

DEVELOPMENT APPLICATION

ALTERATIONS & ADDITIONS@ 1158 BARRENJOEY ROAD, PALM BEACH
JUNE 2024

Drawing List				
Sheet No.	Sheet Name	Date	Rev.	Revision Description
DA-001	Cover Page @ A2	27/06/2024	F	
DA-101	Existing Site & Analysis Plan @ A2	27/06/2024	F	
DA-102	Demolition & Waste Managemen	27/06/2024	F	
DA-110	Proposed Site and Pool Plan	27/06/2024	F	
DA-111	Site Calculations Plan	27/06/2024	F	
DA-301	Proposed Long Section AA	27/06/2024	F	
DA-401	Proposed Northern Elevation	27/06/2024	F	
DA-402	Proposed Eastern Elevation	27/06/2024	F	
DA-403	Proposed Western Elevation	27/06/2024	F	
DA-502	Landscape Plan and Schedule	27/06/2024	F	

LEGEND

CODE	GENERAL:
LW-01	LANDSCAPE WALL
G-01	POOL GATE
BAL-01	BALSUTRADE (to match existing - Height varies to meet pool or balustrade code)
PLC-01	POOL COPING
CL-01	CLADDING
DECK-01	DECKING - EXTERNAL
PF/PH	POOL FILTER / POOL HEATER
EX	EXISTING

CONSULTANTS LIST

ENGINEER	NORTHERN BEACHES CONSULTING
SURVEYOR	ADAM CLERKE SURVEYORS
HYDRAULIC	NORTHERN BEACHES CONSULTING
BUSHFIRE	CR BUSHFIRE - BAL 12.5
ARCHITECT	WRAY & CUTCLIFFE ARCHITECTS
CERTIFIER	BUILDING CERTIFICATION ASSOCIATES PTY LTD



ARTISTS IMPRESSION:
PROPOSED POOL AND ACCESS

BASIX[®]Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1753388

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 27 June 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



page 1/3

Project address	
Project name	1158 Barrenjoey Road Palm Beach
Street address	1158 BARRENJOEY ROAD PALM BEACH 2108
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP6746
Lot number	14
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Wray and Cutcliffe Architects
ABN (if applicable):	

BASIX Certificate number:A1753388

page 2/3

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 754.69 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 11.3 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number:A1753388

page 3/3

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au



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ARCHITECTS

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* Waterproof/ Weatherproofing Details to Master Builders Industry Guidelines and to meet performance standards as well as Australian Standards.

Palm Beach Project

Cover Page @ A2

Dayna Lemessurier

1158 Barrenjoey Road, Palm Beach

TITLE

CLIENT

AT

DATE 27/06/2024

SCALE ASNOTED@A2

DRAWN JGW/AC

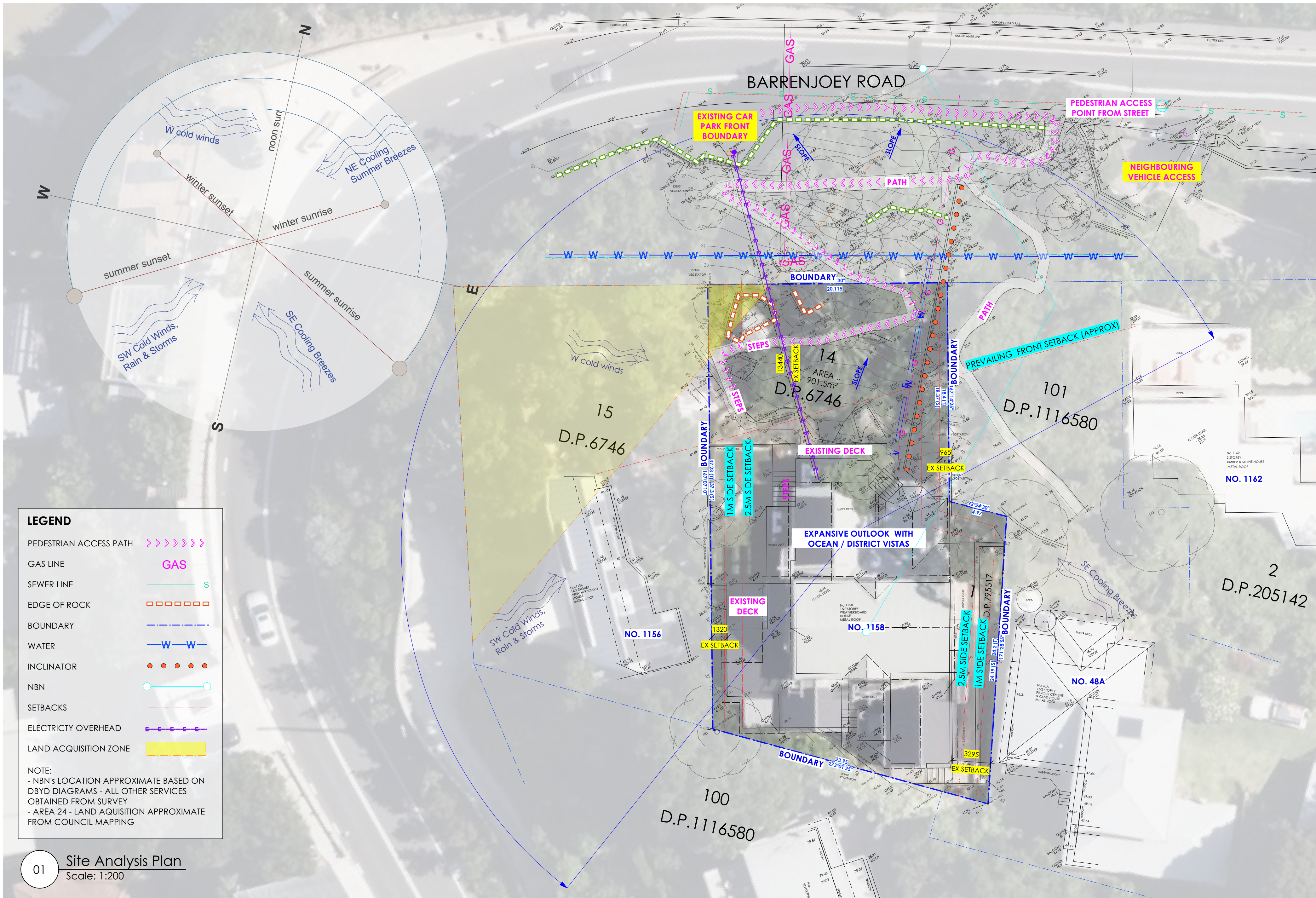
JOB NO. 2328

DWG

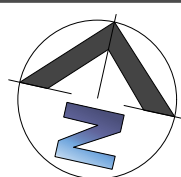
DA-001

ISSUE F

Issue	Description	Date
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024
C	Existing Wall Details	12/04/2024
B	Concept Options - For Council Discussion	15/12/2023



01 Site Analysis Plan
Scale: 1:200



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Palm Beach Project

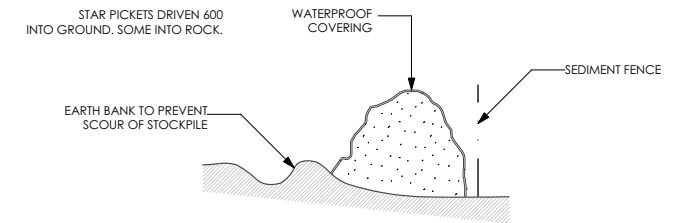
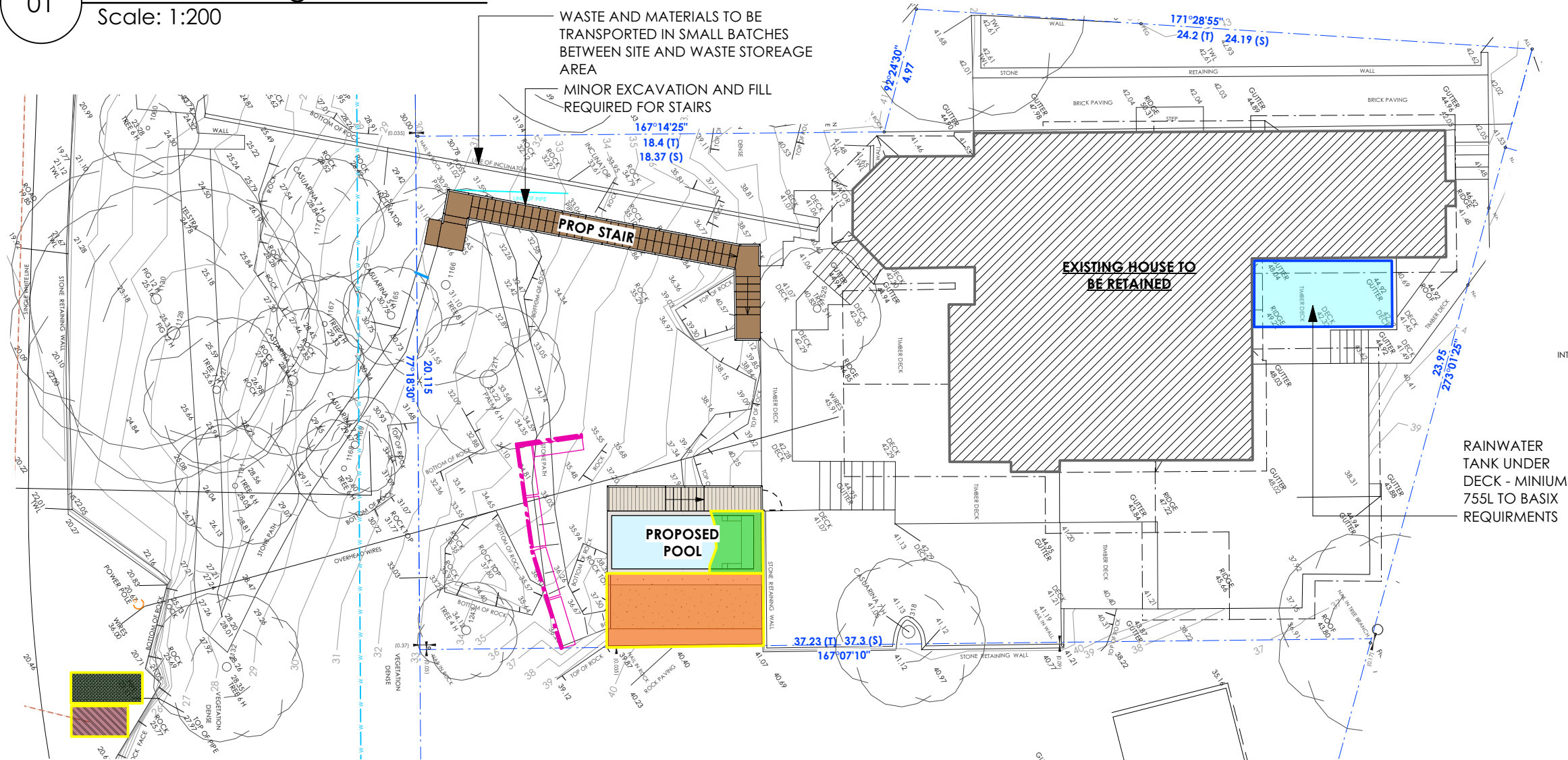
Existing Site & Analysis Plan @ A2

CLIENT Dayna Lemessurier
AT 1158 Barrenjoey Road, Palm Beach

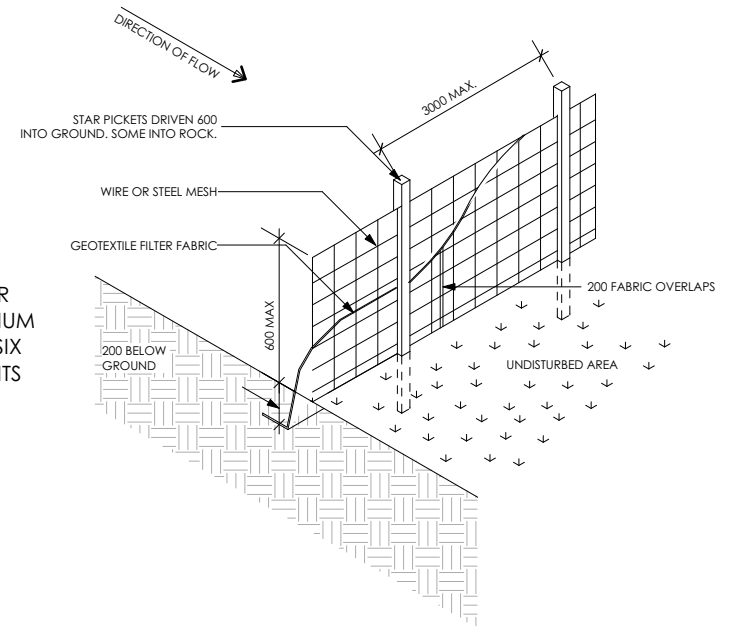
DATE 27/06/2024
SCALE AS NOTED @ A2
DRAWN JGW/AC
JOB NO. 2328

DWG **DA-101**
ISSUE **F**

Issue	Description	Date
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024
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B	Concept Options - For Council Discussion	15/12/2023



TYPICAL BUILDING MATERIAL STOCKPILE DETAIL



TYPICAL SEDIMENT CONTROL FENCE DETAIL

NOTES:

* ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION & NOT REMOVED UNTIL THE SITE HAS BEEN STABILISED.

* DISTURBED AREA TO BE KEPT TO A MINIMUM.

* ALL SOIL STOCKPILES TO BE CLEAR OF DRAINS AND COVERED WITH WATERPROOF COVERING.

* DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.

* ROADS AND COUNCIL LAND ADJACENT TO BE SWEEPED AS REQUIRED.

* TRUCKS ENTERING/LEAVING THE SITE TO BE SUPERVISED AT ALL TIMES FOR PUBLIC SAFETY.

* A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE REAR OF THE PROPERTY, AND CONSTRUCTED PRIOR TO THE COMMENCEMENT OF WORKS.

* MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG- TEL 1100. APPROPRIATE REGULATORY AUTHORITIES CONSULTED PRIOR TO ANY & ALL EXCAVATIONS. EXISTING HYDRAULIC SYSTEMS TO BE LOCATED AND MAINTAINED.

* SIGNAGE MUST BE INSTALLED BY HEAD CONTRACTOR TO FACILITATE CORRECT USE OF STORAGE FACILITIES. TO MEET AUTHORITY CODES.

* ALL EXCAVATION MATERIAL AND BUILDING MATERIALS WILL BE STORED WITHIN THE SUBJECT SITE AT ALL TIMES AND NOT ENCROACH UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

* THE SITE MANAGER/BUILDER SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE LANEWAY AS REQUIRED.

* NOISE AND DUST TO BE KEPT TO A MINIMUM DURING THE EXCAVATION WORKS.

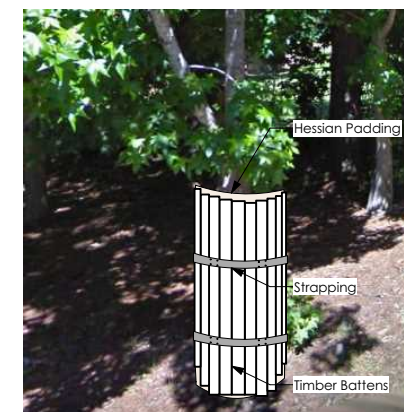
* ALL EXCAVATION TO GEOTECHNICAL ENGINEER REPORT RECOMMENDATIONS.

CONSERVATION OF SOIL:
* PRIOR TO COMMENCEMENT OF CONSTRUCTION, A SEDIMENT FENCE, SEDIMENT TRAP AND WASHOUT AREA ARE TO BE ERECTED TO ENSURE THAT WATERBORNE MATERIAL GENERATED ON SITE IS CAPTURED. THE SEDIMENT TRAP IS TO BE EMPTIED AFTER EACH STORM. SEDIMENT TRAP TO BE LOCATED AT THE LOWEST POINT TO TRAP SEDIMENT.

* BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS TO BE ADHERED TO FOR ALL SITE WORKS AND WASTE/SEDIMENT CONTROL.

* SEE BLUE BOOK FOR FULL AND FURTHER DETAIL

TYPICAL TREE PROTECTION MEASURES

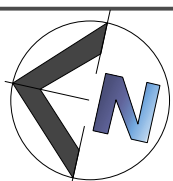


PROTECT TREE TRUNK WITH SOFT PADDING SUCH AS HESSIAN AND SECURELY TIE HARDWOOD PALINGS AROUND TRUNK TO ARBORIST CONTROL MEASURES

Note: All works to Geotechnical Report recommendations. All work to Meet BCA, A.S & Council Requirements. To meet Pittwater Council DCP. & To meet Engineers Erosion and Sediment Control Plan.

Legend:

- Areas for Waste Material Storage
- Areas for Material Storage
- Excavation
- Existing Building Footprint
- Fill
- Cut/Fill - refer to elevations
- Zone of Rainwater Tank
- Site Security Fence
- Silt Fence
- Straw Bales



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Palm Beach Project

TITLE Demolition & Waste Management Plan

CLIENT Dayna Lemessurier

AT 1158 Barrenjoey Road, Palm Beach

DATE 27/06/2024

SCALE AS NOTED @ A3

DRAWN JGW/AC

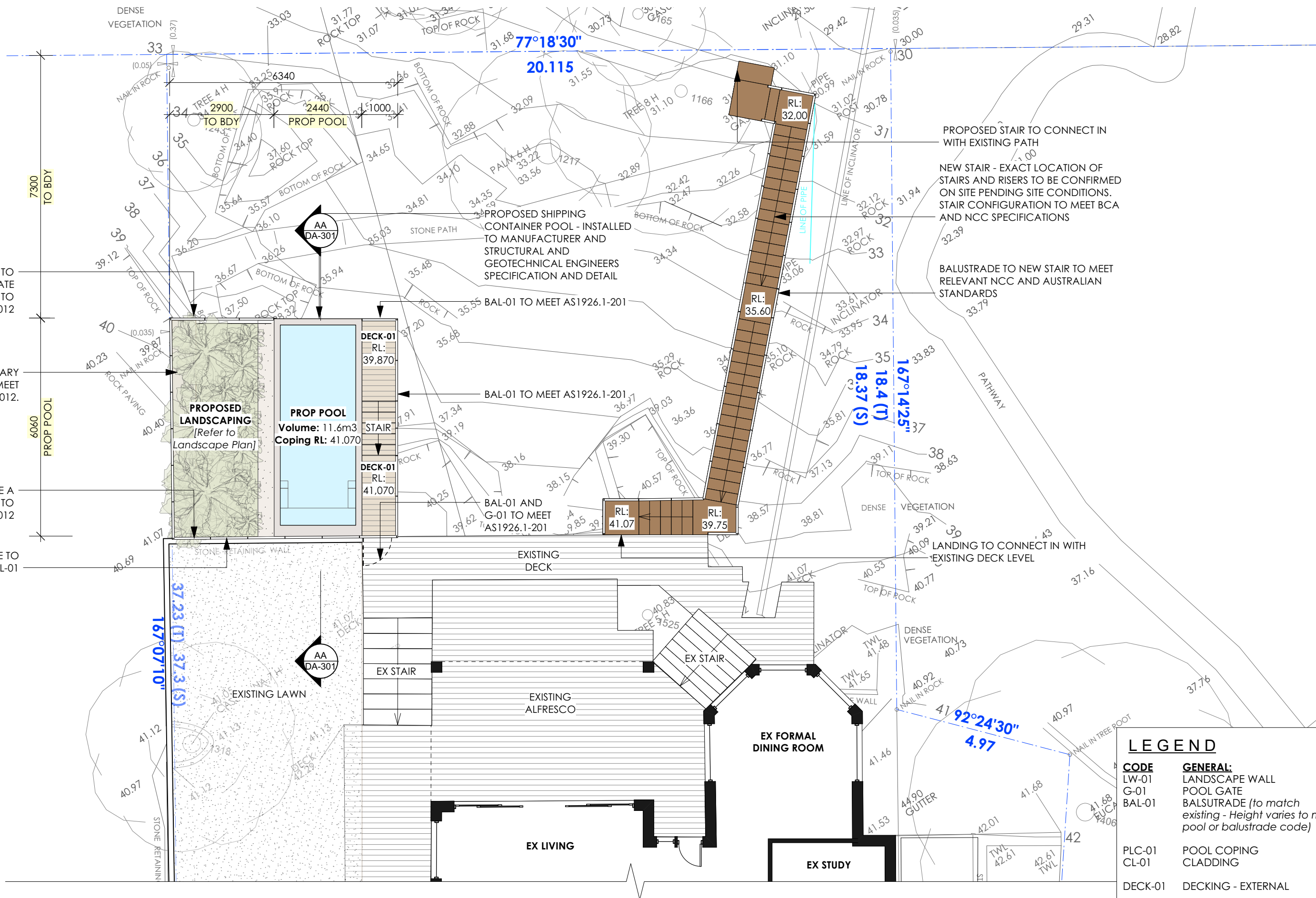
JOB NO. 2328

DWG

DA-102

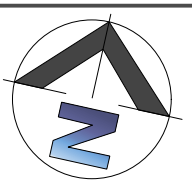
ISSUE F

Issue	Description	Date
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024
C	Existing Wall Details	12/04/2024
B	Concept Options - For Council Discussion	15/12/2023



01 GROUND PLAN
Scale: 1:100

LEGEND		
CODE	GENERAL:	
LW-01	LANDSCAPE WALL	
G-01	POOL GATE	
BAL-01	BALUSTRADE (to match existing - Height varies to meet pool or balustrade code)	
PLC-01	POOL COPING	
CL-01	CLADDING	
DECK-01	DECKING - EXTERNAL	
PF/PH	POOL FILTER / POOL HEATER	
EX	EXISTING	



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Palm Beach Project
Proposed Site and Pool Plan
Dayna Lemessurier
1158 Barrenjoey Road, Palm Beach

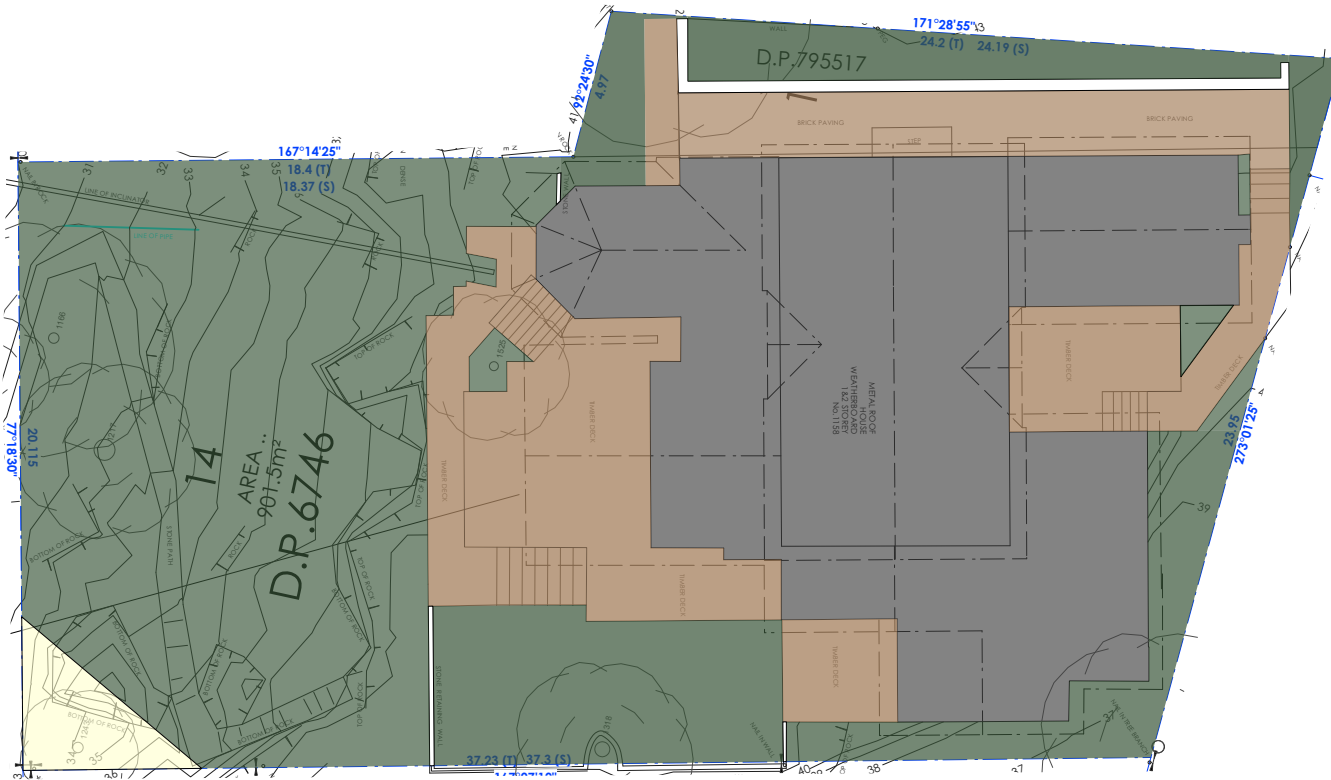
DATE 27/06/2024 DWG
SCALE AS NOTED@A3 **DA-110**
DRAWN JGW/AC
JOB NO. 2328
ISSUE **F**

Issue	Description	Date
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024
C	Existing Wall Details	12/04/2024
B	Concept Options - For Council Discussion	15/12/2023

01

Existing Site Area

Scale: 1:250



EXISTING

SITE & LANDSCAPE AREAS

LEGEND

	A
	B
	C
	D
	E
	F

NAME

AREA (m2):

Site Area (From Survey)	-	901.50
Site Area (Minus SP2)	-	886.50

Built Form	-	275.70
Decks & Paving	-	186.20
Landscape	-	415.26
Landscape Walls	-	9.55
Area - SP2	-	15.00
6% Site Area - Impervious	-	53.19

Control 60% C4 Zone	-	531.90
---------------------	---	--------

(Site Area minus SP2)

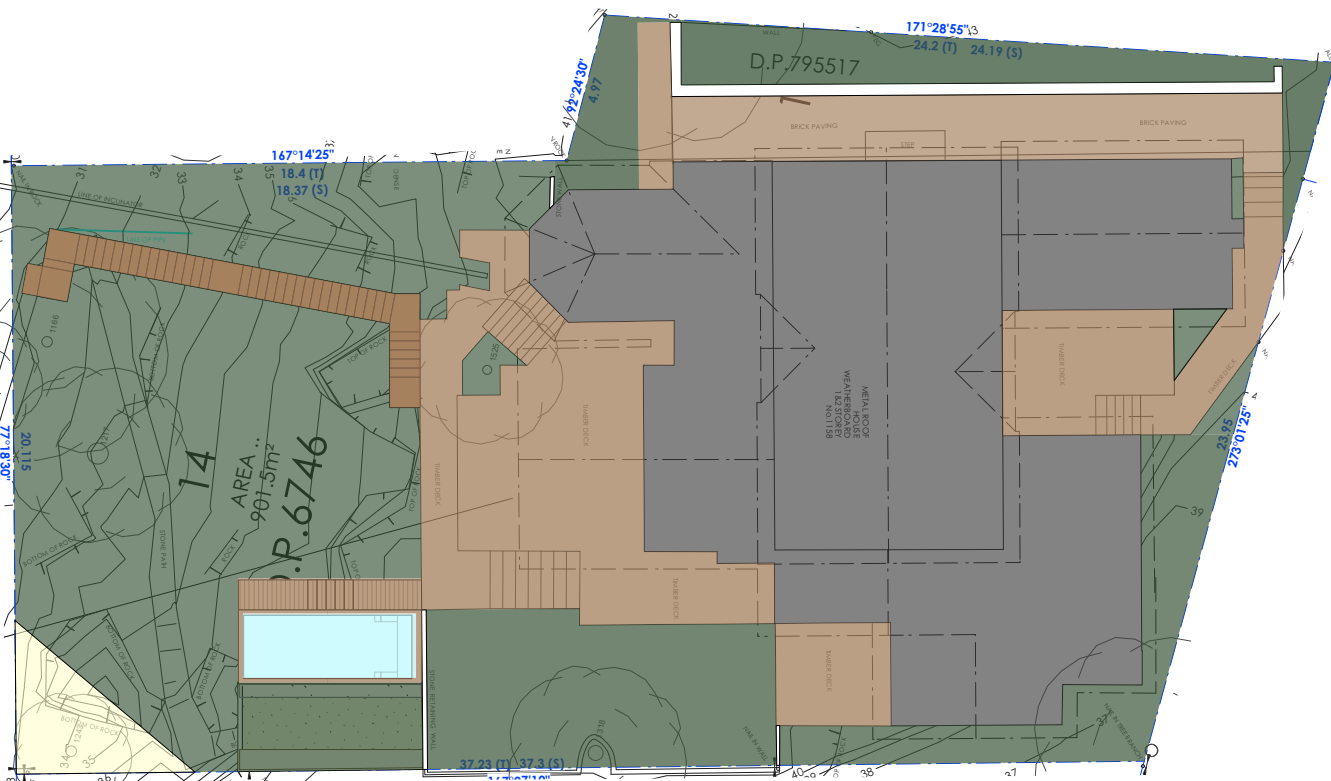
Landscape Area **468.45**

Landscape Area = (C + F) 52.84%

02

Proposed Site Area

Scale: 1:250



PROPOSED

SITE & LANDSCAPE AREAS

LEGEND

	A
	B
	C
	D
	E
	F

NAME

AREA (m2):

Site Area (From Survey)	-	901.50
Site Area (Minus SP2)	-	886.50

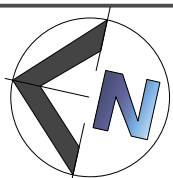
Built Form	-	275.70
Decks & Paving	-	212.14
Landscape	-	377.25
Landscape Walls	-	9.55
Area - SP2	-	15.00
6% Site Area - Impervious	-	53.19
Pool	-	12.01

Control 60% C4 Zone	-	531.90
---------------------	---	--------

(Site Area minus SP2)

Landscape Area **430.44**

48.56%



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Palm Beach Project

TITLE Site Calculations Plan
CLIENT Dayna Lemessurier
AT 1158 Barrenjoey Road, Palm Beach

DATE 27/06/2024
SCALE AS NOTED @ A3
DRAWN JGW/AC
JOB NO. 2328

DWG
DA-111
ISSUE F

Issue	Description	Date
F	Development Application	27/06/2024
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C	Existing Wall Details	12/04/2024
B	Concept Options - For Council Discussion	15/12/2023

LEGEND

CODE	GENERAL:
LW-01	LANDSCAPE WALL
G-01	POOL GATE
BAL-01	BALSUTRADE (to match existing - Height varies to meet pool or balustrade code)
PLC-01	POOL COPING
CL-01	CLADDING
DECK-01	DECKING - EXTERNAL
PF/PH	POOL FILTER / POOL HEATER
EX	EXISTING

BARRENJOEY ROAD



Issue	Description	Date
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C	Existing Wall Details	12/04/2024
B	Concept Options - For Council Discussion	15/12/2023

DWG
DA-301
ISSUE **F**

DATE 27/06/2024
SCALE ASNOTED@A3
DRAWN JGW/AC
JOB NO. 2328

Palm Beach Project

Proposed Long Section AA

Dayna Lemessurier
1158 Barrenjoey Road, Palm Beach

TITLE
CLIENT
AT

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SHIPPING CONTAINER POOLS (6M) TO BE INSTALLED TO MEET MANUFACTURERS SPECIFICATION, STRUCTURAL ENGINEERS DETAIL, N.C.C, COUNCIL AUTHORITIES AND AUSTRALIAN STANDARDS.

BALUSTRADE & POOL GATE TO MEET POOL FENCE ACT, A.S & N.C.C REQ.

PLC-01 TO FINISH FLUSH WITH EXISTING DECKING.

LINE OF EXCAVATION SHOWN DASHED RED

PROPOSED POOL STRUCTURE TO MEET STRUCTURAL ENGINEERS DETAIL AND SPECIFICATION.

APPROXIMATE LOCATION OF PROPOSED POOL EQUIPMENT

FOOTINGS TO STRUCTURAL ENGINEERS SPECIFICATION AND DETAIL

APPROXIMATE NATURAL GROUND LINE

2.16

20.27

20.22

26.13

26.11

28.81

29.00

30.00

32.00

35.35

35.94

5080

APPROX

1525

POOL

1200

1800

BAL-01

BAL-01

BAL-01

BAL-01

BAL-01

BAL-01

EXISTING DECK

EX LAWN

41.07

PROPOSED POOL

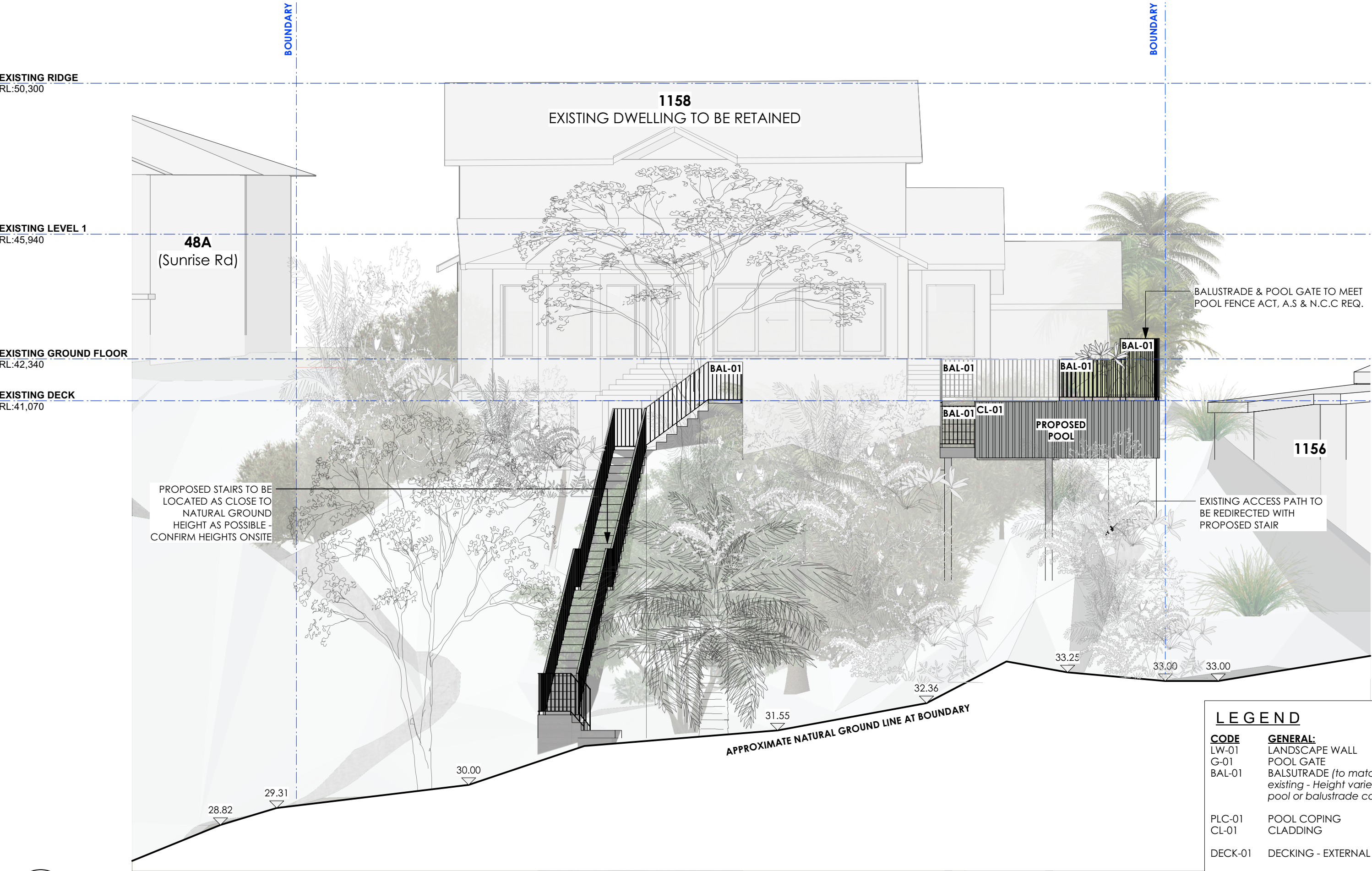
PF/PH

BOUNDARY

AA

PROPOSED SECTION

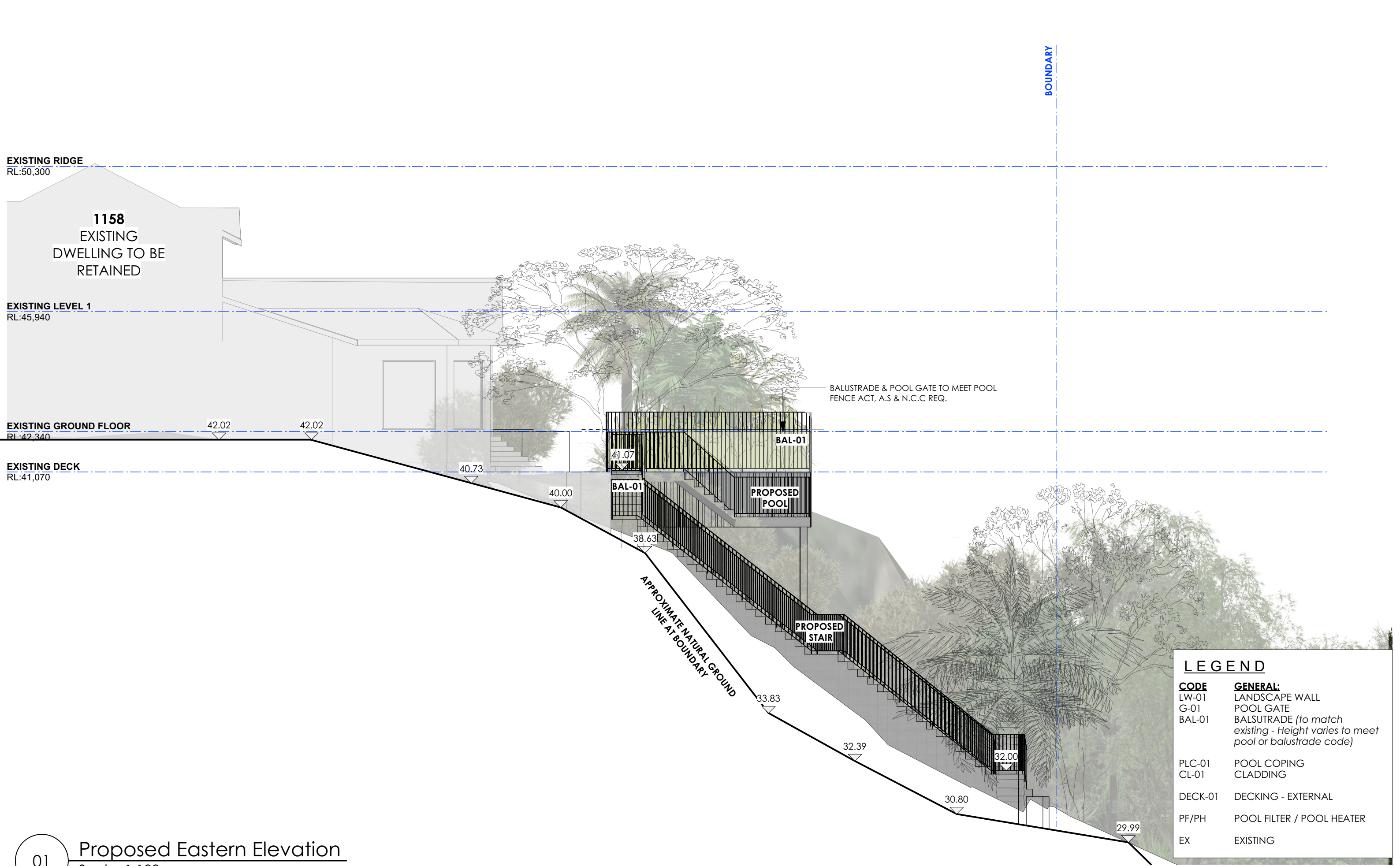
Scale: 1:100



01 Proposed Northern Elevation
Scale: 1:100

LEGEND		
CODE	GENERAL:	
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PF/PH	POOL FILTER / POOL HEATER	
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01 Proposed Eastern Elevation
Scale: 1:100



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Palm Beach Project

Proposed Eastern Elevation

Dayna Lemessurier

1158 Barrenjoey Road, Palm Beach

DATE 27/06/2024 DWG

SCALE ASNOTED@A3 **DA-402**

DRAWN JGW/AC

JOB NO. 2328

ISSUE **F**

Issue	Description	Date
F	Development Application	27/06/2024
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01 Proposed Western Elevation
Scale: 1:100

LEGEND

CODE	GENERAL:
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CL-01	CLADDING
DECK-01	DECKING - EXTERNAL
PF/PH	POOL FILTER / POOL HEATER
EX	EXISTING



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Palm Beach Project

TITLE	Proposed Western Elevation
CLIENT	Dayna Lemessurier
AT	1158 Barrenjoey Road, Palm Beach

DATE	27/06/2024
SCALE	ASNOTED@A3
DRAWN	JGW/AC
JOB NO.	2328











DWG

DA-403


ISSUE F

Issue	Description	Date
F	Development Application	27/06/2024
E	Draft DA for Client Review	11/06/2024
D	Schematic Design Issue	17/05/2024
C	Existing Wall Details	12/04/2024
B	Concept Options - For Council Discussion	15/12/2023


LANDSCAPE SCHEDULE:

LEGEND:	ID:	COMMON NAME:	LATIN NAME:	SPREAD:	HEIGHT:	POT SIZE:
	Bw	BURRAWANG	MACROZAMIA COMMUNIS	3 M	5 M	150mm
	Gc	COUSIN IT	'CASUARINA GLAUCA COUSIN'	1M	0.2M	150mm
	Lp	LITTLE PAL	LOMANDRA CONFERTIFOLI	2M	1M	150mm
	Li	DESIGNER VERDE	LIGULARIA	1M	1M	150mm
	Mm	MISS MUFFET	'PITOSPORUM'	1.5M	1M	150mm
	Xa	XANUDU	PHILODENDRON	0.7M	1M	150mm
MIXED ROCKERY PLANTING: Refer to Northern Beaches 'Native Planting Guide'						
		NATIVE VIOLET GROUND COVER	VIOLA HERACEA	1M	1M	150mm
		SEASPRAY	'DARWINIA CITRIODORA'	0.5-1m	0.5-1m	150mm
		SILVER LINING	"ADENANTHOS	1M	1M	150mm
		NATIVE GRASS	LOMANDRA SPP	1.5M	1.5M	150mm

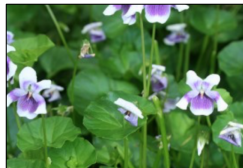
LANDSCAPE IMAGES:




Burrawang
'Macrozamia Communis'
(Bw)




Miss Muffet
'Pittosporum'
(Mm)




Native Violet
Ground Cover
'Viola Heracea'
(VH)




Casuarina
'Glauca Cousin'
(Gc)




Xanadu
'Philodendron'
(Xa)




Seaspray
'Darwinia citriodora'
(SS)




Designer Verde
'Ligularia'
(Li)



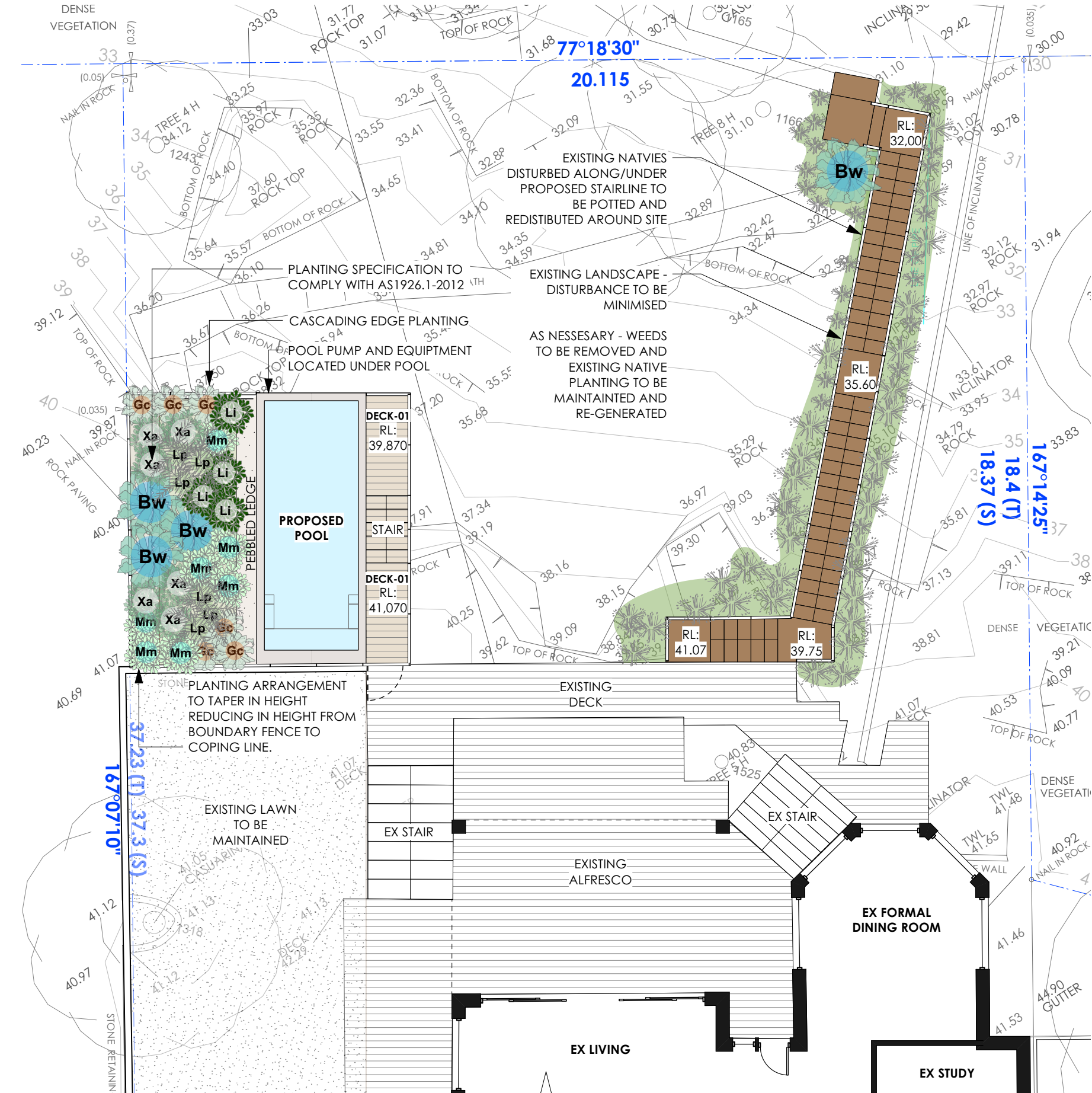
Silver Lining
'Adenanthos'
(SL)



Little Pal
'Lomandra Confertifoli'
(Lp)



Lomandra spp
Native Grass
(LM)



01 PROPOSED LANDSCAPE PLAN
Scale: 1:100