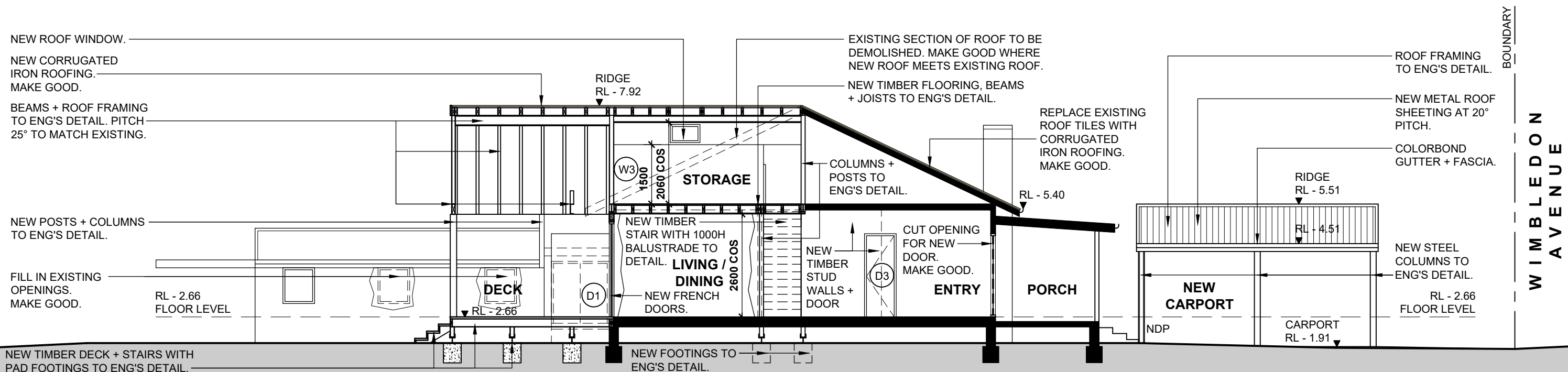


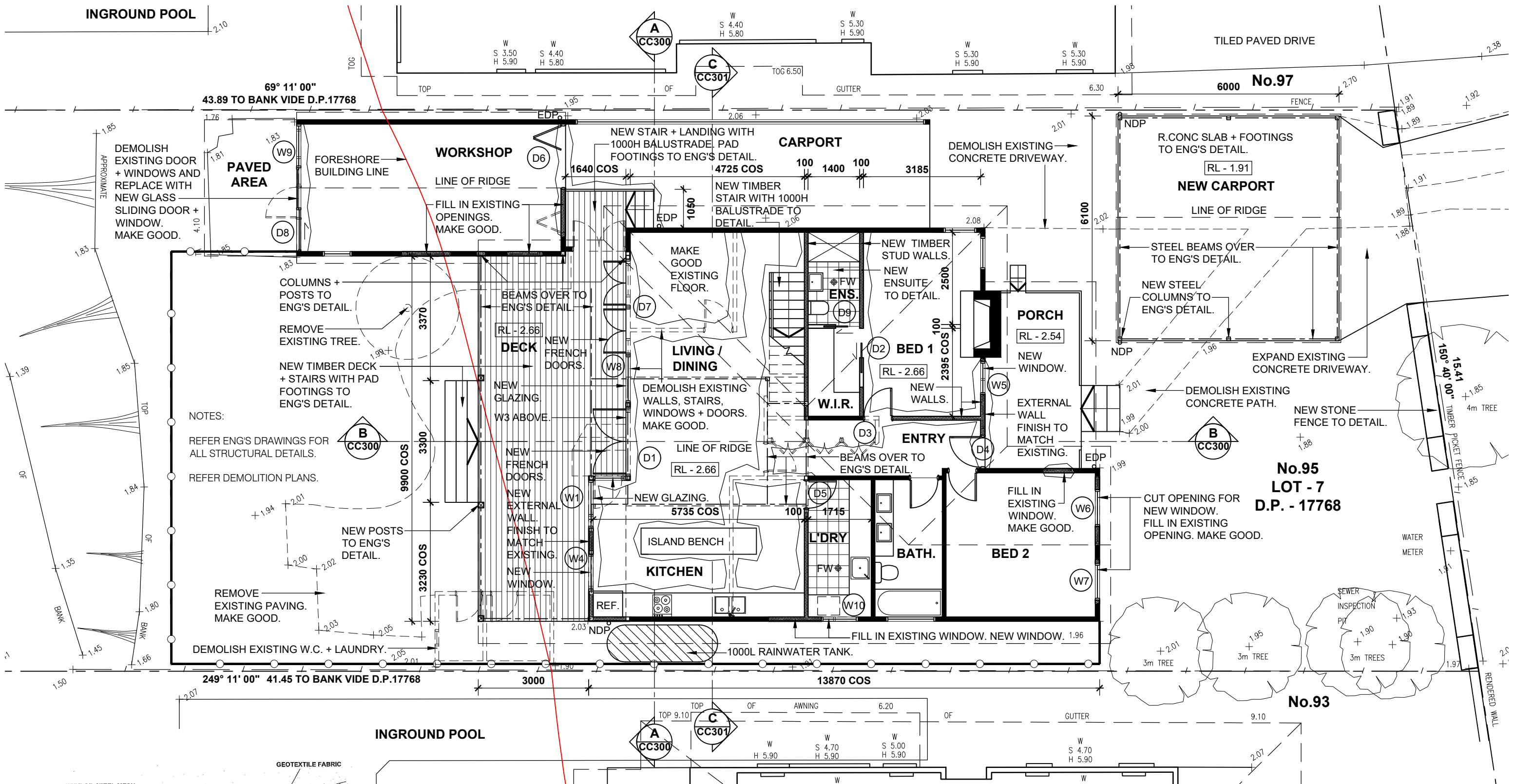
SECTION A-A
SCALE 1:100@A3



SECTION B-B
SCALE 1:100@A3

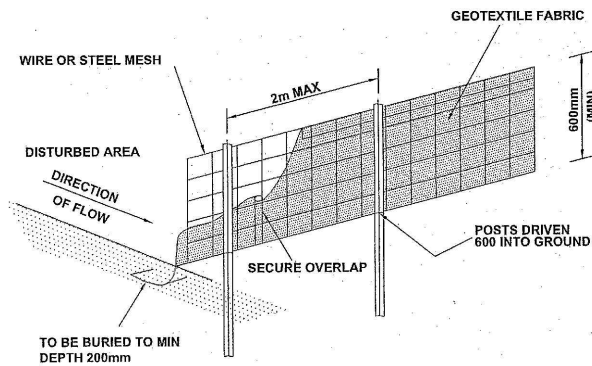
AS BUILT

ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project:	Drawing Title:	Consultant:	Issue	Amendment	Date	By	Job No:	Dwg No:	Rev:
	ALTERATIONS + ADDITIONS	SECTIONS A-A + B-B	HOSKING MUNRO	A	PRELIMINARY CC ISSUE	11.03.21	JC	HM1478 CC300 'D'	CC300 'D'	
	95 WIMBLEDON AVE NARRABEEN NSW		HOSKING MUNRO PTY. LTD.	B	CC ISSUE	04.06.21	JC			
	Client:		ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS	C	CC ISSUE 2	10.06.21	JC			
BROOK WORTHINGTON		3.09 / 55 MILLER STREET, PYRMONT 2009	D	AS BUILT	26.08.24	JP				
			ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au					Scale:1:100@A3	Date:JUNE 2021	



NOTES FOR SEDIMENT + EROSION CONTROL

1. ACCUMULATED SILT TO BE REMOVED AT REGULAR INTERVALS AND AFTER RAIN EVENTS.
2. CONTROLS TO BE IN PLACE BEFORE STARTING WORK AND ARE TO BE MAINTAINED UNTIL CONSTRUCTION COMPLETED.
3. SOIL HEAPS TO BE NO MORE THAN 1 METRE HIGH.
4. UTILISE EXISTING DRIVEWAY CROSSING UNTIL WORK COMPLETE.
5. ANY SPILLAGE OF MATERIALS ON ROADWAY TO BE CLEANED UP IMMEDIATELY.
6. GEOTEXTILE FABRIC TO BE LAID UNDER STORMWATER INLET GRATES UNTIL WORKS COMPLETED.

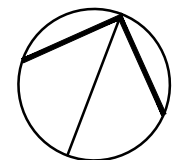


DETAIL OF SEDIMENT CONTROL FENCE
NOT TO SCALE

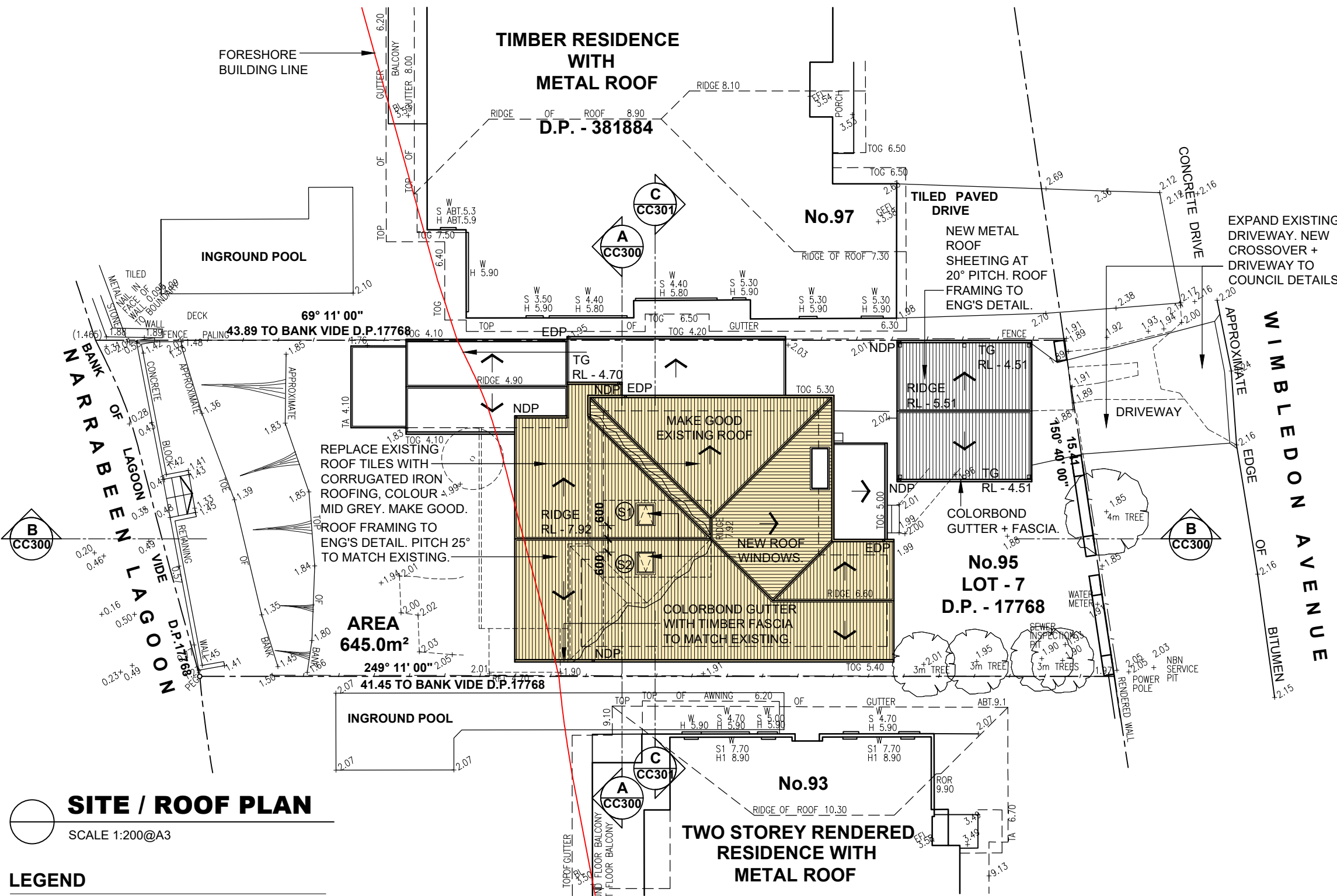
GROUND FLOOR PLAN

SCALE 1:100@A3

AS BUILT



ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project: ALTERATIONS + ADDITIONS 95 WIMBLEDON AVE NARRABEEN NSW	Drawing Title: GROUND FLOOR PLAN	Consultant: HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	Issue: A PRELIMINARY CC ISSUE B CC ISSUE C CC ISSUE 2 D AS BUILT	Amendment: A B C D	Date: 11.03.21 04.06.21 10.06.21 26.08.24	By: JC JC JC JP	Job No: HM1478 CC101 'D'	Dwg No: CC101 'D'	Rev:
	Client: BROOK WORTHINGTON	SEDIMENT CONTROL FENCE		Scale: 1:100@A3 Date: JUNE 2021						



SITE / ROOF PLAN

SCALE 1:200@A3

LEGEND

- EXISTING WALLS TO BE RETAINED.
- EXISTING WALLS TO BE DEMOLISHED.
- NEW TIMBER STUD WALLS.
- BEAMS OVER TO ENG'S DETAIL.
- RL - 21.65 - PROPOSED LEVELS.
- 18.79 - EXISTING LEVELS.
- EDP - EXISTING DOWNPIPE.

BASIX NOTES
CERTIFICATE No. A403773
DATED 15TH JANUARY 2021

HOT WATER:

- GAS INSTANTANEOUS.

LIGHTING:

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES:

- NEW OR ALTERED SHOWERHEADS - 9L / MIN OR 3 STAR WATER RATING.
- NEW OR ALTERED TOILETS - 4L / AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.
- NEW OR ALTERED TAPS - 9L / MIN OR A MINIMUM 3 STAR WATER RATING.

INSULATION:

SUSPENDED FLOOR WITH OPEN SUBFLOOR

- FRAMED - R0.80 (DOWN) (OR R1.50 INCLUDING CONSTRUCTION)

EXTERNAL WALLS

- FRAMED WEATHERBOARD - R1.30 (OR R1.70 INCLUDING CONSTRUCTION)

RAKED CEILING WITH PITCHED ROOF

- CEILING - R1.74 (UP)
- ROOF - FOIL BACKED BLANKET (75mm)
- MEDIUM - SOLAR ABSORPTANCE 0.475-0.70

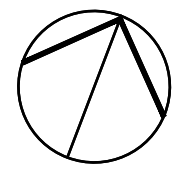
WINDOWS + GLAZED DOORS:

- ALL WINDOWS AND GLAZED DOORS TO BE TIMBER OR uPVC FRAMED, SINGLE CLEAR AND HAVE A U-VALUE AND SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN U-VALUE: 5.71, SHGC: 0.66.

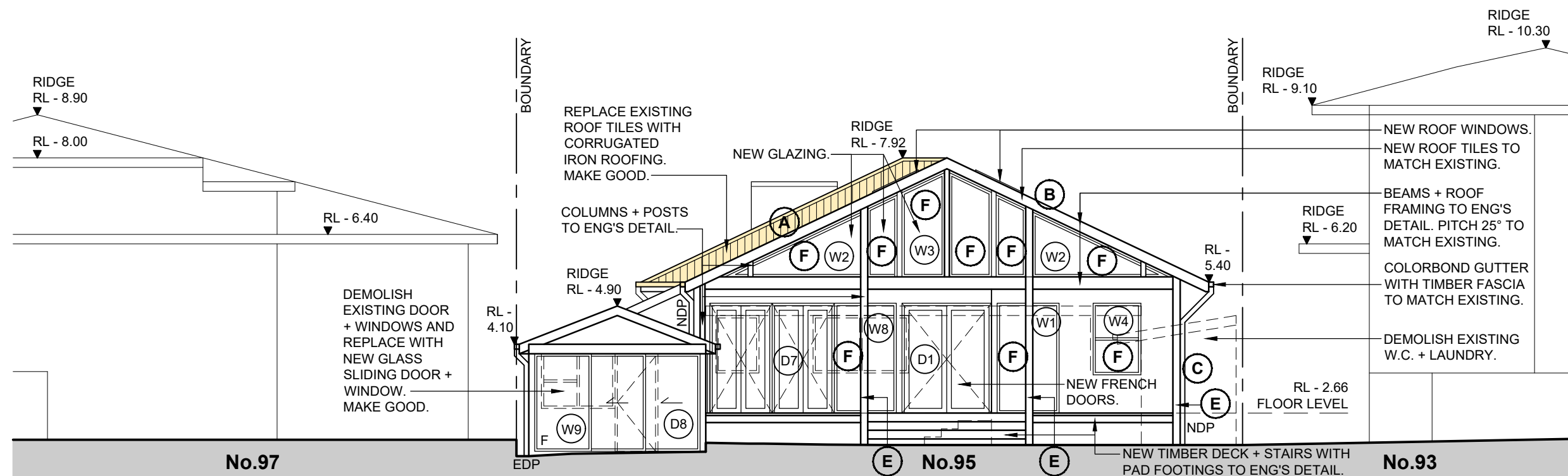
SKYLIGHTS:

- ALL SKYLIGHTS TO BE TIMBER DOUBLE CLEAR/AIR FILL. U-VALUE: 4.3, SHGC: 0.5

AS BUILT

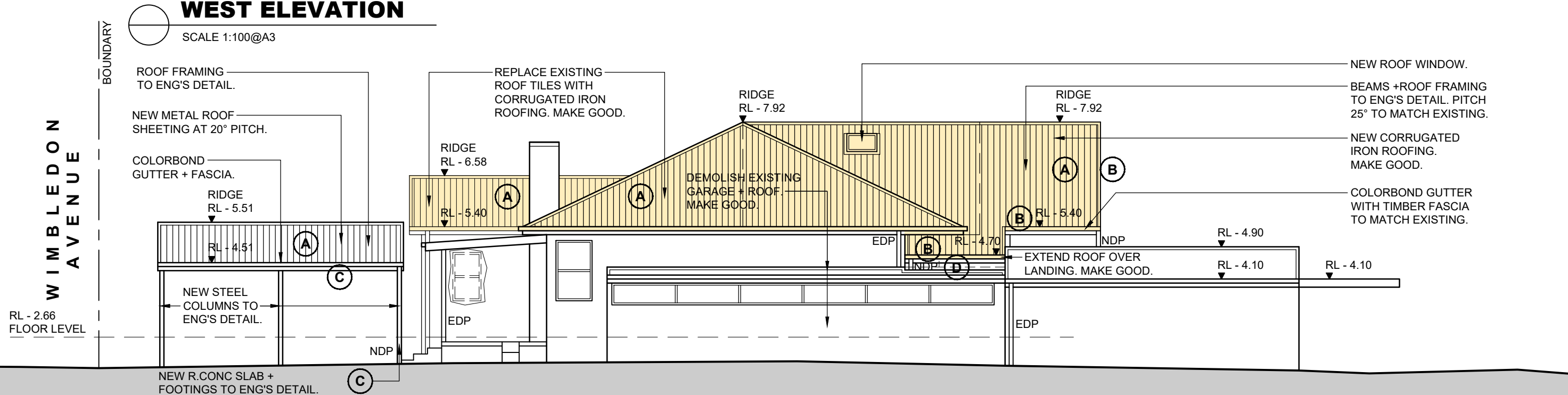


ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project: ALTERATIONS + ADDITIONS 95 WIMBLEDON AVE NARRABEEN NSW Client: BROOK WORTHINGTON	Drawing Title: SITE / ROOF PLAN	Consultant: HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	Issue A PRELIMINARY CC ISSUE B CC ISSUE C CC ISSUE 2 D AS BUILT	Amendment 11.03.21 JC 04.06.21 JC 10.06.21 JC 26.08.24 JP	Date 11.03.21 04.06.21 10.06.21 26.08.24	By JC JC JC JP	Job No: HM1478 CC100 'D' Scale:1:200@A3 Date:JUNE 2021	Dwg No: CC100 'D'	Rev:
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WEST ELEVATION

SCALE 1:100@A3



NORTH ELEVATION

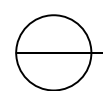
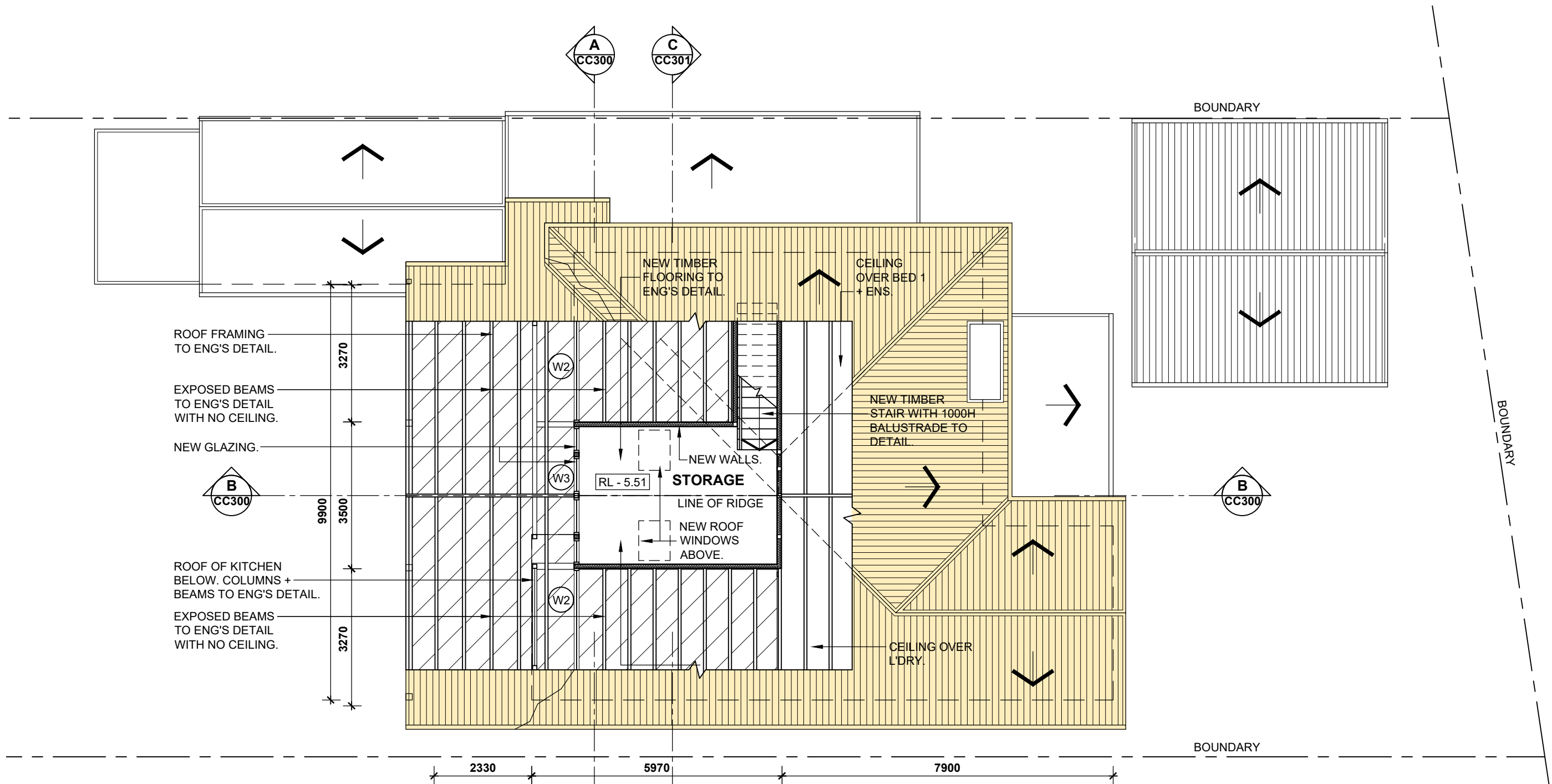
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EXTERNAL FINISHES - KEY

- (A) - NEW CORRUGATED IRON ROOFING + PITCH TO MATCH EXISTING. COLOUR - COLOURBOND MID GREY
- (B) - NEW FASCIA + GUTTER TO MATCH EXISTING. PAINTED
- (C) - NEW COLORBOND FACIA, GUTTER + DOWNPIPES
- (D) - NEW TIMBER WEATHERBOARDS TO MATCH EXISTING. PAINTED
- (E) - NEW TIMBER POSTS. PAINTED
- (F) - NEW TIMBER FRAMED WINDOWS + DOORS. PAINTED

AS BUILT

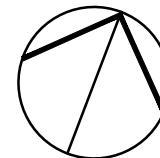
ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project: ALTERATIONS + ADDITIONS 95 WIMBLEDON AVE NARRABEEN NSW Client: BROOK WORTHINGTON	Drawing Title: WEST + NORTH ELEVATIONS	Consultant: HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	Issue A PRELIMINARY CC ISSUE B CC ISSUE C CC ISSUE 2 D AS BUILT	Amendment 11.03.21 JC 04.06.21 JC 10.06.21 JC 26.08.24 JP	Date 11.03.21 04.06.21 10.06.21 26.08.24	By JC JC JC JP	Job No: HM1478 CC201 'D' Scale:1:100@A3 Date:JUNE 2021	Dwg No: CC201 'D'	Rev: 'D'
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STORAGE FLOOR PLAN

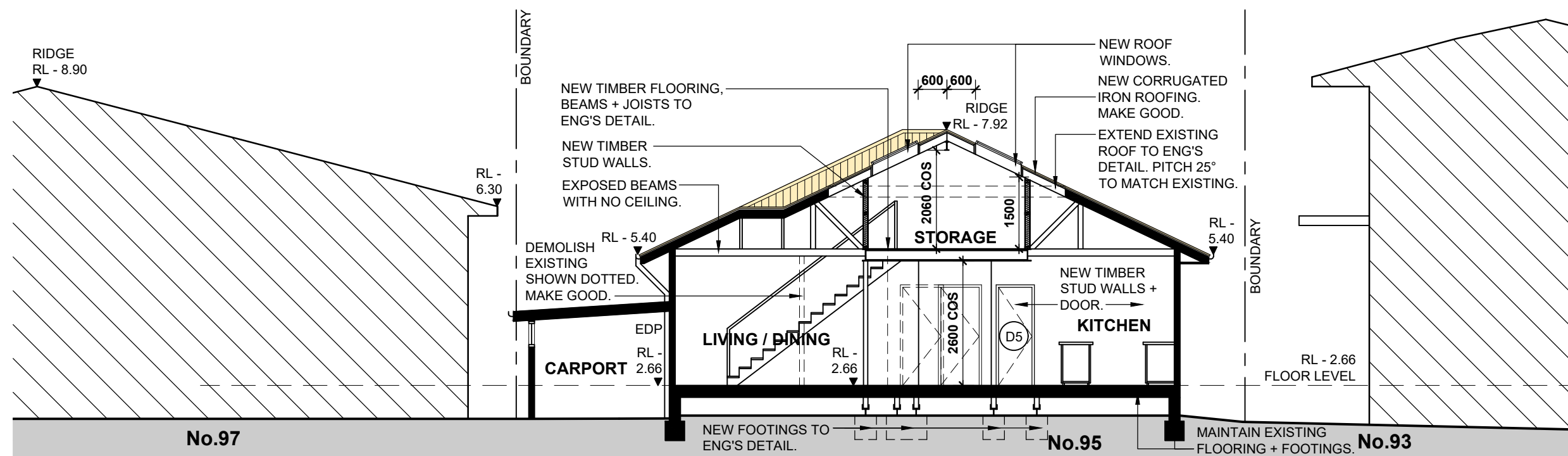
SCALE 1:100@A3

AS BUILT



ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project: ALTERATIONS + ADDITIONS 95 WIMBLEDON AVE NARRABEEN NSW	Drawing Title: STORAGE FLOOR PLAN	Consultant: HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	Issue A PRELIMINARY CC ISSUE B CC ISSUE C AS BUILT	Amendment PRELIMINARY CC ISSUE CC ISSUE AS BUILT	Date 11.03.21 04.06.21 26.08.24	By JC JC JP	Job No: HM1478 CC102 'C'	Dwg No: CC102 'C'	Rev:
	Client: BROOK WORTHINGTON									

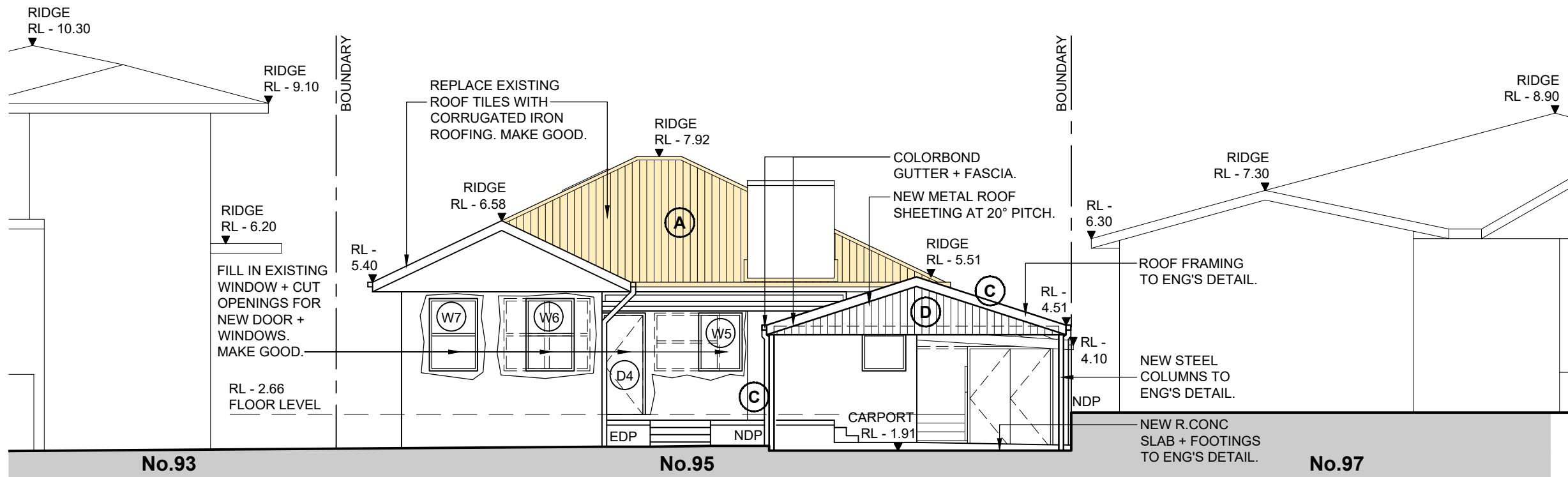
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SECTION C-C
SCALE 1:100@A3

AS BUILT

ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project:	Drawing Title:	Consultant:	Issue	Amendment	Date	By	Job No:	Dwg No:	Rev:
	ALTERATIONS + ADDITIONS	SECTION C-C	HOSKING MUNRO	A	PRELIMINARY CC ISSUE	11.03.21	JC	HM1478 CC301 'D'		
	95 WIMBLEDON AVE NARRABEEN NSW		HOSKING MUNRO PTY. LTD.	B	CC ISSUE	04.06.21	JC			
	Client:		ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS	C	CC ISSUE 2	10.06.21	JC			
BROOK WORTHINGTON		3.09 / 55 MILLER STREET, PYRMONT 2009	D	AS BUILT	26.08.24	JP				
			ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au					Scale:1:100@A3	Date:JUNE 2021	



EAST ELEVATION

SCALE 1:100@A3

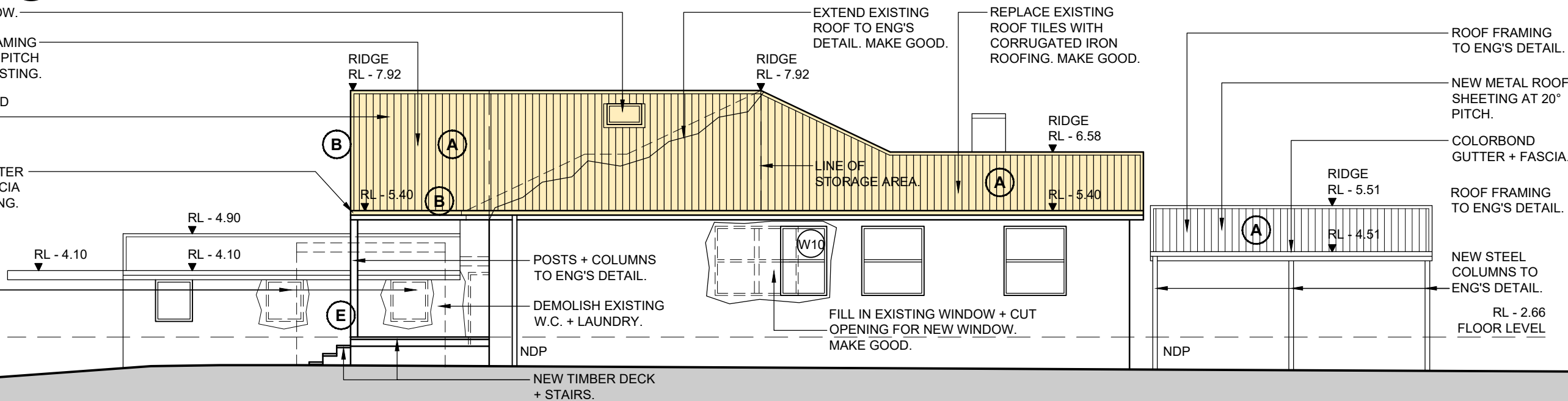
NEW ROOF WINDOW.

TIMBER ROOF FRAMING TO ENG'S DETAIL. PITCH 25° TO MATCH EXISTING.

NEW CORRUGATED IRON ROOFING. MAKE GOOD.

COLORBOND GUTTER WITH TIMBER FASCIA TO MATCH EXISTING.

FILL IN EXISTING OPENINGS. MAKE GOOD.



SOUTH ELEVATION

SCALE 1:100@A3

WIMBLEDON AVENUE

EXTERNAL FINISHES - KEY

- (A) - NEW CORRUGATED IRON ROOFING + PITCH TO MATCH EXISTING. COLOUR - COLOURBOND MID GREY
- (B) - NEW FASCIA + GUTTER TO MATCH EXISTING. PAINTED
- (C) - NEW COLORBOND FACIA, GUTTER + DOWNPIPES
- (D) - NEW TIMBER WEATHERBOARDS TO MATCH EXISTING. PAINTED
- (E) - NEW TIMBER POSTS. PAINTED
- (F) - NEW TIMBER FRAMED WINDOWS + DOORS. PAINTED

AS BUILT

ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project: ALTERATIONS + ADDITIONS 95 WIMBLEDON AVE NARRABEEN NSW Client: BROOK WORTHINGTON	Drawing Title: EAST + SOUTH ELEVATIONS	Consultant: HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	Issue A PRELIMINARY CC ISSUE B CC ISSUE C CC ISSUE 2 D AS BUILT	Amendment 11.03.21 04.06.21 10.06.21 26.08.24	Date 11.03.21 04.06.21 10.06.21 26.08.24	By JC JC JC JP	Job No: HM1478 CC200 'D' Scale: 1:100@A3 Date: JUNE 2021	Dwg No: CC200 'D'	Rev:
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TIMBER RESIDENCE WITH METAL ROOF
D.P. - 381884

BASIX NOTES
CERTIFICATE No. A403773
DATED 15TH JANUARY 2021

HOT WATER:

- GAS INSTANTANEOUS.

LIGHTING:

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES:

- NEW OR ALTERED SHOWERHEADS - 9L / MIN OR 3 STAR WATER RATING.
- NEW OR ALTERED TOILETS - 4L / AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.
- NEW OR ALTERED TAPS - 9L / MIN OR A MINIMUM 3 STAR WATER RATING.

INSULATION:

SUSPENDED FLOOR WITH OPEN SUBFLOOR

- FRAMED - R0.80 (DOWN) (OR R1.50 INCLUDING CONSTRUCTION)

EXTERNAL WALLS

- FRAMED WEATHERBOARD - R1.30 (OR R1.70 INCLUDING CONSTRUCTION)

RAKED CEILING WITH PITCHED ROOF

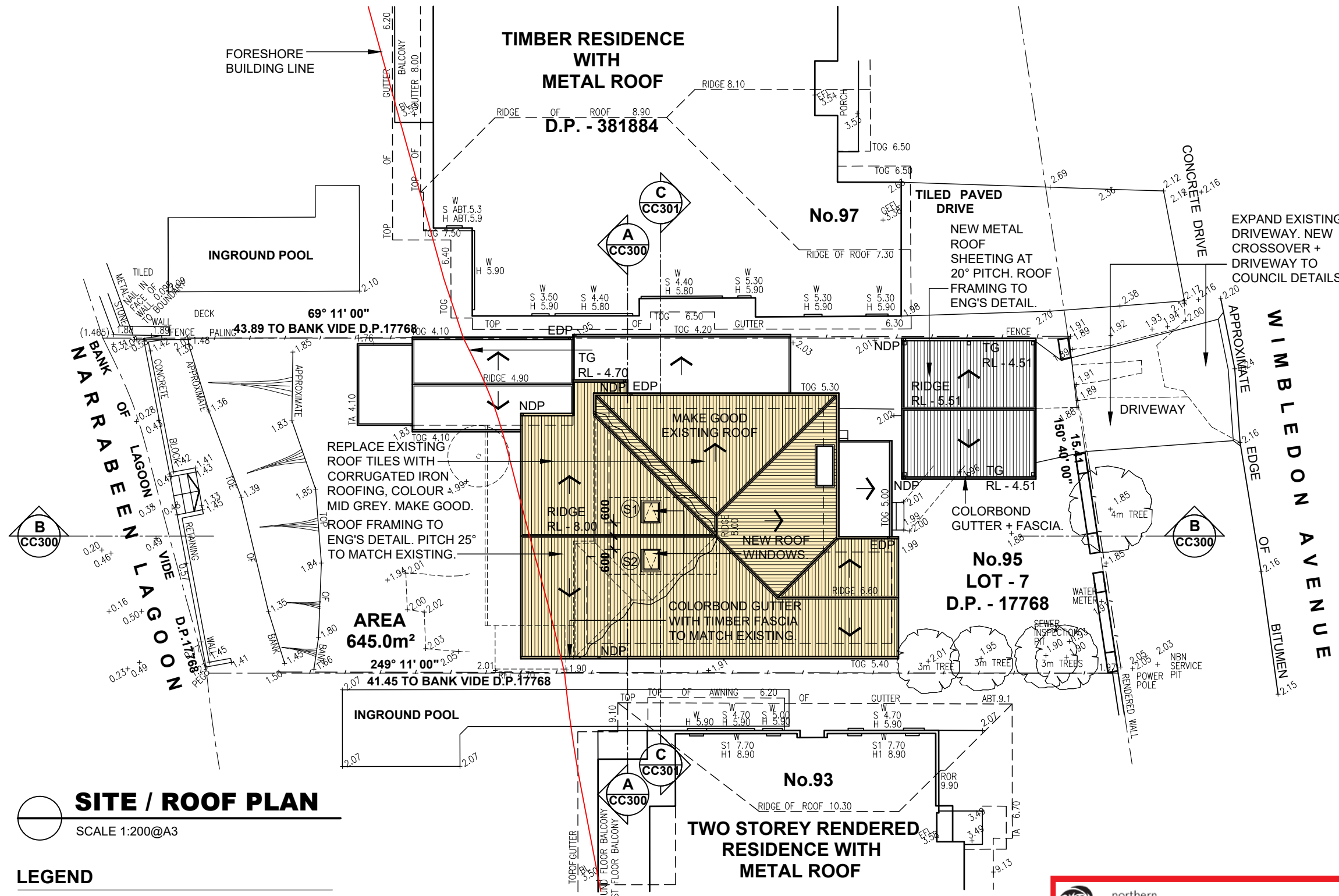
- CEILING - R1.74 (UP)
- ROOF - FOIL BACKED BLANKET (75mm)
- MEDIUM - SOLAR ABSORPTANCE 0.475-0.70

WINDOWS + GLAZED DOORS:

- ALL WINDOWS AND GLAZED DOORS TO BE TIMBER OR uPVC FRAMED, SINGLE CLEAR AND HAVE A U-VALUE AND SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN U-VALUE: 5.71, SHGC: 0.66.

SKYLIGHTS:

- ALL SKYLIGHTS TO BE TIMBER DOUBLE CLEAR/AIR FILL. U-VALUE: 4.3, SHGC: 0.5



SITE / ROOF PLAN

SCALE 1:200@A3

LEGEND

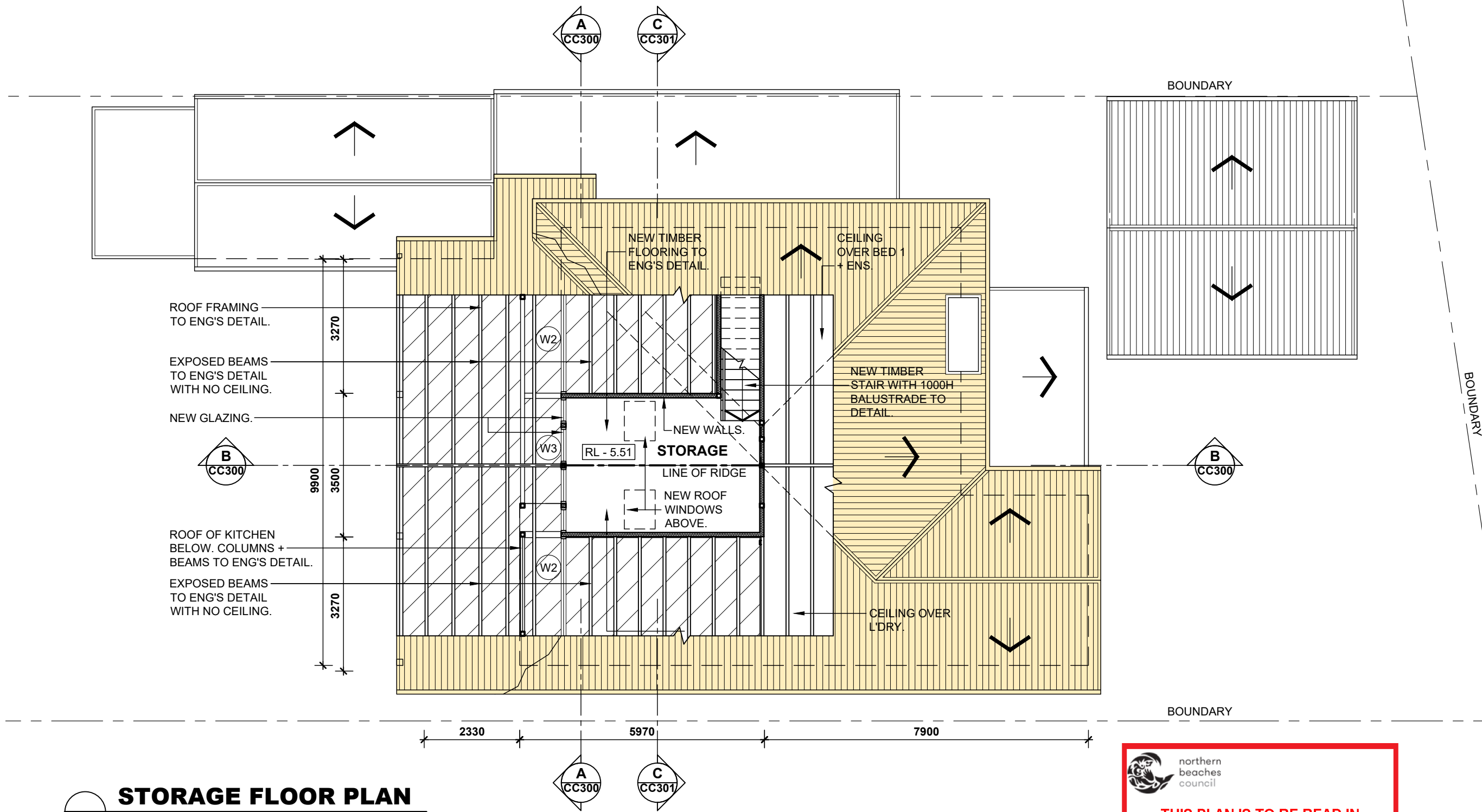
- EXISTING WALLS TO BE RETAINED.
- EXISTING WALLS TO BE DEMOLISHED.
- NEW TIMBER STUD WALLS.
- BEAMS OVER TO ENG'S DETAIL.
- RL - 21.65 - PROPOSED LEVELS.
- 19.79 - EXISTING LEVELS.
- EDP - EXISTING DOWNPIPE.

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0382

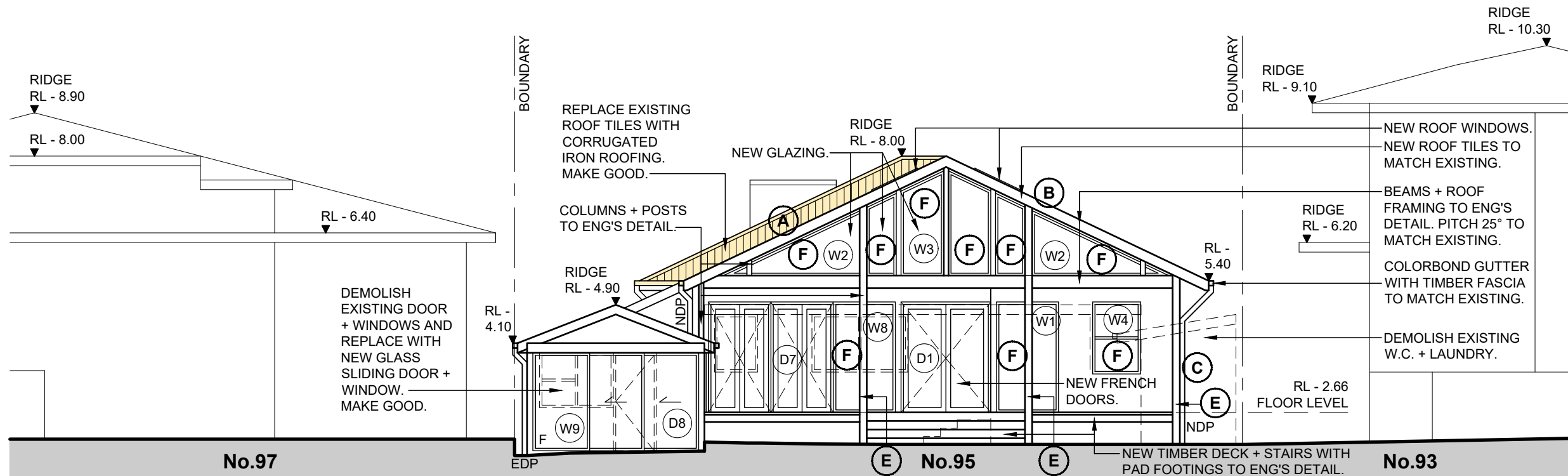
Project:	Drawing Title:	Consultant:	Issue	Amendment	Date	By	Job No:	Dwg No:	Rev:
ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	ALTERATIONS + ADDITIONS 95 WIMBLETON AVE NARRABEEN NSW Client: BROOK WORTHINGTON	SITE / ROOF PLAN	HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	A B C	PRELIMINARY CC ISSUE CC ISSUE CC ISSUE 2	11.03.21 04.06.21 10.06.21	JC JC JC	HM1478 CC100 'C'	
Scale:1:200@A3 Date:JUNE 2021									



STORAGE FLOOR PLAN
SCALE 1:100@A3

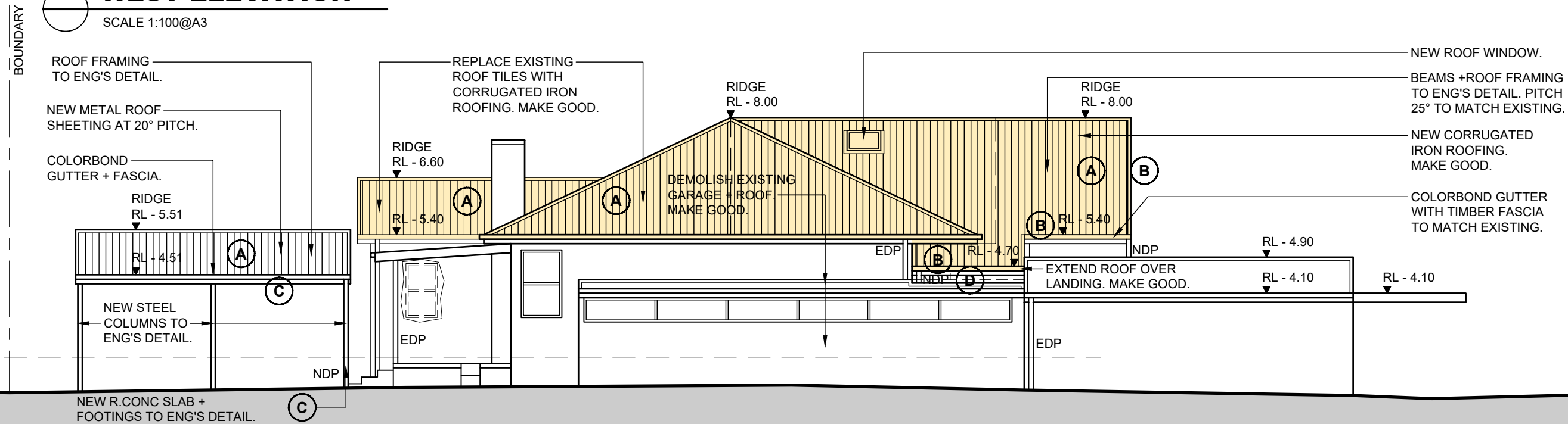

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2021/0382

ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project: ALTERATIONS + ADDITIONS 95 WIMBLEDON AVE NARRABEEN NSW Client: BROOK WORTHINGTON	Drawing Title: STORAGE FLOOR PLAN	Consultant: HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	Issue A B	Amendment PRELIMINARY CC ISSUE CC ISSUE	Date 11.03.21 04.06.21	By JC JC	Job No: HM1478	Dwg No: CC102	Rev: 'B'
	Scale:1:100@A3 Date:JUNE 2021									



WEST ELEVATION

SCALE 1:100@A3



NORTH ELEVATION

SCALE 1:100@A3



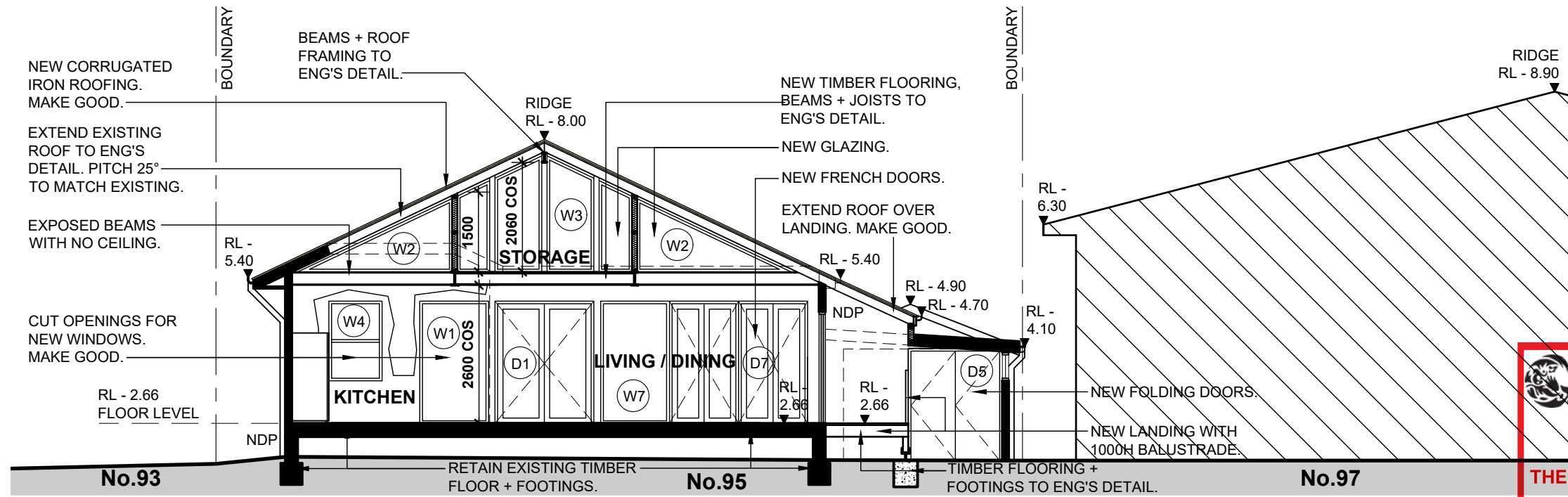
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0382

EXTERNAL FINISHES - KEY

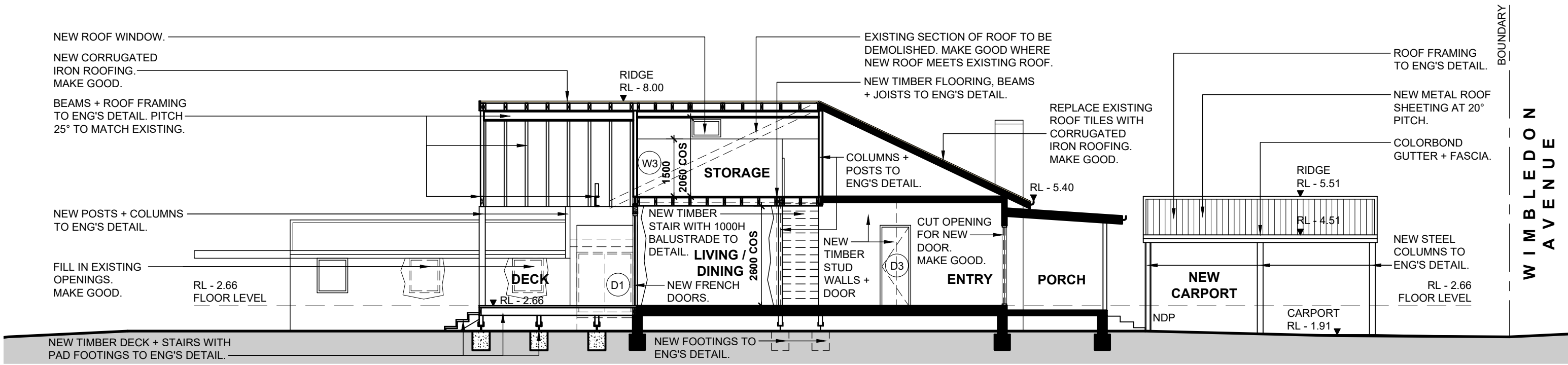
- (A)** - NEW CORRUGATED IRON ROOFING + PITCH TO MATCH EXISTING. COLOUR - COLOURBOND MID GREY
- (B)** - NEW FASCIA + GUTTER TO MATCH EXISTING. PAINTED
- (C)** - NEW COLORBOND FACIA, GUTTER + DOWNPIPES
- (D)** - NEW TIMBER WEATHERBOARDS TO MATCH EXISTING. PAINTED
- (E)** - NEW TIMBER POSTS. PAINTED
- (F)** - NEW TIMBER FRAMED WINDOWS + DOORS. PAINTED

ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project:	Drawing Title:	Consultant:	Issue	Amendment	Date	By	Job No:	Dwg No:	Rev:
	ALTERATIONS + ADDITIONS	WEST + NORTH ELEVATIONS	HOSKING MUNRO	A	PRELIMINARY CC ISSUE	11.03.21	JC	HM1478	CC201	'C'
	95 WIMBLEDON AVE NARRABEEN NSW		HOSKING MUNRO PTY. LTD.	B	CC ISSUE	04.06.21	JC			
	Client: BROOK WORTHINGTON		ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	C	CC ISSUE 2	10.06.21	JC			
Scale: 1:100@A3 Date: JUNE 2021										



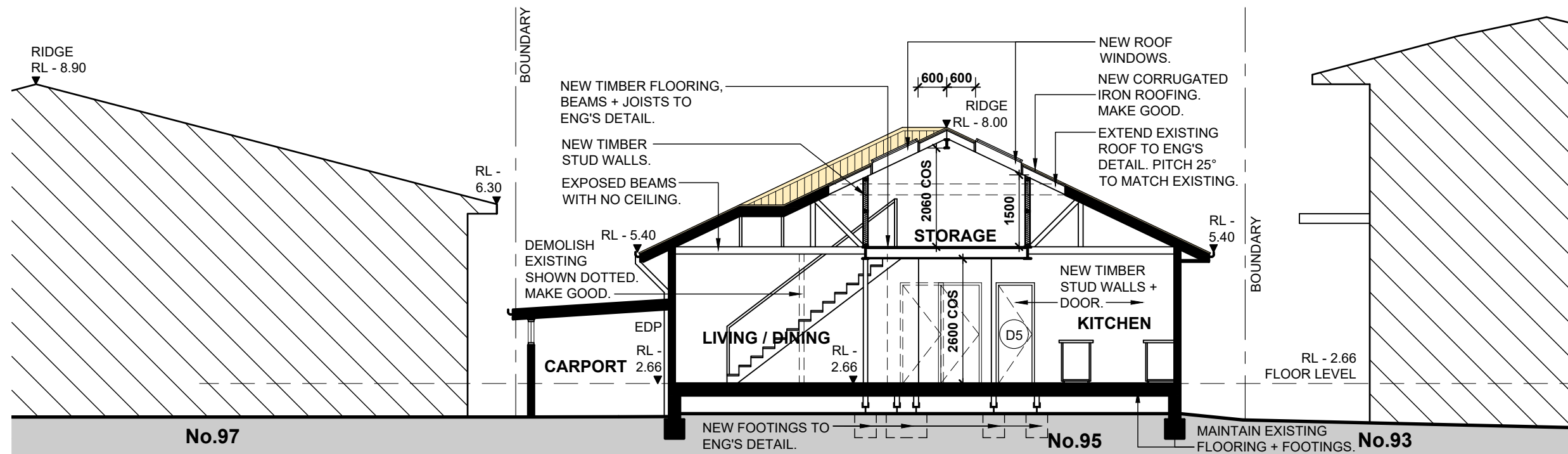
SECTION A-A
SCALE 1:100@A3


 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2021/0382



SECTION B-B
SCALE 1:100@A3

ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project:	Drawing Title:	Consultant:	Issue	Amendment	Date	By	Job No:	Dwg No:	Rev:
	ALTERATIONS + ADDITIONS	SECTIONS A-A + B-B	HOSKING MUNRO	A	PRELIMINARY CC ISSUE	11.03.21	JC			
	95 WIMBLEDON AVE NARRABEEN NSW		HOSKING MUNRO PTY. LTD.	B	CC ISSUE	04.06.21	JC	HM1478	CC300	'C'
	Client: BROOK WORTHINGTON		ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	C	CC ISSUE 2	10.06.21	JC			
										Scale:1:100@A3 Date:JUNE 2021



SECTION C-C
SCALE 1:100@A3



 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2021/0382

ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project:	Drawing Title:	Consultant:	Issue	Amendment	Date	By	Job No:	Dwg No:	Rev:
	ALTERATIONS + ADDITIONS 95 WIMBLEDON AVE NARRABEEN NSW	SECTION C-C	HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	A B C	PRELIMINARY CC ISSUE CC ISSUE CC ISSUE 2	11.03.21 04.06.21 10.06.21	JC JC JC	HM1478 CC301 'C'		
	Client: BROOK WORTHINGTON								Scale:1:100@A3	Date:JUNE 2021