk, or an overwhelming scale relative to the surrounding environment.

We believe these considerations justify the variation to the rear setback control, and therefore, we respectfully request Council's support for the proposed variation based on these sufficient environmental planning grounds.

7.5 BUILDING ENVELOPE

D9.9: The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows:

Objectives:

- To achieve the desired future character of the locality.
- To enhance the existing streetscapes and promote a building scale and density that is below the height of the trees of the natural environment.
- To ensure new development responds to, reinforces and sensitively relates to spatial characteristics of the existing natural environment.
- The bulk and scale of the built form is minimised.
- Equitable preservation of views and vistas to and/or from public/private places.
- To ensure a reasonable level of privacy, amenity and solar access is provided within the development site and maintained to residential properties.
- Vegetation is retained and enhanced to visually reduce the built form.

Comment:

The proposed building is one- storey in height with 5 pitched single skillion roof.

The proposal is located well below the height of trees in the natural environment, minimises bulk and scale through a well-articulated built form and provides generous amounts of landscaping throughout to visually reduce the built form when viewed from the public and private domain.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural Drawings.

7.6 LANDSCAPED AREA

D9.10: The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows:

SITE AREA = 696.7 sqm

LANDSCAPED AREA

Required Landscaping = 50 % of Site Area = 348.35SQM

Proposed Landscaped area = 312.6 sqm

Proposed Landscaped area as % of Site Area = 45%.

Therefore, the proposal does not comply with the requirements of the Development Control Plan. Refer to the Area Calculation Sheet and Section 7.7 for Landscaped Area Variation.

7.7 LANDSCAPED AREA VARIATION

Objectives:

- Achieve the desired future character of the Locality.
- The bulk and scale of the built form is minimised.
- A reasonable level of amenity and solar access is provided and maintained.
- Vegetation is retained and enhanced to visually reduce the built form.
- Conservation of natural vegetation and biodiversity.
- Stormwater runoff is reduced, preventing soil erosion and siltation of natural drainage channels.
- To preserve and enhance the rural and bushland character of the area.
Soft surface is maximised to provide for infiltration of water to the water table, minimise run-off and assist with stormwater management.

It should be noted that the existing landscaped area is 319.45sqm, which does not meet the required percentage. There are existing paved areas on the site that will be converted into landscape, totalling 34.4 sqm. As a result, the proposed landscaped area is 312.6 sqm.

In other words, the provision of the studio will not take away from the existing landscaped area. 34sqm hard stand area = 34sqm new proposed landscaped area

Additionally, we ask council to take consideration of a variation as per the Pittwater DCP part D9.10 Landscaped Area- Environmentally sensitive land within Mona Vale Locality

D9.10 Landscaped Area - Environmentally Sensitive Land

Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:

- impervious areas less than 1 metre in width (e.g. pathways and the like);
- for single dwellings on land zoned R2 Low Density Residential or E4 Environmental Living, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g., roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).

As per the variation, up to 6% of the total site area can be calculated as an additional landscape area which is 41.80 sqm, which will result in 354.4 sqm, 51% of total landscaped area. Refer to the area calculation sheet and table 1.

Required Landscaped Area	Proposed Landscaped Area	Additional Landscaped Area	Total Landscaped Area
50%	45%	6%	51%
348.35 sqm	312.6 sqm	41.80 sqm	354.4 sqm

Therefore, the proposal will comply with council's variations as mentioned above. Refer to the area calculation sheet.

The development maintains a good level of amenity and solar access for both the principal dwelling and the adjacent dwellings. Vegetation is preserved and improved to help reduce the visual impact of the built form.

The proposed landscaped area on site will be sufficient to meet the residential amenity needs for on-site residents.

Additionally, existing trees will be retained wherever possible, as previously mentioned. No trees or landscaping on adjacent properties or within the road reserve will be affected by the proposal.

In summary, the design still meets the key objectives of amenity, privacy, and visual appeal, ensuring it aligns with the local context.

We therefore request that Council support the variation to landscaped area are controls on the basis that there are sufficient environmental planning grounds to justify the variation and the proposal is consistent with the objectives of the zone and with council's variations.

8.0 OTHER REQUIREMENTS

The proposal presently before Council has also addressed other requirements such as energy efficiency, sustainability, site/waste management, soil, water and waste management, site analysis and context, streetscape, materials and finishes, erosion and sediment control, drainage, landscaping and the like in detail in this development application.

As a result, the proposal complies with the Development Control Plan requirements for all of these items.

9.0 CONCLUSION

We, therefore, present before Council, a proposal that combines Council codes and regulations and the principles of these codes and regulations with our client's requirements and, at the same time, is in context with its surroundings.

We would appreciate Council reviewing all of the matters mentioned above and deliberate on the proposal in such a manner that will assist the proprietors to achieve their ultimate goals for their family residence and property in general.

We await your positive reply on this proposal and, in anticipation of your assistance, we wish to thank you on behalf of the proprietors for your efforts.

Should you require any further information, please do not hesitate to contact our office.

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