



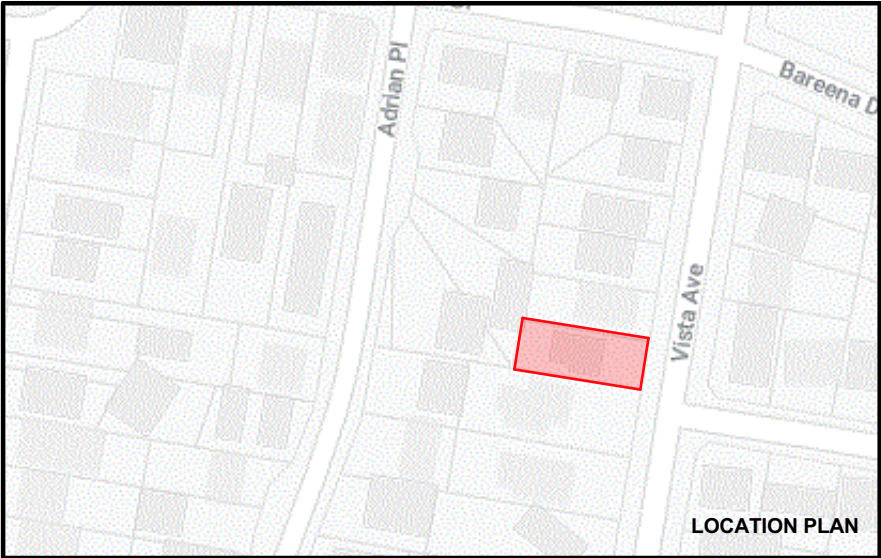
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DEVELOPMENT APPLICATION

These plans are for Development Approval only.

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	4/12/2020
DA01	SITE ANALYSIS	4/12/2020
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	4/12/2020
DA03	PREVIOUSLY APPROVED GROUND FLOOR PLAN	4/12/2020
DA04	PREVIOUSLY APPROVED FIRST FLOOR PLAN	4/12/2020
DA05	PROPOSED GROUND FLOOR PLAN	4/12/2020
DA06	PROPOSED FIRST FLOOR PLAN	4/12/2020
DA07	NORTH / EAST ELEVATION	4/12/2020
DA08	SOUTH / WEST ELEVATION	4/12/2020
DA09	LONG / CROSS SECTION	4/12/2020
DA10	AREA CALCULATIONS / SAMPLE BOARD	4/12/2020
DA11	WINTER SOLSTICE 9 AM	4/12/2020
DA12	WINTER SOLSTICE 12 PM	4/12/2020
DA13	WINTER SOLSTICE 3 PM	4/12/2020

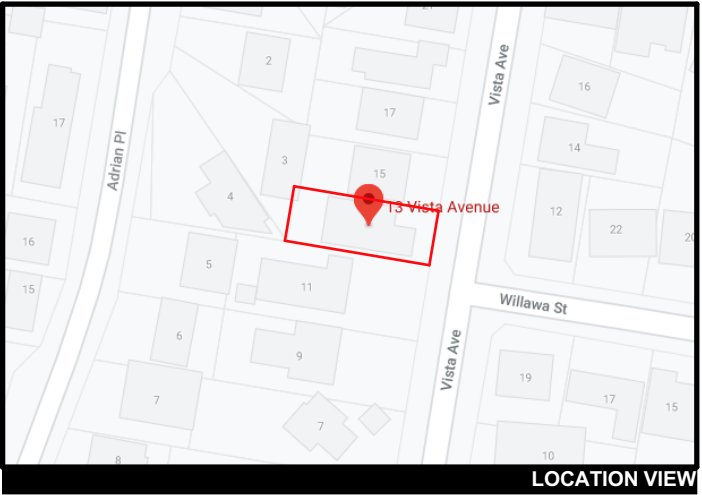
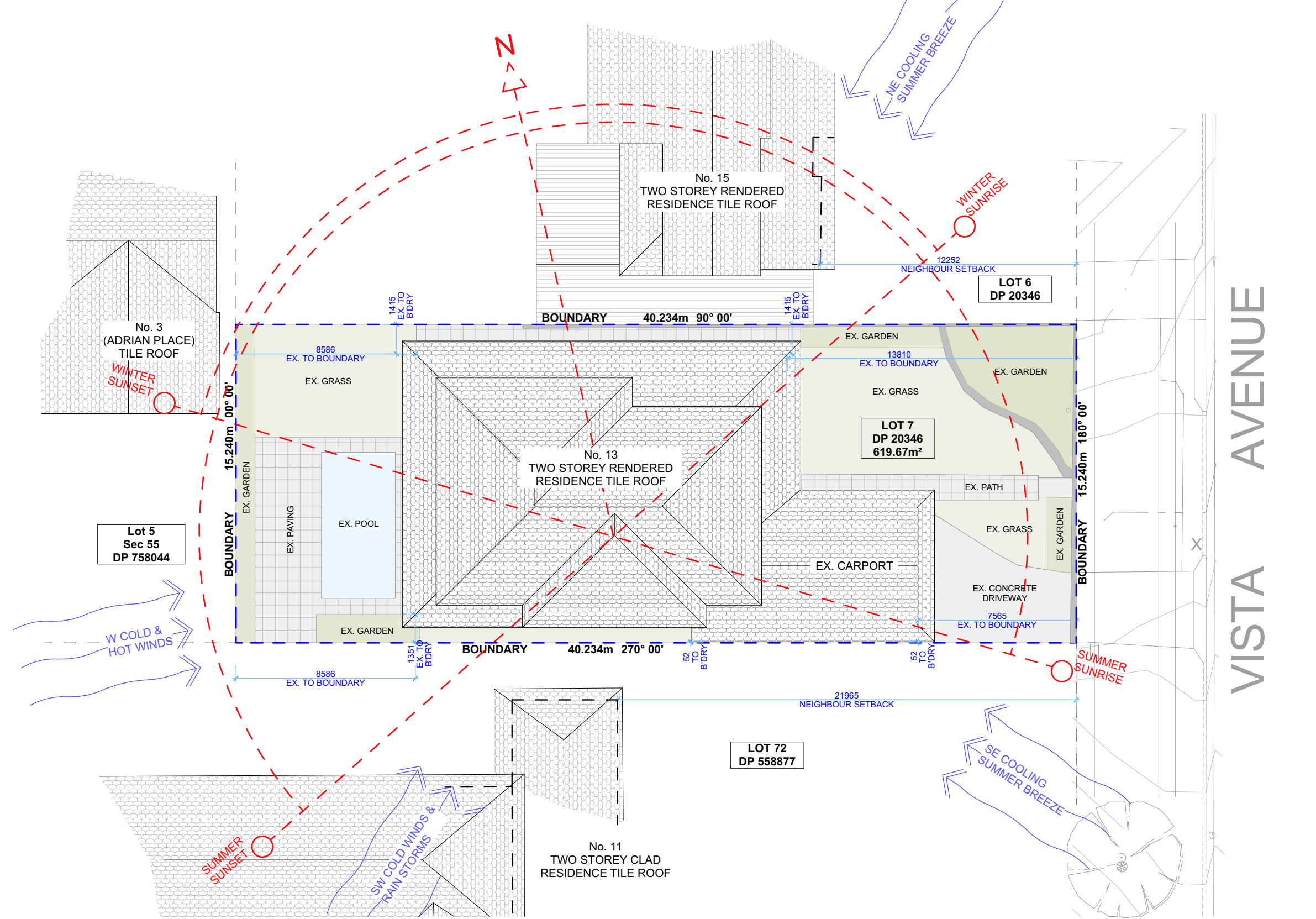


NCC & AS COMPLIANCES SPECIFICATIONS

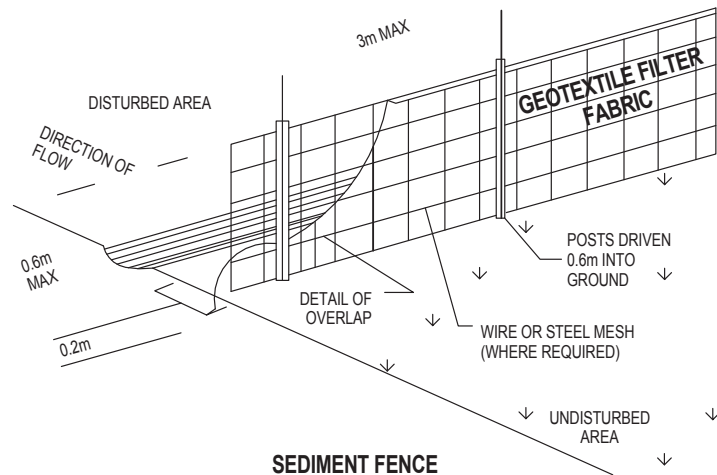
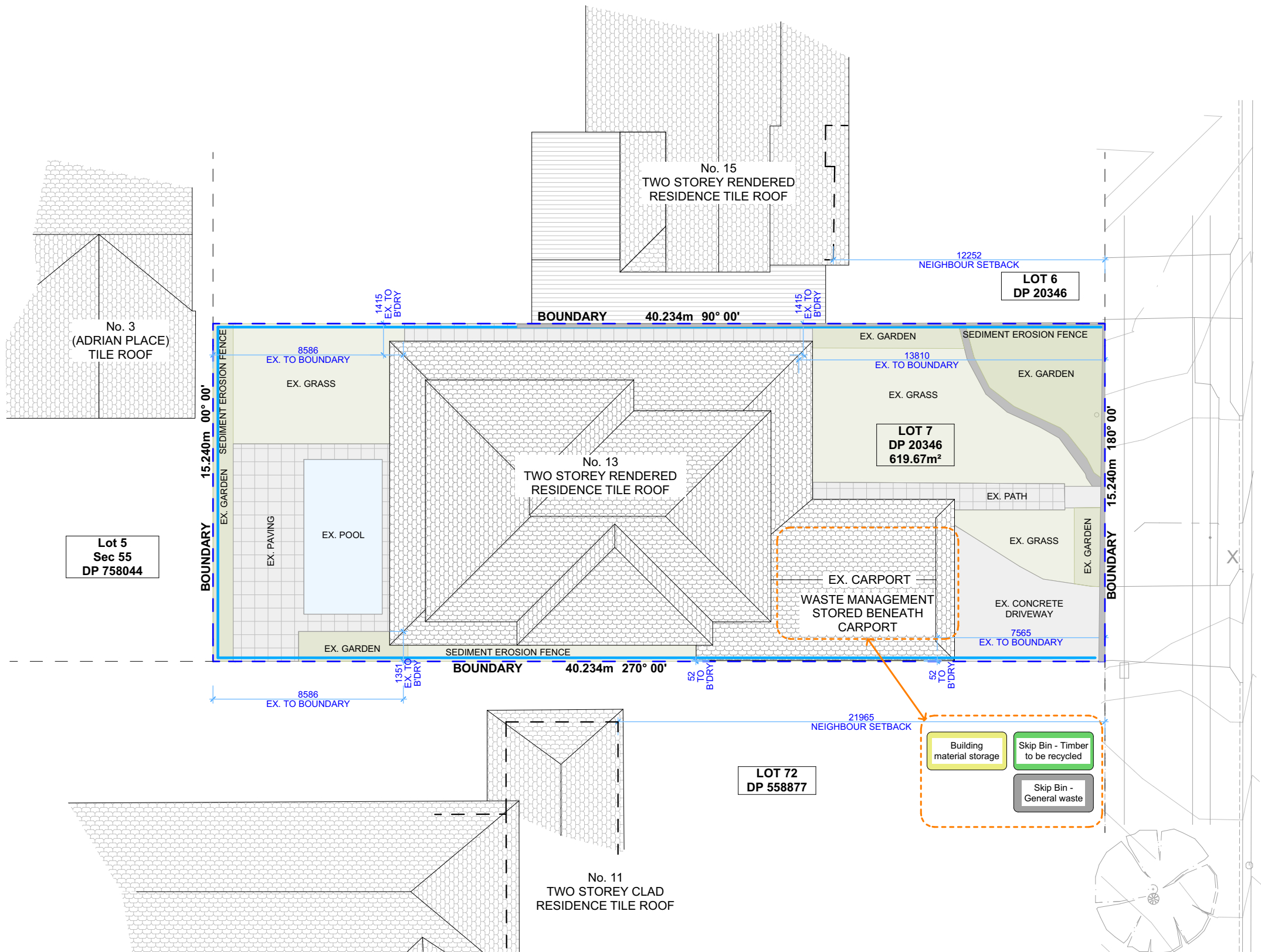
- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	13 VISTA AVENUE, BALGOWLAH HEIGHTS, NSW, 2093			
LOT & DP/SP	LOT 7 DP 20346			
COUNCIL	NORTHERN BEACHES COUNCIL (MANLY)			
SITE AREA	619.67m²			
FRONTAGE	15.24m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	UNCHANGED	YES
MINIMUM LOT SIZE	750m²	619.67m²	UNCHANGED	NO
FLOOR SPACE RATIO	0.4 : 1 (247.868m²)	0.40 : 1 (270.04m²)	UNCHANGED	NO
MAXIMUM BUILDING HEIGHT	8.5m	8.35m	UNCHANGED	YES
HAZARDS				
FORESHORE SCENIC PRO. AREA	YES			
DCP				
RESIDENTIAL OPEN SPACE	AREA OS4			
TOTAL OPEN SPACE (TOS)	60% (371.8m²)	59% (366.82m²)	57% (351.62m²)	NO
LANDSCAPE AREA	40% OF TOS (60%): 148.72m²	57%: 213.78m²	53%: 198.58m²	YES
PRINCIPAL PRIVATE OPEN SPACE	18m²	124.67	UNCHANGED	YES
FRONT SETBACK	PREVALING BULDING LINE OR 6m	7.590m	UNCHANGED	YES
REAR SETBACK	8.0m	8.654m	UNCHANGED	YES
SIDE SETBACKS	1/3 WALL HEIGHT	N: 1.415m S: 1.072m	UNCHANGED 0.052m	YES NO
CAR PARKING SPACES	Required: 1	2	UNCHANGED	YES

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



VISTA AVENUE



DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

1

SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

1:200



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A	26.11.2020	REVIEW	RNA

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LEGEND
EXISTING
PROPOSED WORKS

CLIENT
Mark Griffiths & Emma Flowers

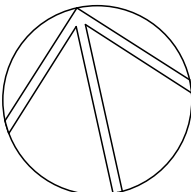
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13 VISTA AVENUE,
BALGOWLAH HEIGHTS,
NSW 2093

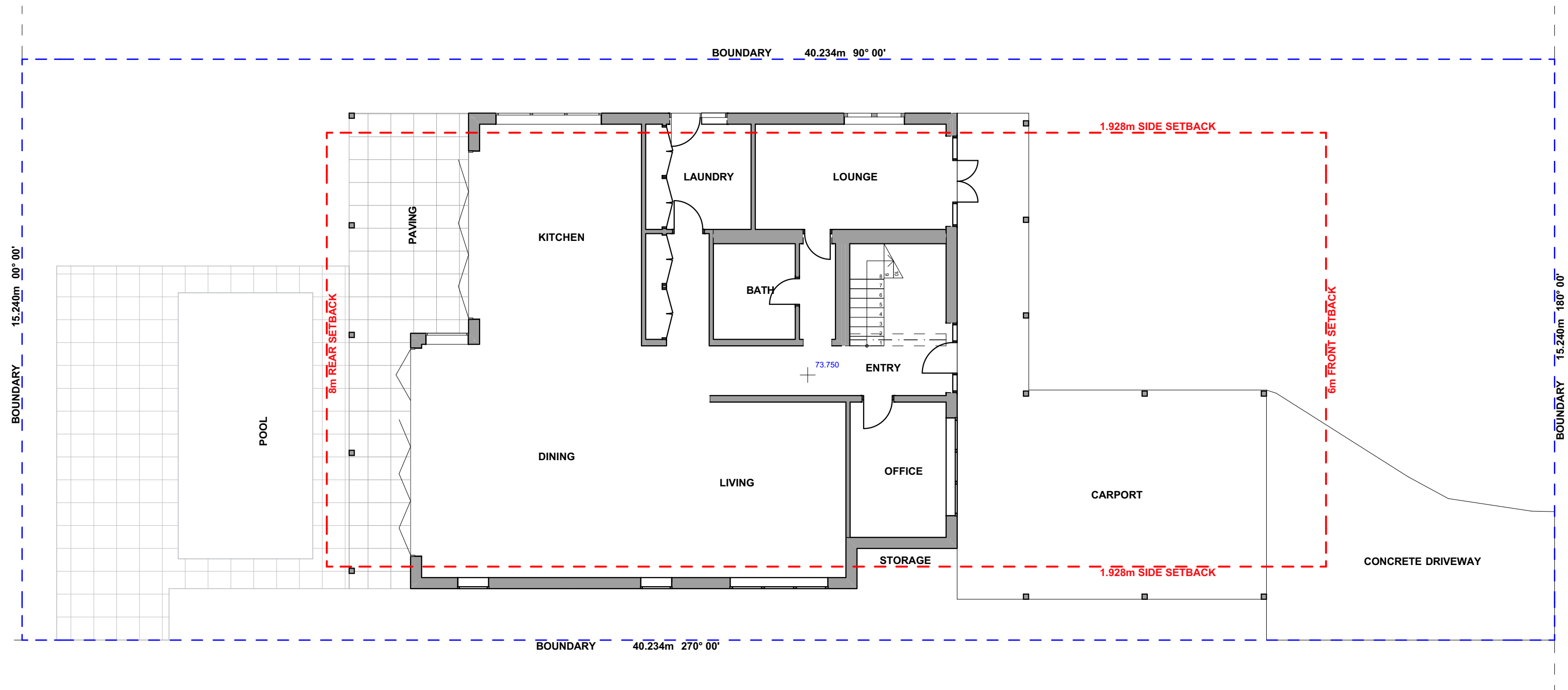
DRAWING NO.
DA02

DATE
Friday, 4 December
2020

DRAWING NAME
SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE
1:200 @A3



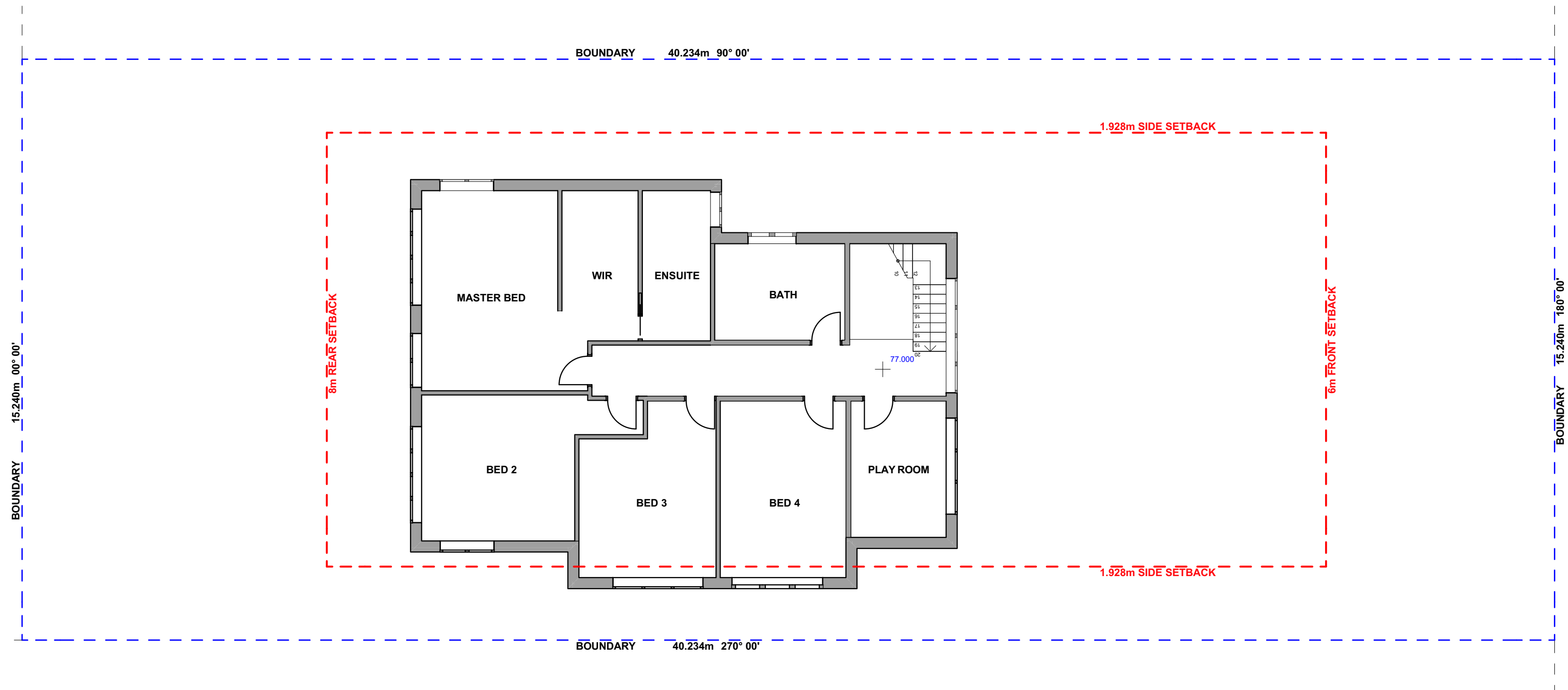


1

PREVIOUSLY APPROVED GROUND FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



1

PREVIOUSLY APPROVED FIRST FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001





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LEGEND

 EXISTING
 PROPOSED WORKS

CLIENT

Mark Griffiths & Emma Flowers

PROJECT ADDRESS

13 VISTA AVENUE,
BALGOWLAH HEIGHTS,
NSW 2093

DRAWING NO.

DA04

DATE

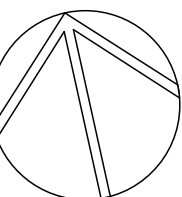
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2020

DRAWING NAME

PREVIOUSLY APPROVED FIRST
FLOOR PLAN

SCALE

1:100 @A3



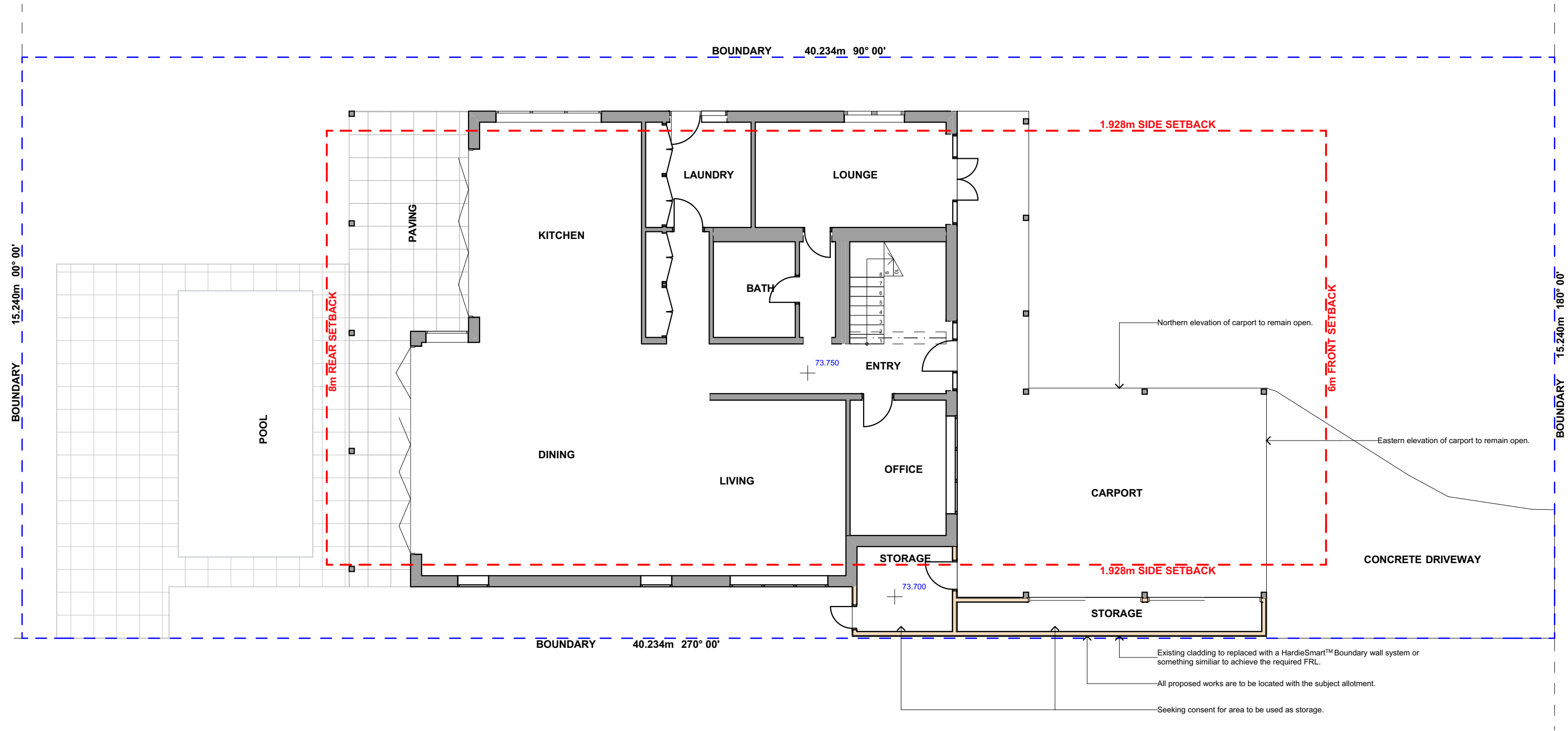
NOTE:

NO NEW INTERNAL WORKS PROPOSED TO THIS LEVEL

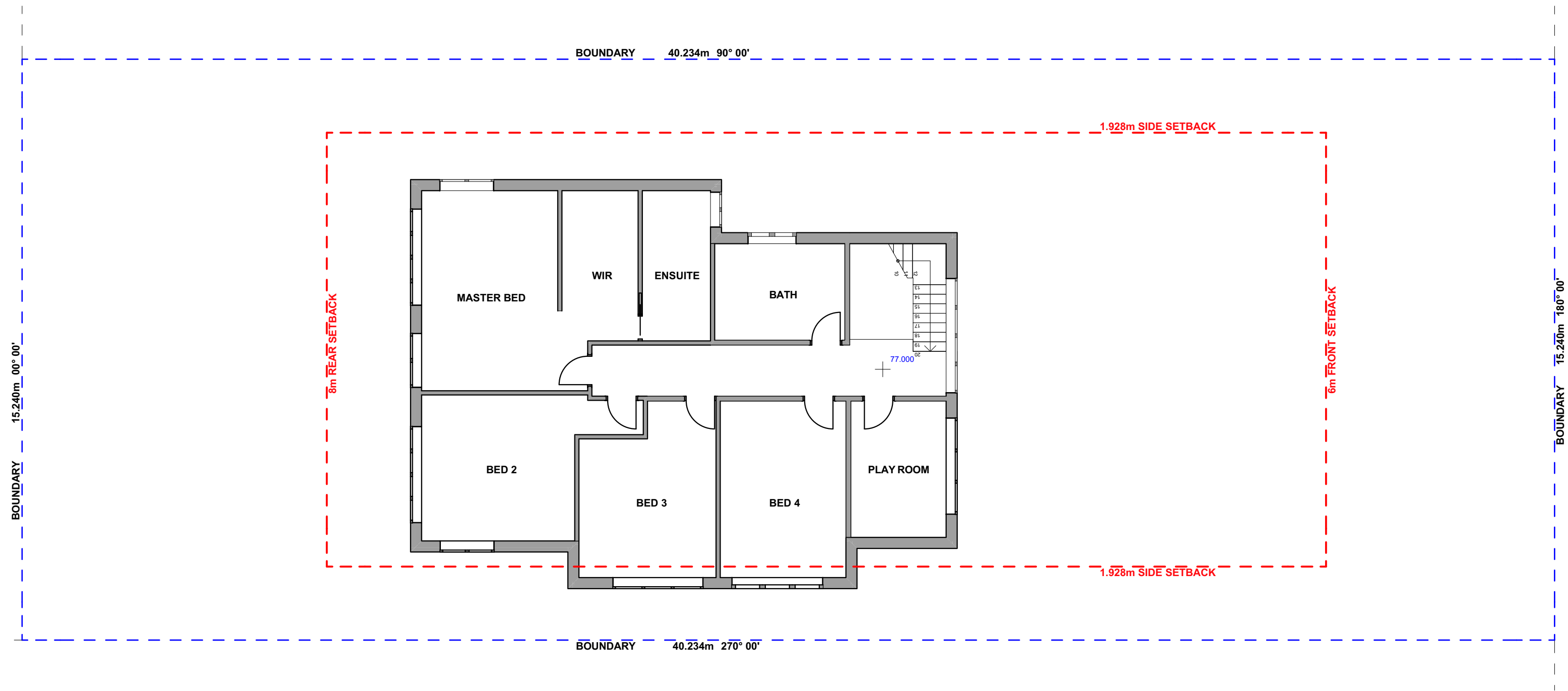
NOTE:

EAVES/FASCIA OF THE CARPORT ROOF TO COMPLY WITH PART 3.7.2.7 OF THE NCC.
CARPORT EAVES TO BE LINED IN NON-COMBUSTIBLE FC SHEET. FASCIA TO BE TIMBER IF >450MM TO BOUNDARY.
FASCIA TO BE NON COMBUSTABLE IF <450MM FROM BOUNDARY.

CLADDING TO STORAGE AREAS LESS THAN 900mm FROM ANY BOUNDARY SHALL COMPLY WITH PART 3.7.2
AND MUST HAVE A FRL 60/60/60



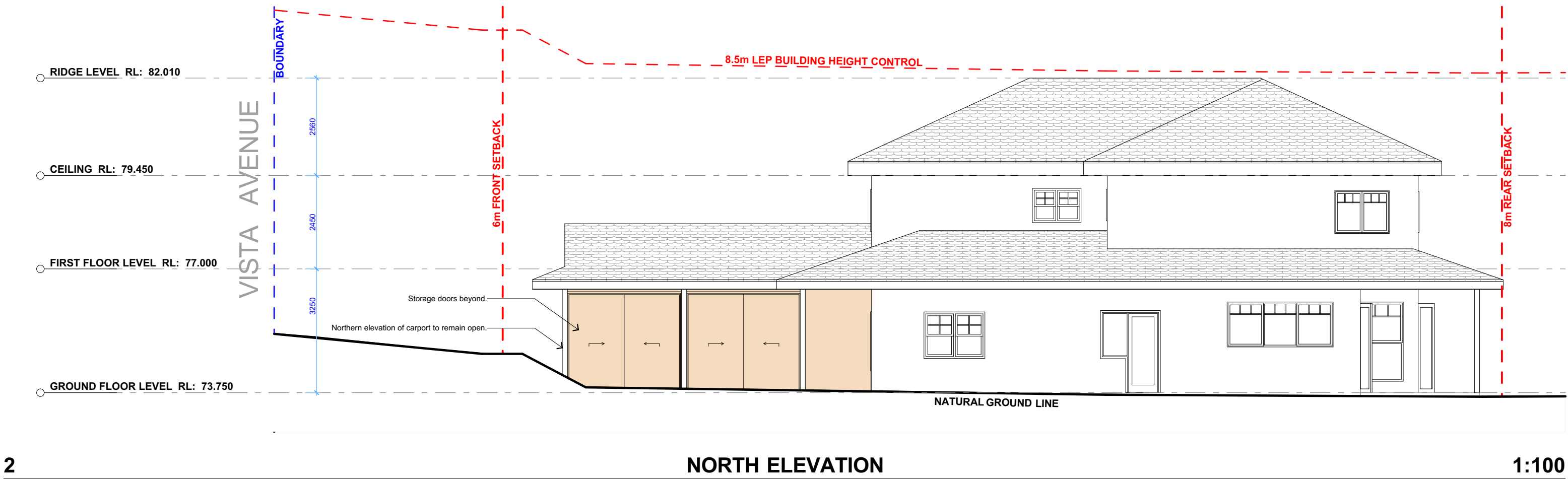
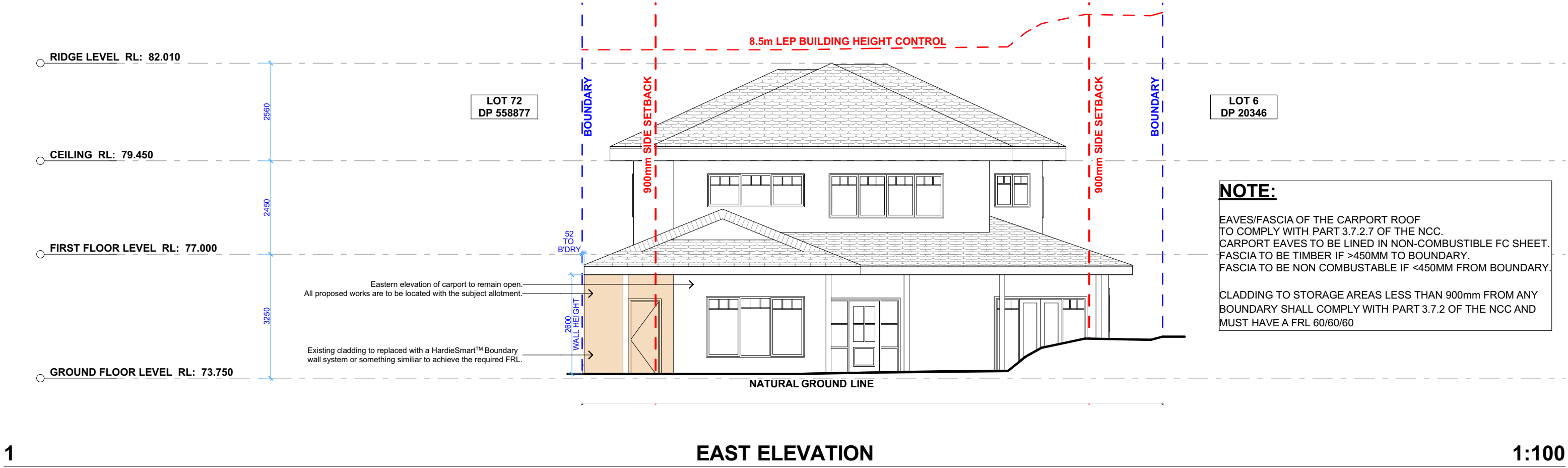
NOTE:
NO NEW INTERNAL WORKS PROPOSED TO THIS LEVEL

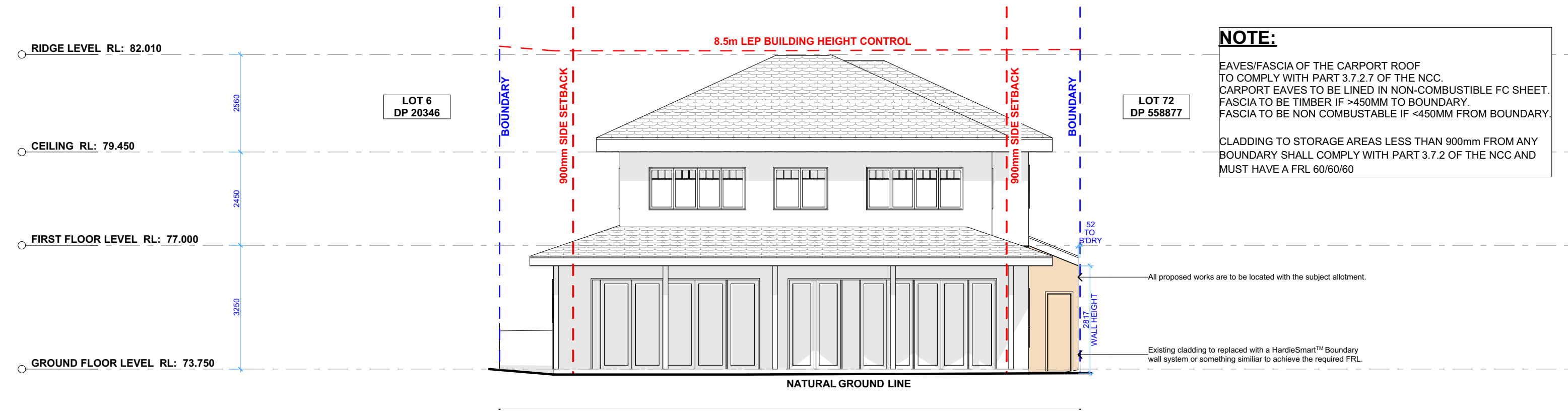


1

PREVIOUSLY APPROVED FIRST FLOOR PLAN

1:100





NOTE:

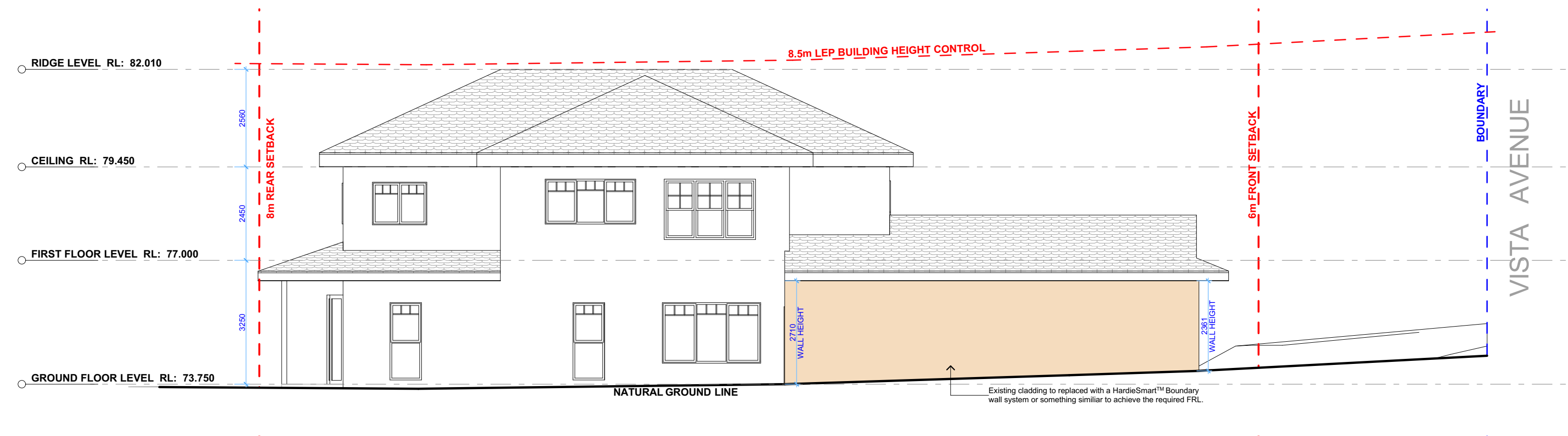
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FASCIA TO BE TIMBER IF >450MM TO BOUNDARY.
FASCIA TO BE NON COMBUSTABLE IF <450MM FROM BOUNDARY.

CLADDING TO STORAGE AREAS LESS THAN 900mm FROM ANY BOUNDARY SHALL COMPLY WITH PART 3.7.2 OF THE NCC AND MUST HAVE A FRL 60/60/60

1

WEST ELEVATION


1:100



2

SOUTH ELEVATION

1:100





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LEGEND

 EXISTING

 PROPOSED WORKS

CLIENT

Mark Griffiths & Emma Flowers

PROJECT ADDRESS

13 VISTA AVENUE,
BALGOWLAH HEIGHTS,
NSW 2093

DRAWING NO.

DA08

DATE

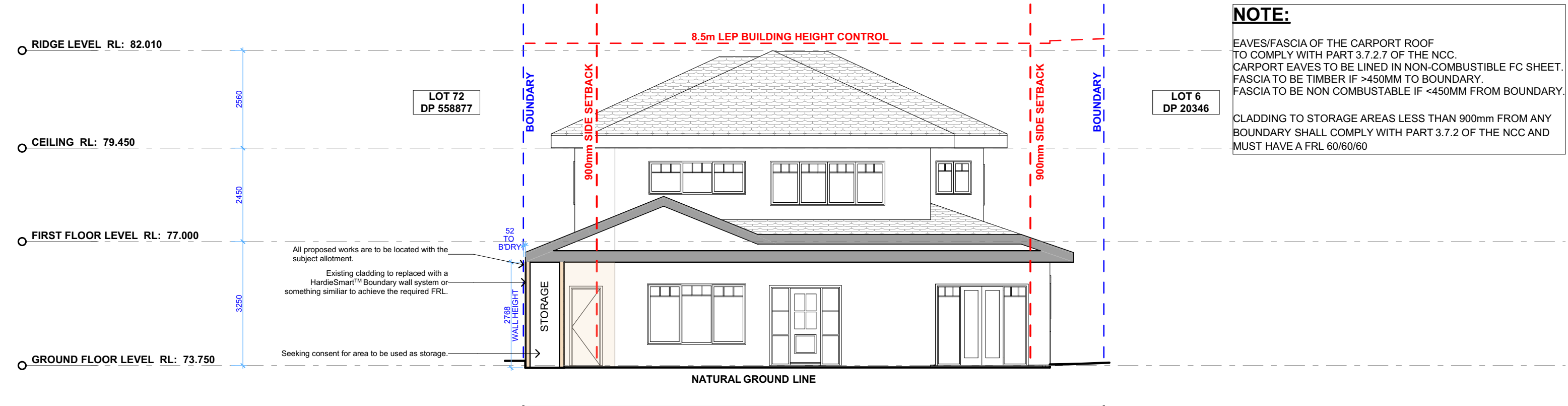
Friday, 4 December 2020

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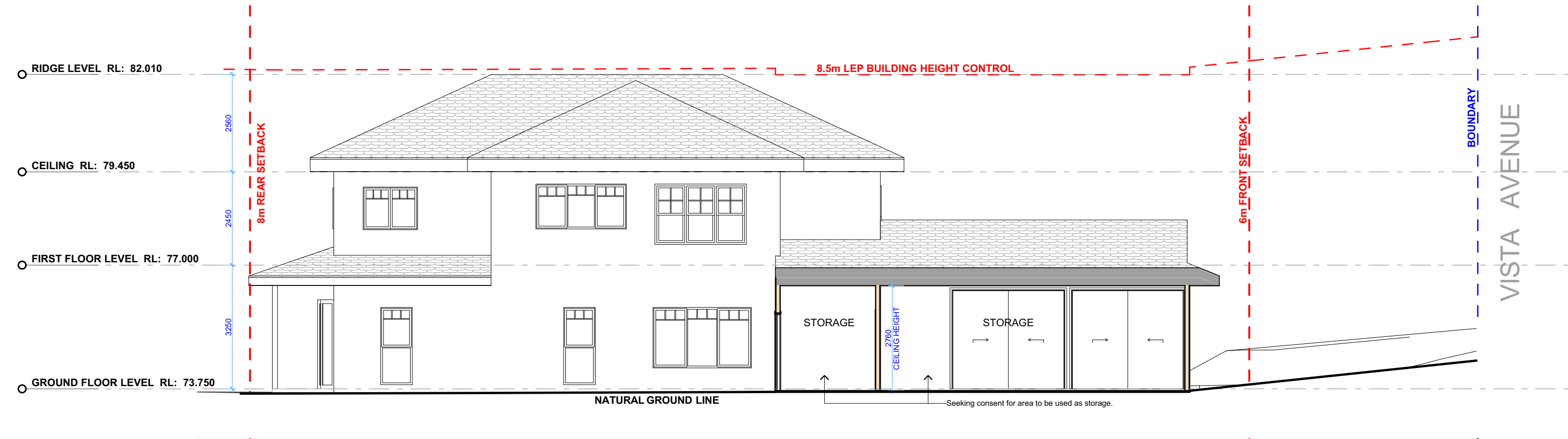
SOUTH / WEST ELEVATION

SCALE

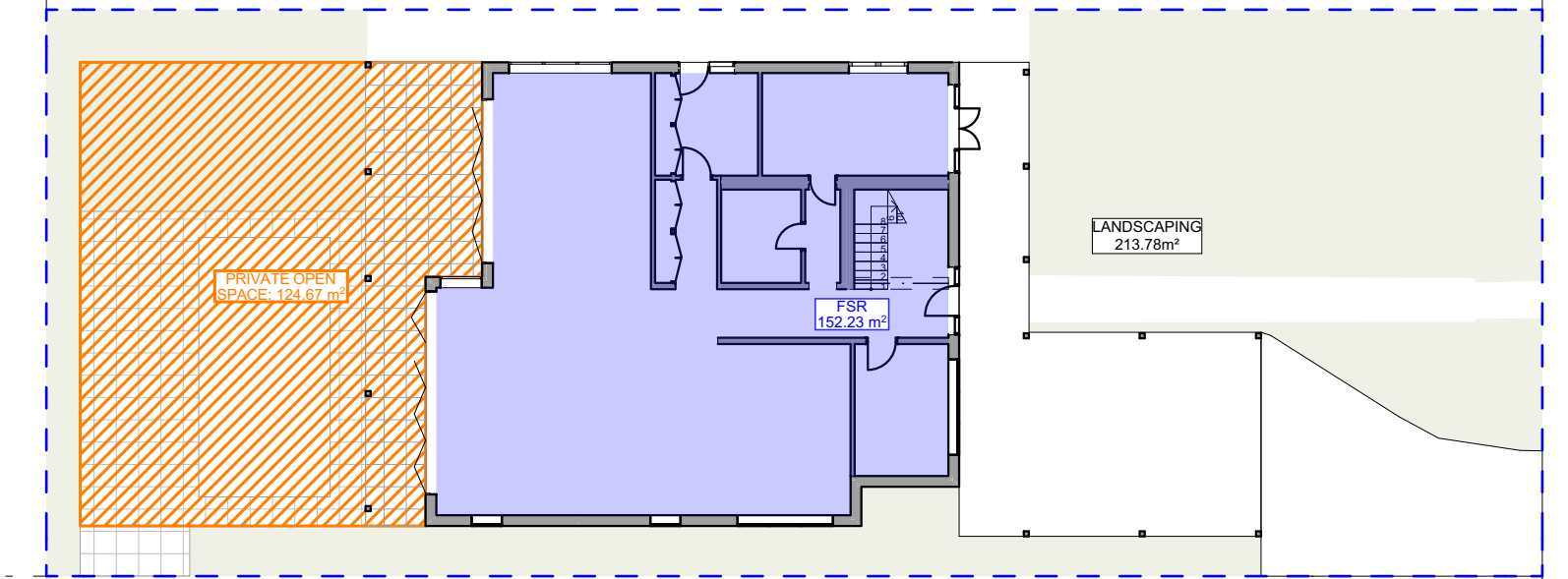
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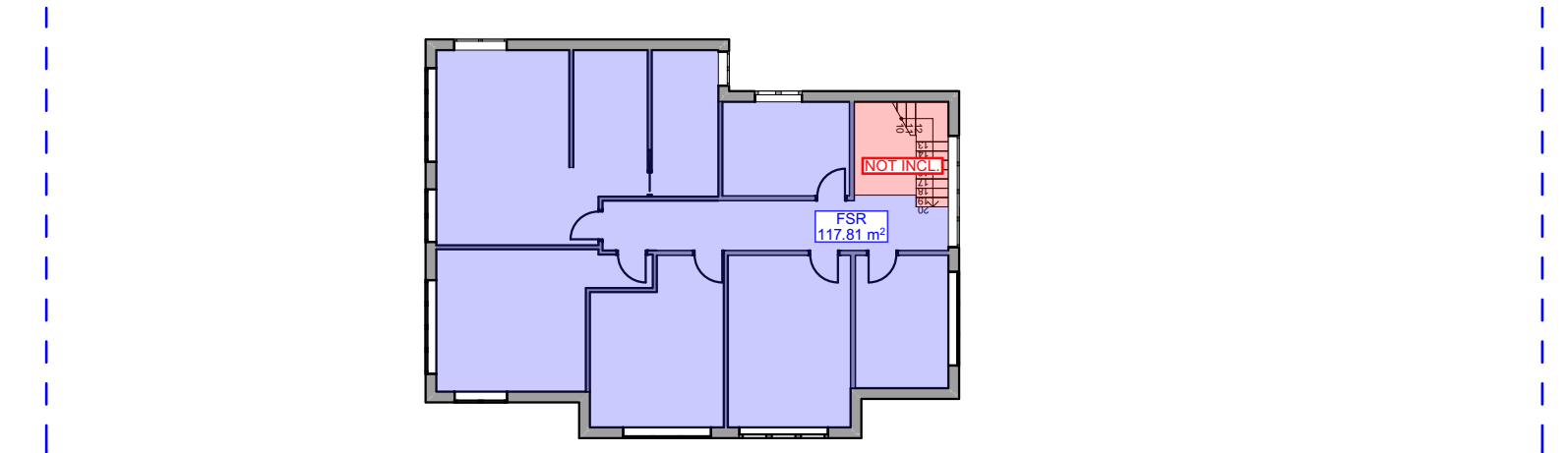
1 CROSS SECTION 1:100



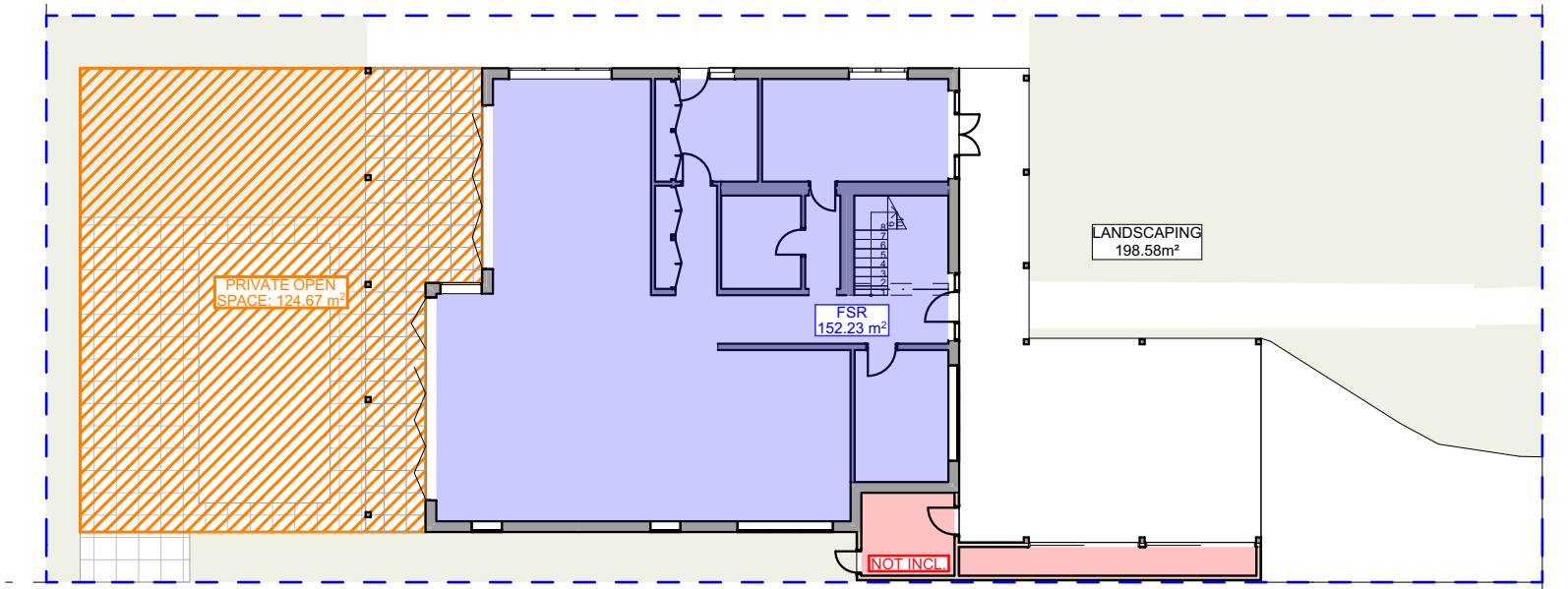
2 LONG SECTION 1:100



1 PREVIOUSLY APPROVED GROUND FLOOR FSR 1:200



2 PREVIOUSLY APPROVED FIRST FLOOR FSR 1:200

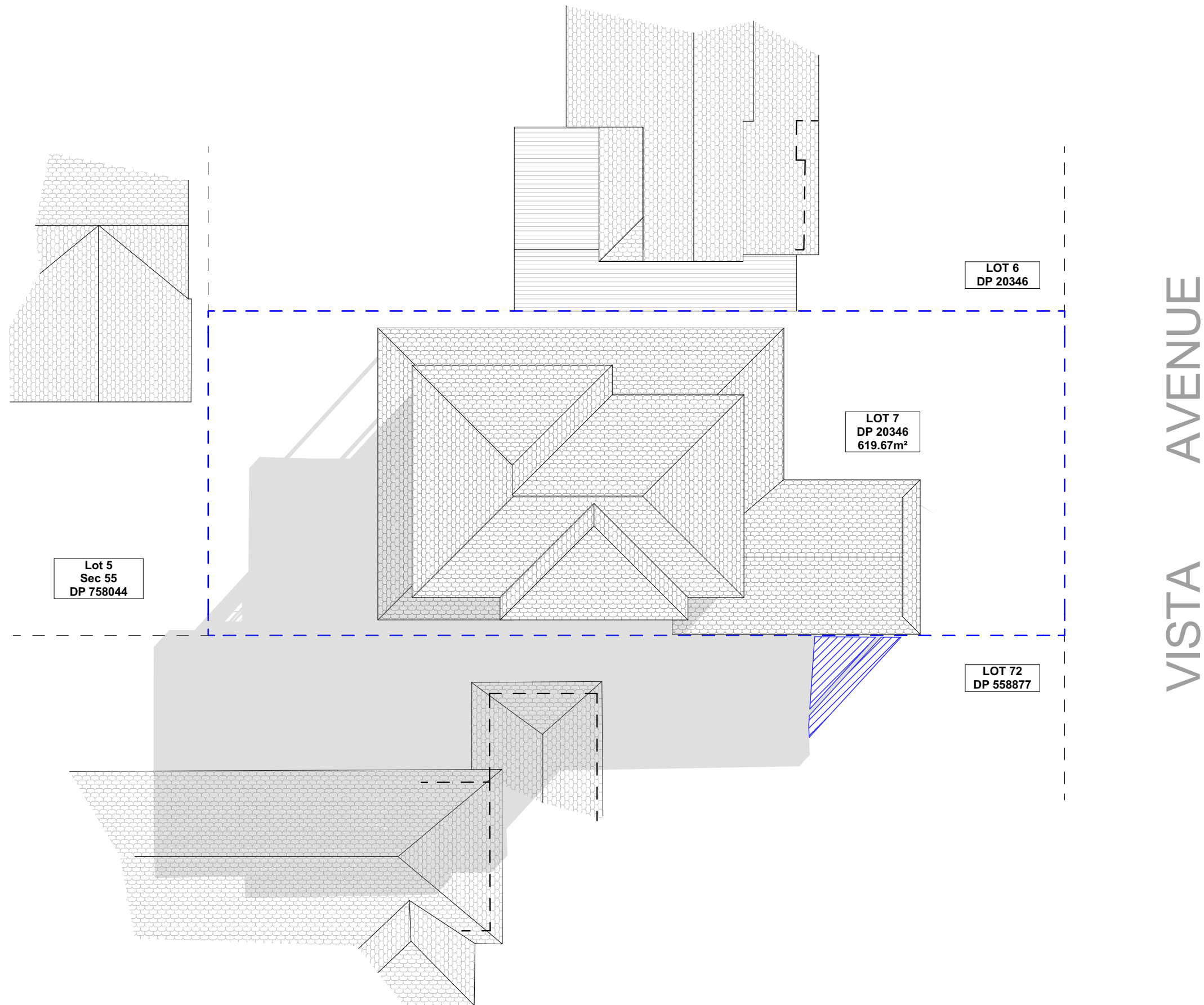


3 PROPOSED GROUND FLOOR FSR 1:200

AREA CALCULATIONS

	REQUIRED	EXISTING	PROPOSED
SITE AREA :619.67m ²			
FLOOR SPACE RATIO	0.4 : 1 (247.868m ²)	0.44 : 1 (270.04m ²)	0.44 : 1 (270.04m ²)
TOTAL OPEN SPACE	60% (371.8m ²)	59% (366.82m ²)	57% (351.62m ²)
LANDSCAPED AREA	40% OF TOS (148.72m ²)	57% (213.78m ²)	53% (198.58m ²)
PRIVATE OPEN SPACE	18m ²	124.67m ²	124.67m ²

- LANDSCAPED AREA / LANDSCAPED OPEN SPACE
- FLOOR SPACE RATIO
- NOT INCL. IN FLOOR SPACE RATIO
- PRIVATE OPEN SPACE



VISTA AVENUE

1

WINTER SOLSTICE 9AM



1:200



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LEGEND
 EXISTING SHADOWS
 PROPOSED SHADOWS

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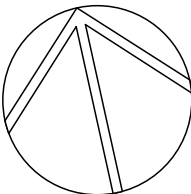
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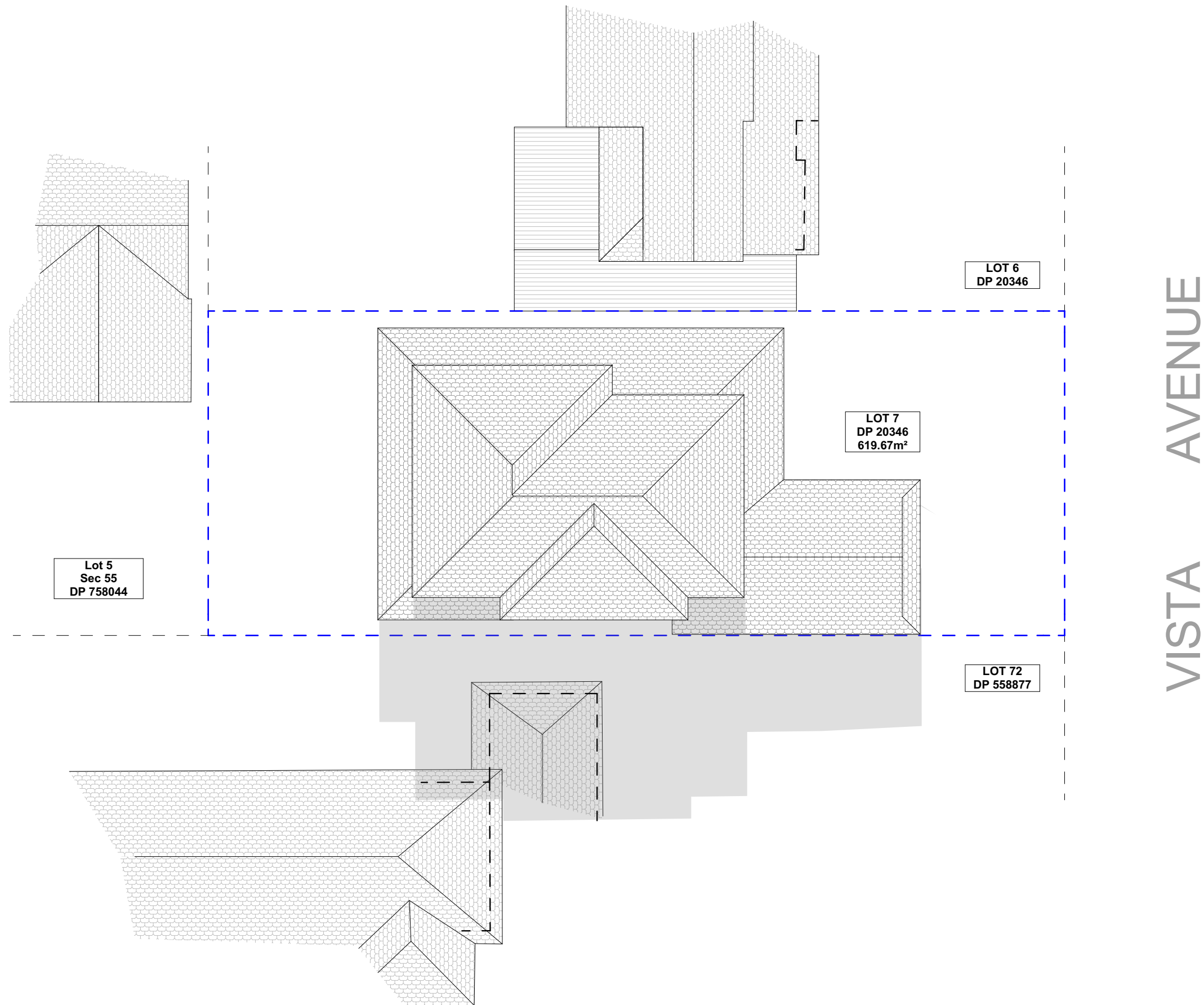
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DA11

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WINTER SOLSTICE 9 AM

SCALE
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VISTA AVENUE



1 WINTER SOLSTICE 12PM 1:200



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LEGEND
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 PROPOSED SHADOWS

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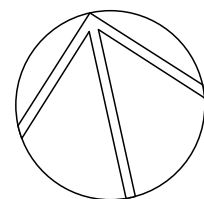
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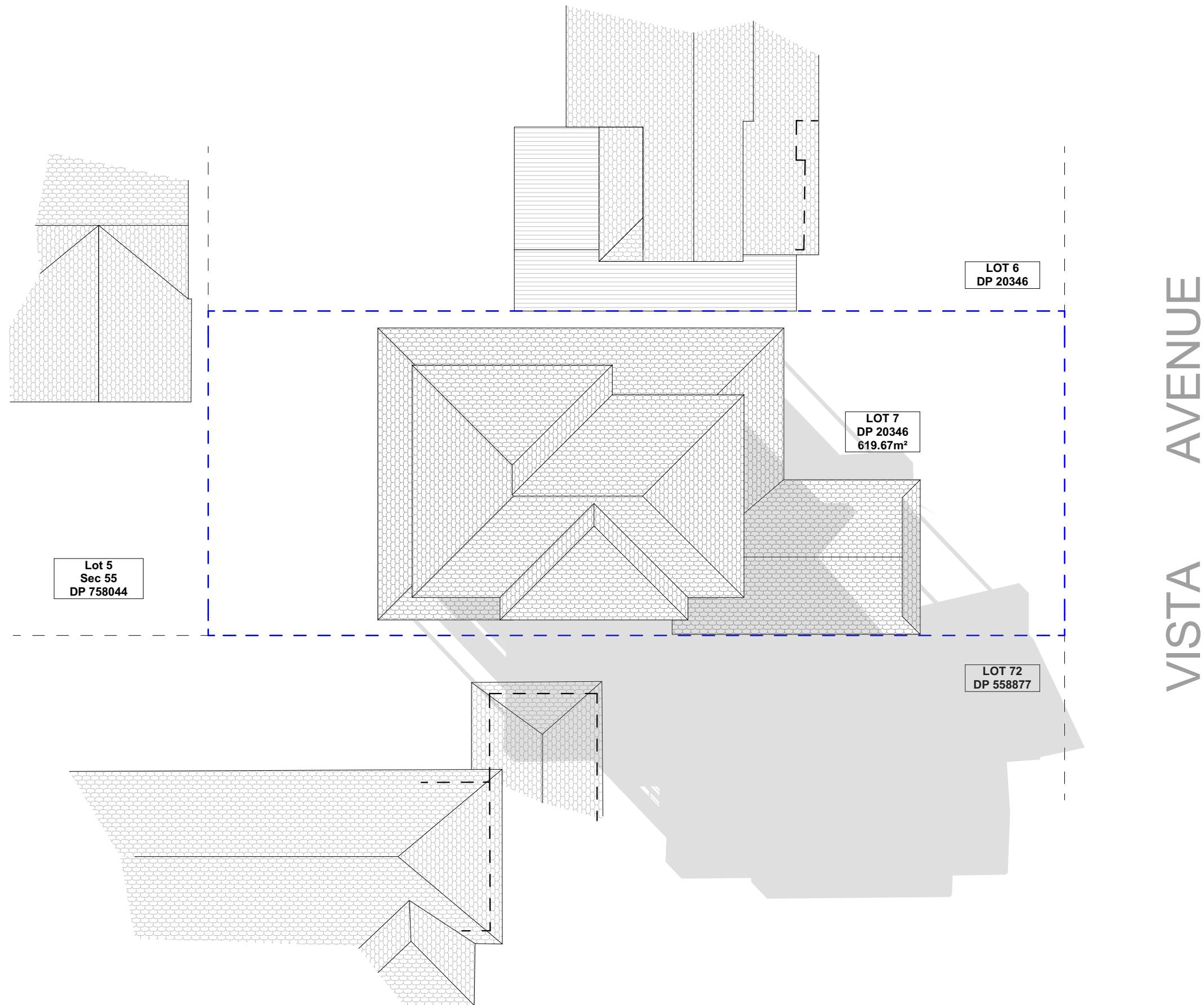
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DA12

DATE
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2020

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WINTER SOLSTICE 12 PM

SCALE
1:200 @A3





VISTA AVENUE

1

WINTER SOLSTICE 3PM

1:200



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LEGEND
EXISTING SHADOWS
PROPOSED SHADOWS

CLIENT
Mark Griffiths & Emma Flowers

PROJECT ADDRESS
13 VISTA AVENUE,
BALGOWLAH HEIGHTS,
NSW 2093

DRAWING NO.
DA13

DATE
Friday, 4 December
2020

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3

