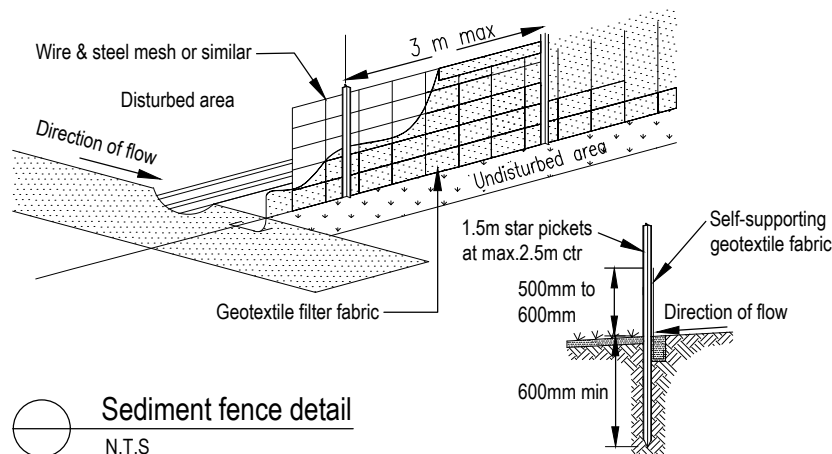
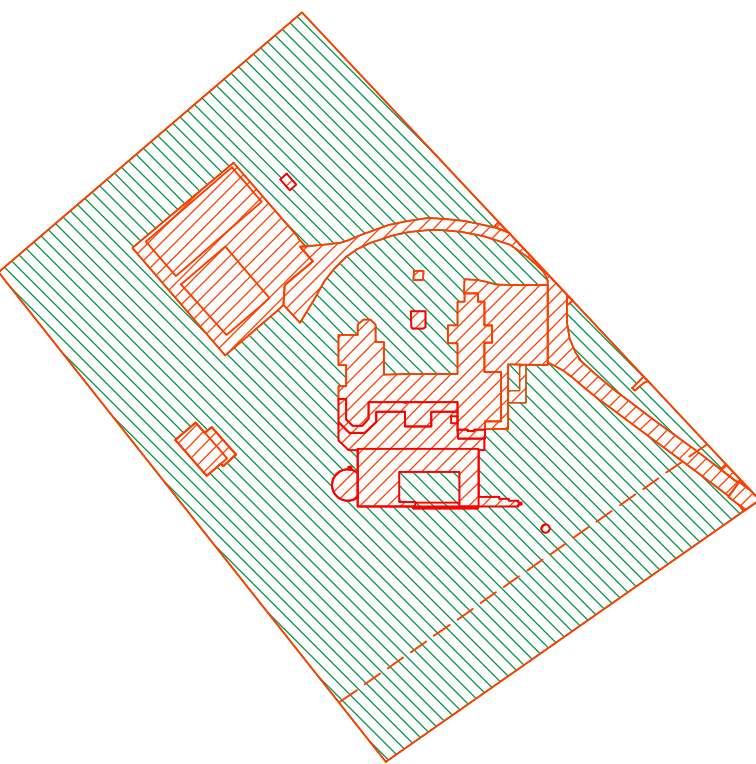




- Sediment & erosion control notes**
- During earthworks the following procedures shall be followed:
1. Install silt barriers where shown on plan prior to commencement of works.
 2. Silt barriers to be maintained regularly & after heavy rain by removal of built up silt & spreading silt on existing site when 50% capacity.
 3. Repair any damages to fence immediately.
 4. Clean up spillages outside silt fence immediately.
 5. Sediment control measures to be left in place until works completed.
 6. Topsoil from the work's area will be stockpiled for later use in landscaping if necessary.
 7. Approved bins for building waste, concrete and mortar slurries, paints and acid washings will be provided by contractor.

- DA mapping Legend**
- Wildlife Corridor
 - Native Vegetation
 - Waterways and Riparian Lands



Landscape Area Calculations

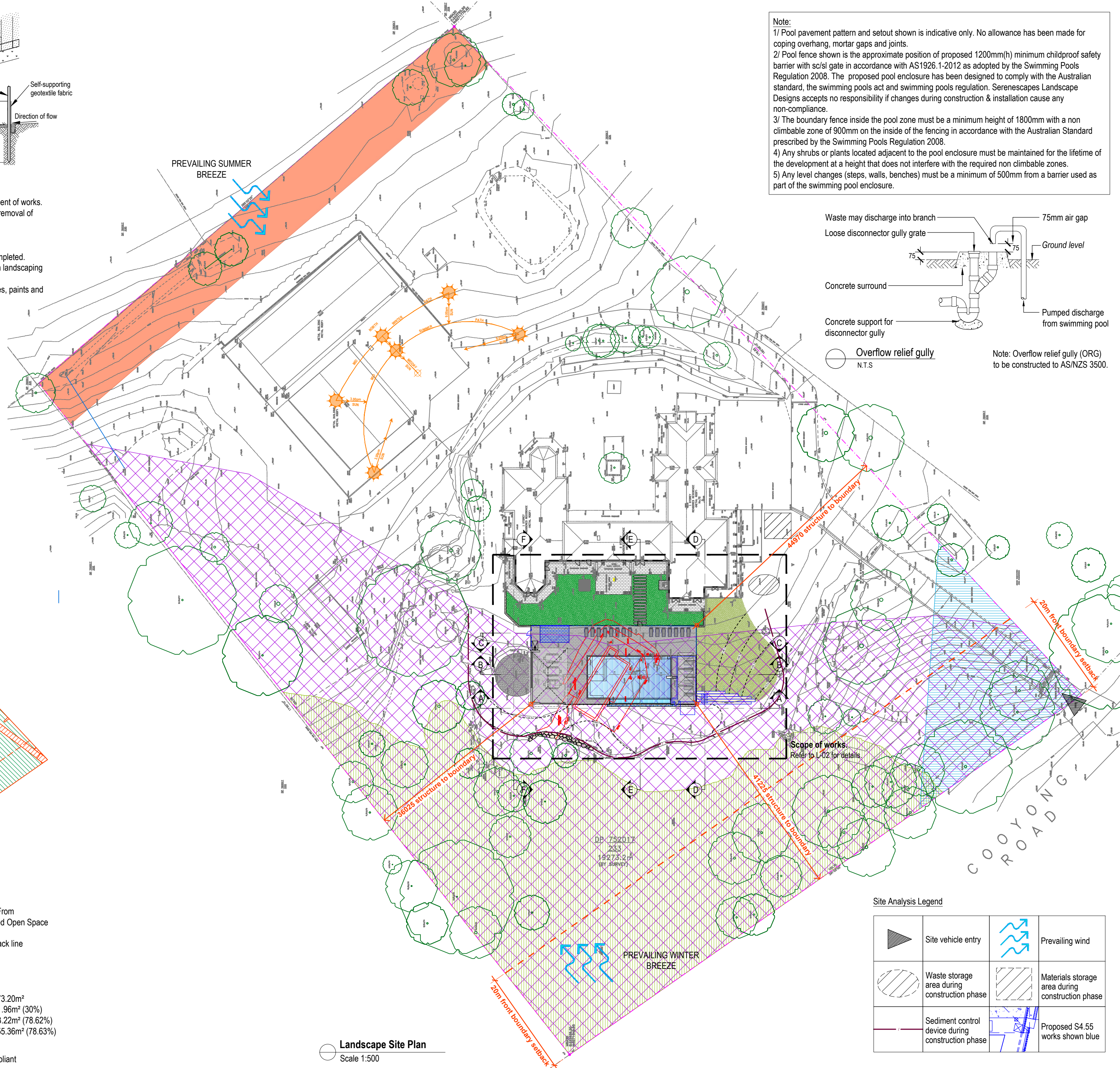
Landscape Area Calculations Legend

- Landscaped Open Space
- Excluded From Landscaped Open Space
- Rear Setback Area
- Front setback line

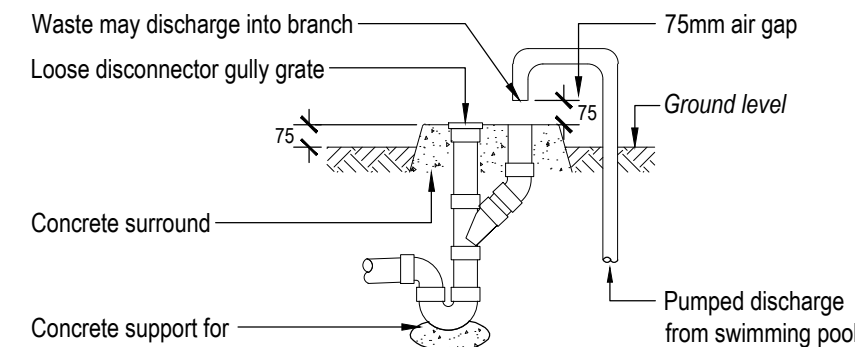
Landscaped Open Space Calculations

Site Area: 19,273.20m²
Required Landscaped Open Space: 5,781.96m² (30%)
Approved Landscaped Open Space: 5,153.22m² (78.62%)
Proposed Landscaped Open Space: 15,155.36m² (78.63%)

Rear Setback Area - (10m from rear boundary):
No above or below ground structures within this area. Compliant



- Note:**
- 1/ Pool pavement pattern and setout shown is indicative only. No allowance has been made for coping overhang, mortar gaps and joints.
 - 2/ Pool fence shown is the approximate position of proposed 1200mm(h) minimum childproof safety barrier with sc/sl gate in accordance with AS1926.1-2012 as adopted by the Swimming Pools Regulation 2008. The proposed pool enclosure has been designed to comply with the Australian standard, the swimming pools act and swimming pools regulation. Serenescapes Landscape Designs accepts no responsibility if changes during construction & installation cause any non-compliance.
 - 3/ The boundary fence inside the pool zone must be a minimum height of 1800mm with a non climbable zone of 900mm on the inside of the fencing in accordance with the Australian Standard prescribed by the Swimming Pools Regulation 2008.
 - 4) Any shrubs or plants located adjacent to the pool enclosure must be maintained for the lifetime of the development at a height that does not interfere with the required non climbable zones.
 - 5) Any level changes (steps, walls, benches) must be a minimum of 500mm from a barrier used as part of the swimming pool enclosure.



Overflow relief gully
N.T.S.

Note: Overflow relief gully (ORG) to be constructed to AS/NZS 3500.

Legend

- Boundary
- Sewer
- Existing contours
- Proposed contours
- Existing concrete
- Existing bitumen
- Existing turf
- Existing site elements to be demolished
- Proposed artificial turf
- Proposed concrete
- Proposed tiles
- Stepping stones in artificial turf
- Masonry retaining wall
- Sandstone edge / retaining wall
- Existing tree to be retained.

Site Analysis Legend

	Site vehicle entry		Prevailing wind
	Waste storage area during construction phase		Materials storage area during construction phase
	Sediment control device during construction phase		Proposed S4.55 works shown blue



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Client: **Bill & Juliet Miller**

Site Address: **72 Cooyong Road, Terrey Hills**

Drawing Title: **Site Plan / Site Analysis / Sedimentation Control Plan**

Drawn by: **B.Danks**
TLA Member

Project Number: **231065**

Scale: **As shown @ A2**

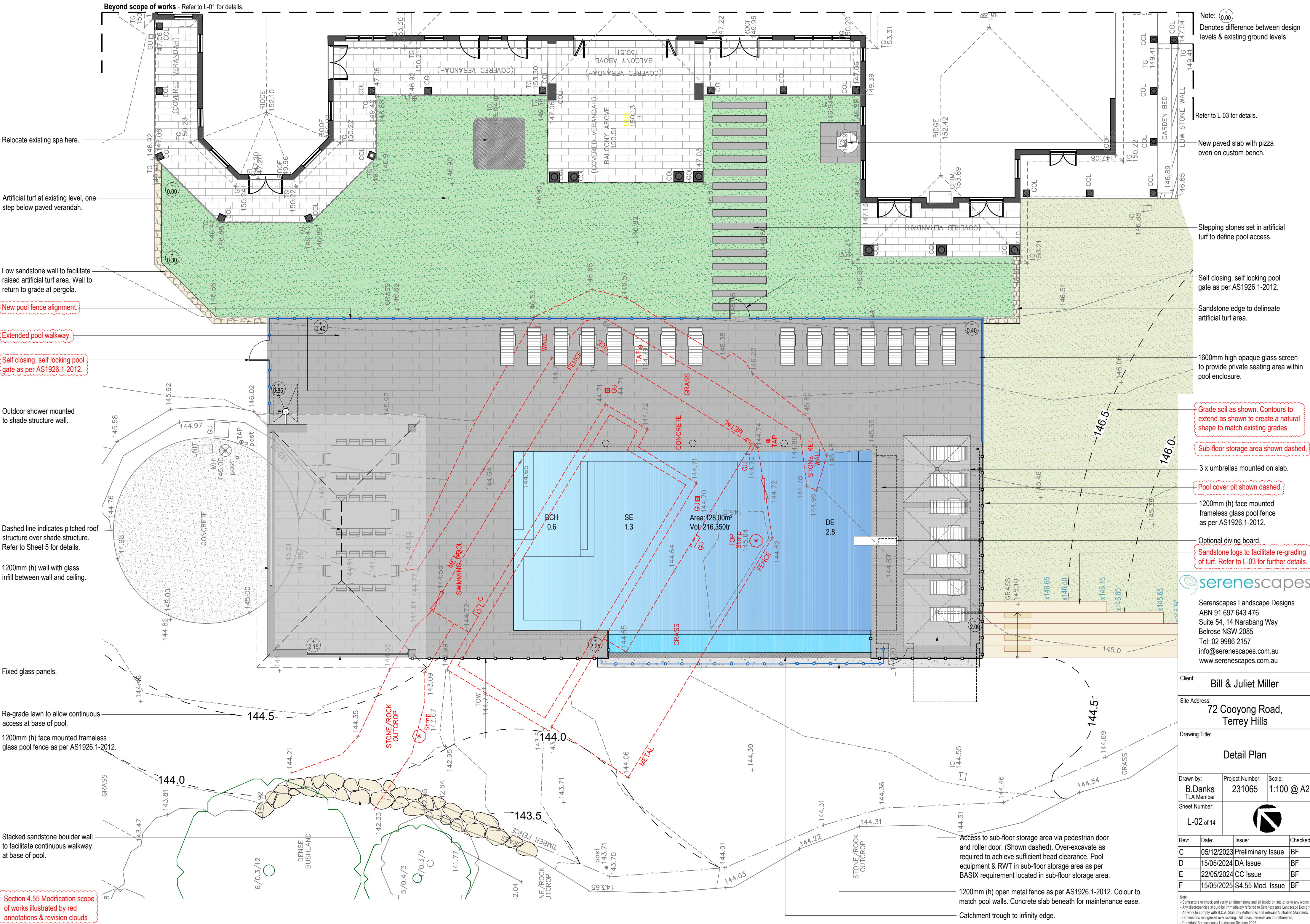
Sheet Number: **L-01 of 14**



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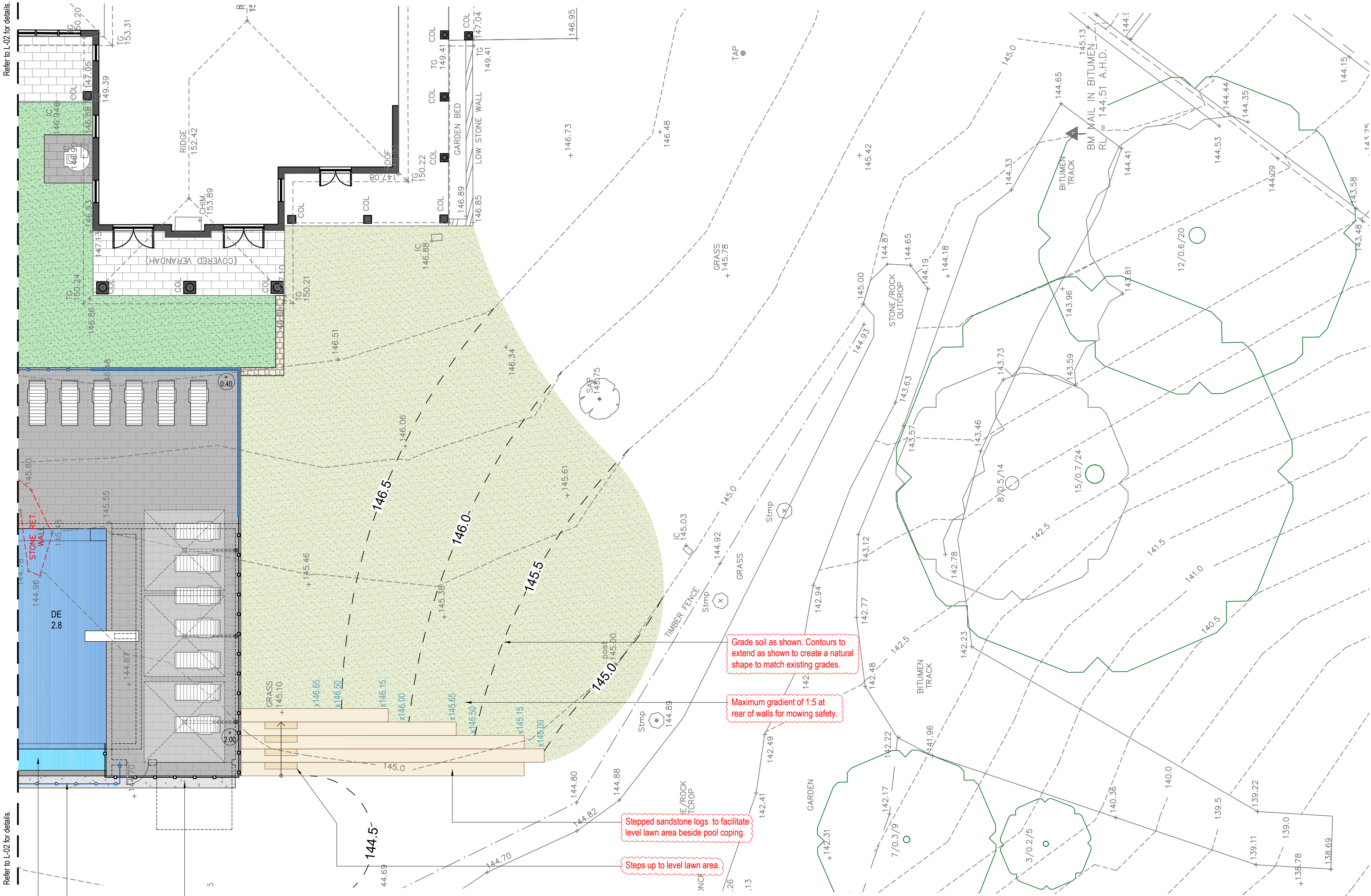
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Landscape Site Plan
Scale 1:500



Refer to L-02 for details.

Refer to L-02 for details.



Access to sub-floor storage area via pedestrian door and roller door. (Shown dashed).

1200mm (h) open metal fence as per AS1926.1-2012. Colour to match pool walls. Concrete slab beneath for maintenance ease.

Catchment trough to infinity edge.

Stepped sandstone logs to facilitate level lawn area beside pool coping.

Steps up to level lawn area.

Grade soil as shown. Contours to extend as shown to create a natural shape to match existing grades.

Maximum gradient of 1:5 at rear of walls for mowing safety.

Note: $\oplus 0.00$
Denotes difference between design levels & existing ground levels

Section 4.55 Modification scope of works illustrated by red annotations & revision clouds

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Client: Bill & Juliet Miller

Site Address: 72 Cooyong Road, Terrey Hills

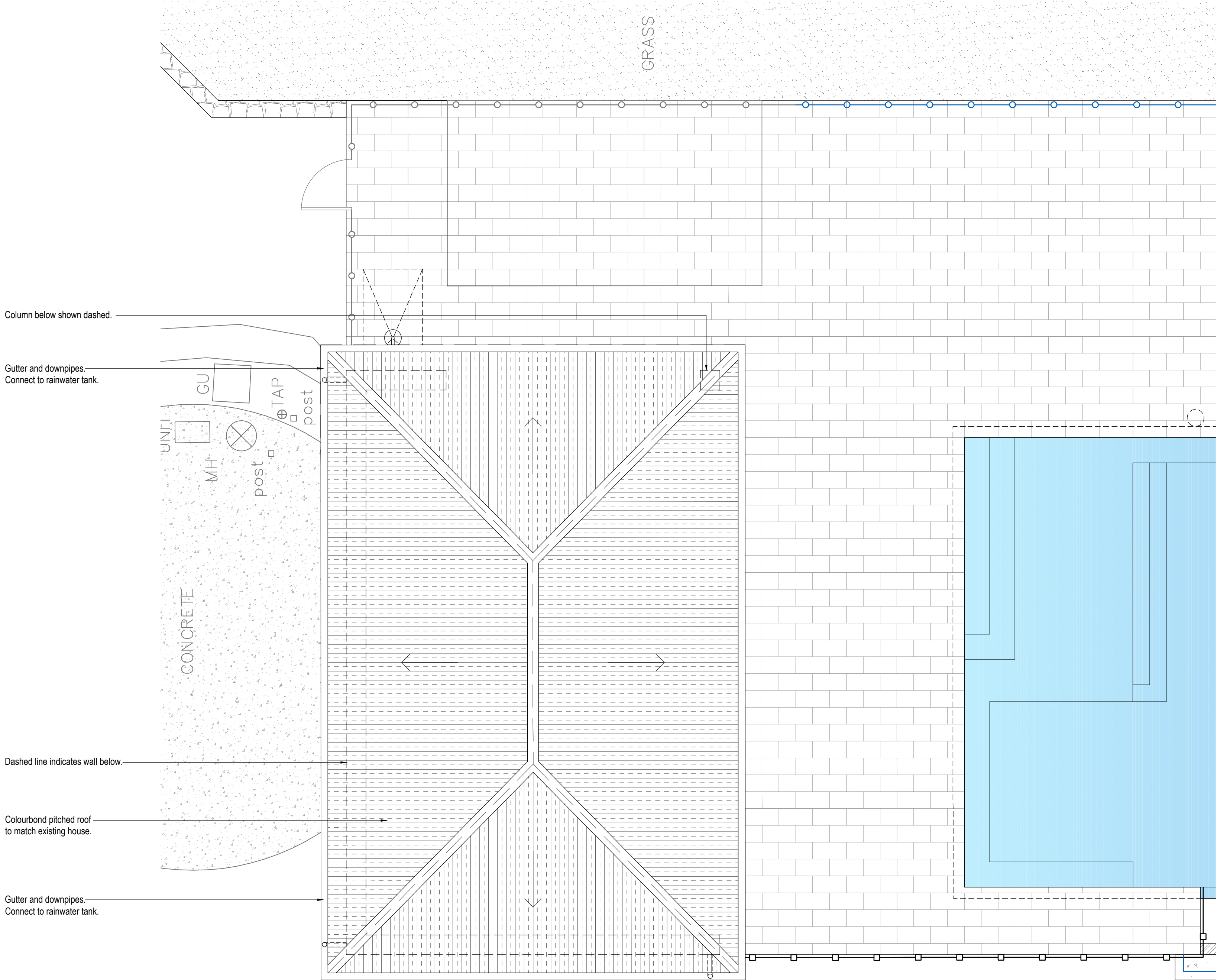
Drawing Title: Detail Plan - Stone Walls

Drawn by: B.Danks
TLA Member
Project Number: 231065
Scale: 1:100 @ A2

Sheet Number: L-03 of 14

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Column below shown dashed.

Gutter and downpipes.
Connect to rainwater tank.

Dashed line indicates wall below.

Colourbond pitched roof
to match existing house.

Gutter and downpipes.
Connect to rainwater tank.

Roof plan
Scale 1:50

Section 4.55 Modification scope
of works illustrated by red
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Client: Bill & Juliet Miller

Site Address: 72 Cooyong Road,
Terrey Hills

Drawing Title: Roof plan | Planting Plan |
Landscape Specification &
Details

Drawn by: B.Danks
TLA Member
Project Number: 231065
Scale: 1:50 @ A2

Sheet Number:
L-05 of 14



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Fixed glass panel.

Rendered wall to match existing house. To Engineers detail.

Existing stone retaining wall —
and water tank to be retained.

Sandstone logs under shade structure.

Existing ground line shown ———
dashed with fill over to facilitate
lawn access way at base of pool.

Sectional Elevation AA
Scale 1:100

Detail Area 1 - refer to cut-out below

See above

Optional diving board.

Pool fence and gate behind as
as per AS1926.1-2012.

1200mm (h) face mounted, frameless —
glass pool fence as per AS1926.1-2012.

Spillover infinity wet edge to pool.-

Catchment trough to infinity edge.

1200mm (h) pool fence
as per AS1926.1-2012.

Pool shell beyond section shown dashed.

Door for pedestrian access to storage area beneath pool concourse.

Panel-lift door for vehicular access to storage area beneath pool concourse

Sandstone logs to _____
facilitate re-grading of turf.

Existing groundline shown dashed.

Sectional Elevation AA - Detail Area 1
Scale 1:50

Section 4.55 Modification scope of works illustrated by red annotations & revision clouds

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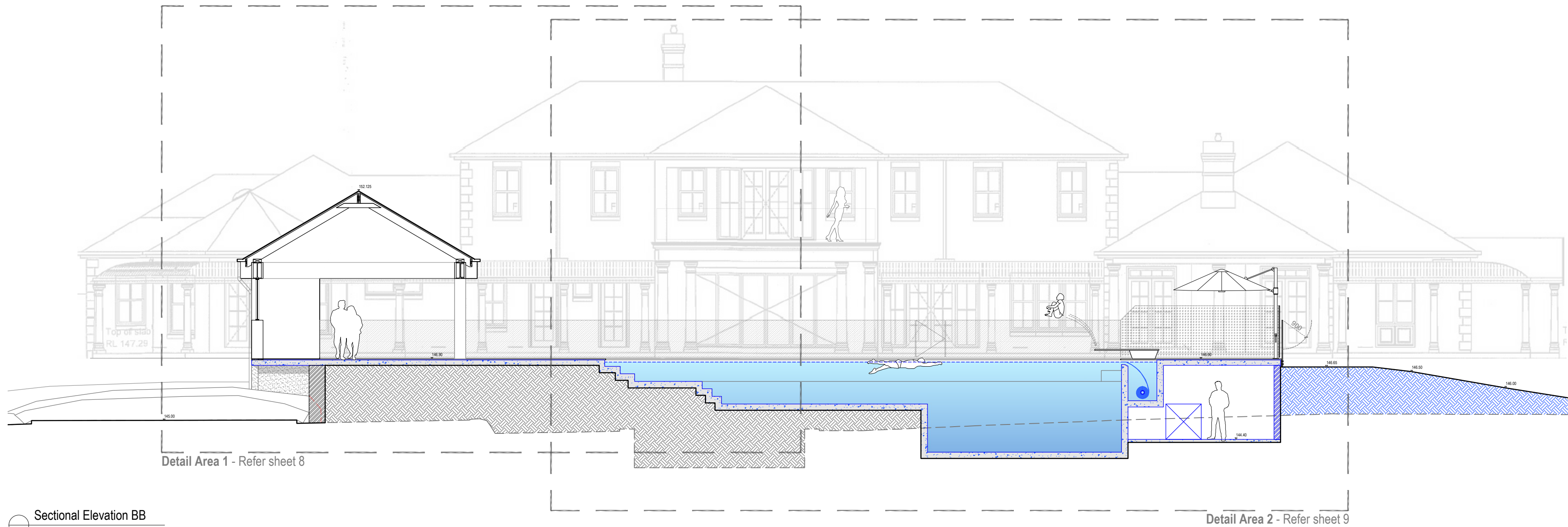
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Client:	Bill & Juliet Miller
Site Address:	72 Cooyong Road Terrey Hills

Drawing Title:		Sectional elevation	
Drawn by: Ben Danks TLA Member	Project Number: 231065	Scale: As shown @ A2	Sheet 1

Rev:	Date:	Issue:	Checked:
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Sectional Elevation BB
Scale 1:100

Section 4.55 Modification scope
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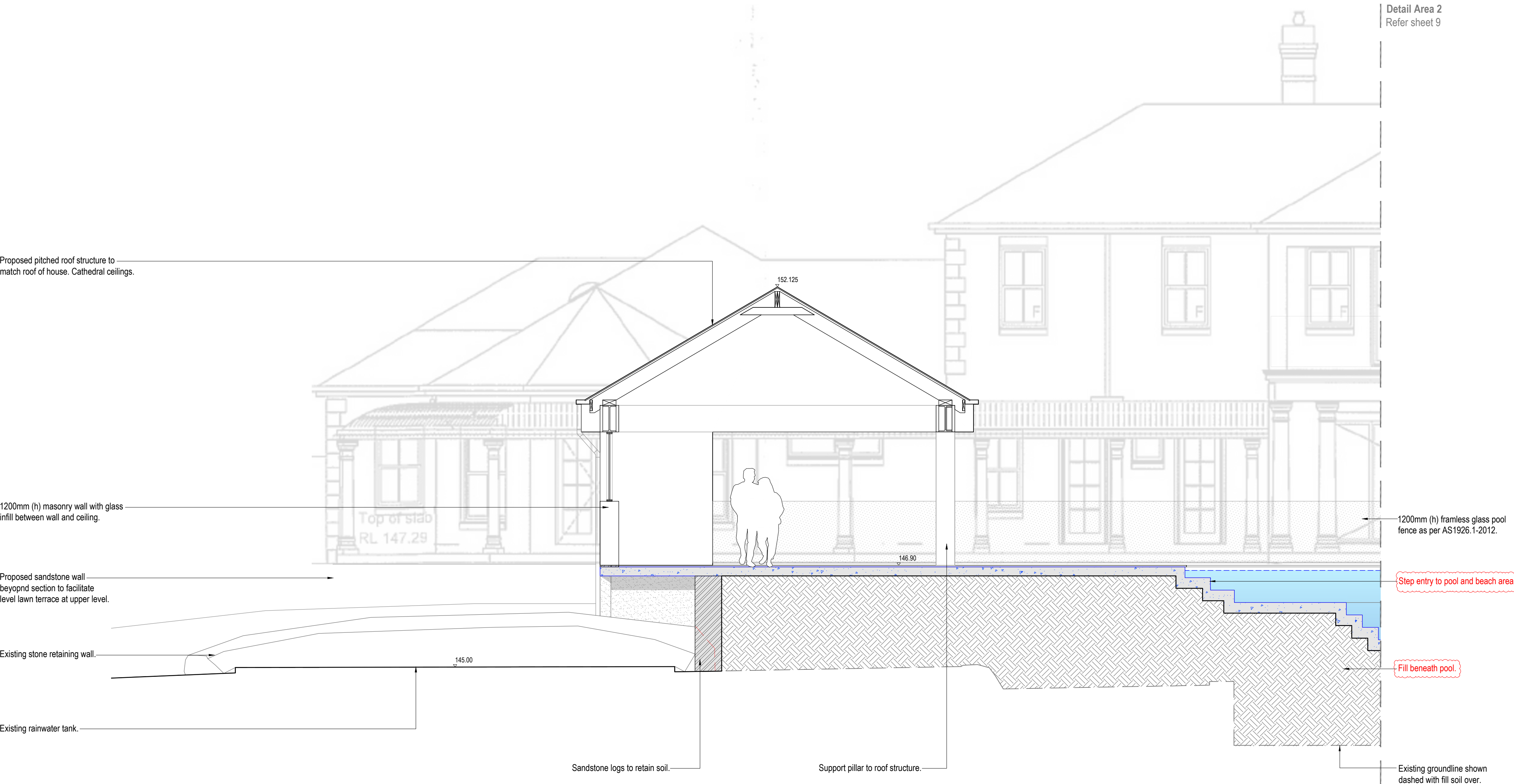
Client: Bill & Juliet Miller

Site Address: 72 Cooyong Road
Terrey Hills

Drawing Title: Sectional elevation

Drawn by: Ben Danks TLA Member	Project Number: 231065	Scale: 1:100 @ A2	Sheet Number: L-07 of 14
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Sectional Elevation BB - Detail Area 1 - Shade Structure
Scale 1:50

Section 4.55 Modification scope
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Detail Area 1
Refer sheet 8



Sectional Elevation BB - Detail Area 2 - Pool
Scale 1:50

Section 4.55 Modification scope
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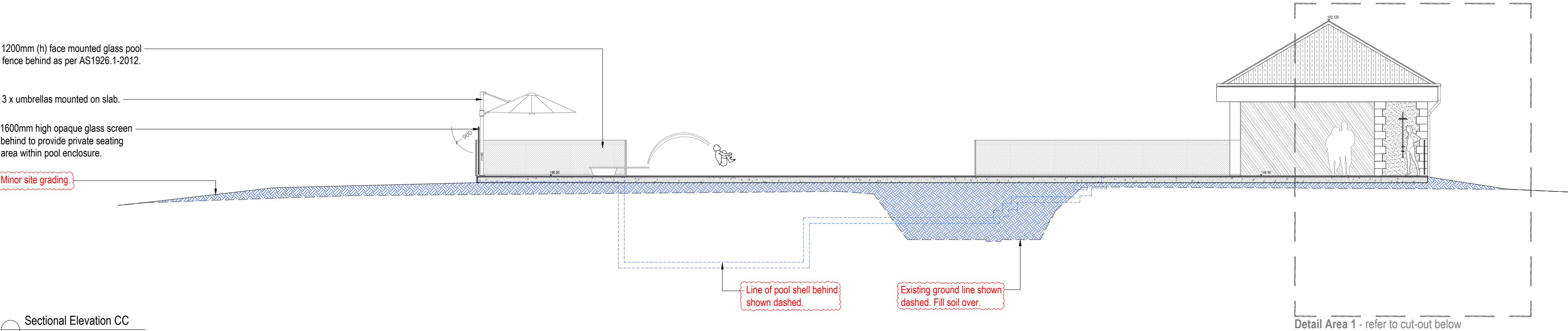
1200mm (h) face mounted glass pool fence behind as per AS1926.1-2012.

3 x umbrellas mounted on slab.

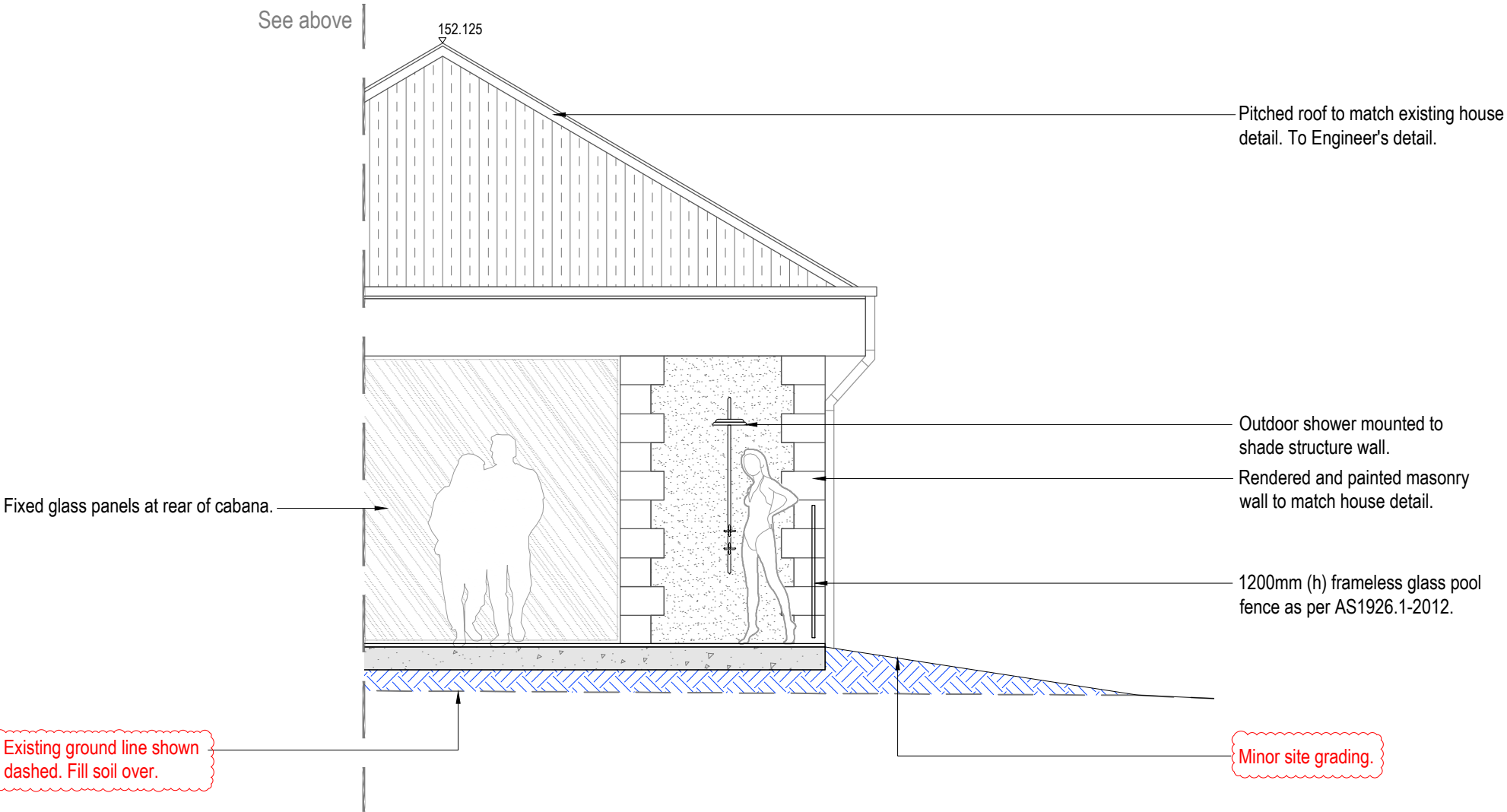
1600mm high opaque glass screen behind to provide private seating area within pool enclosure.

Minor site grading.

Sectional Elevation CC
Scale 1:100



Detail Area 1 - refer to cut-out below



Sectional Elevation CC - Detail Area 1
Scale 1:50

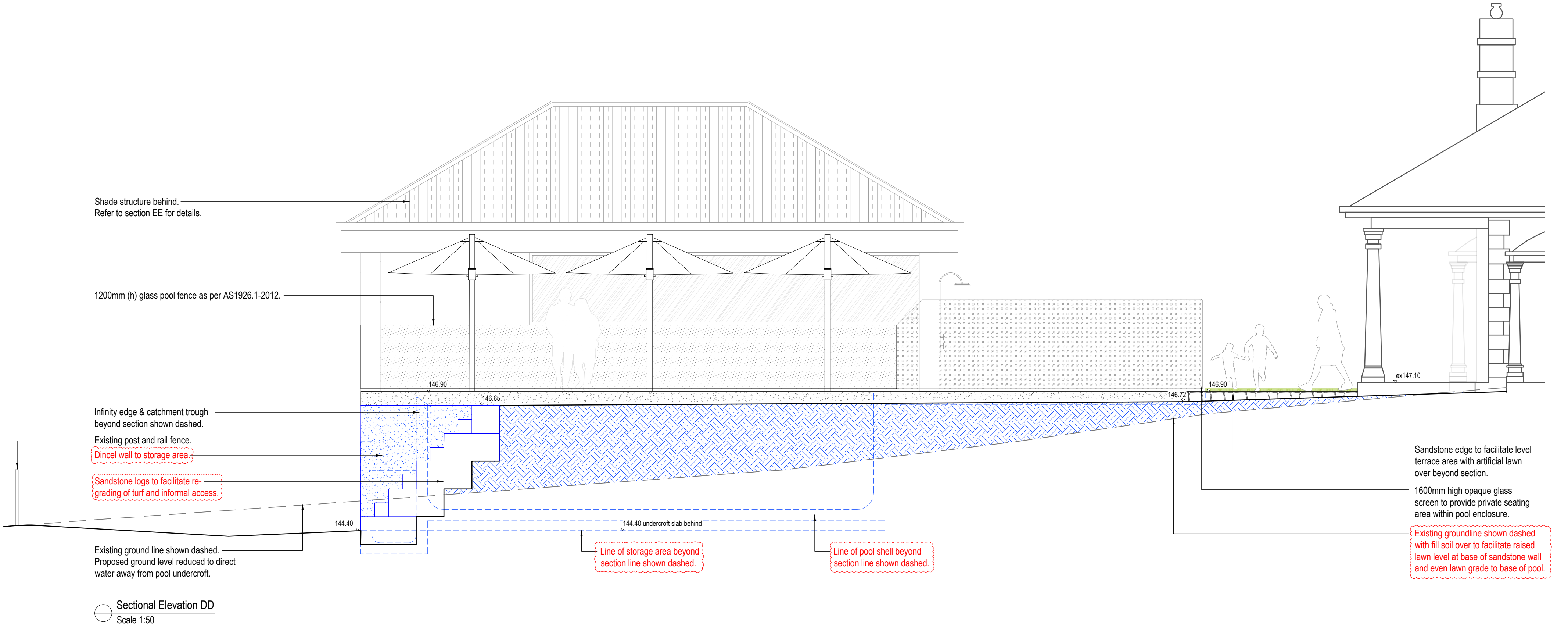
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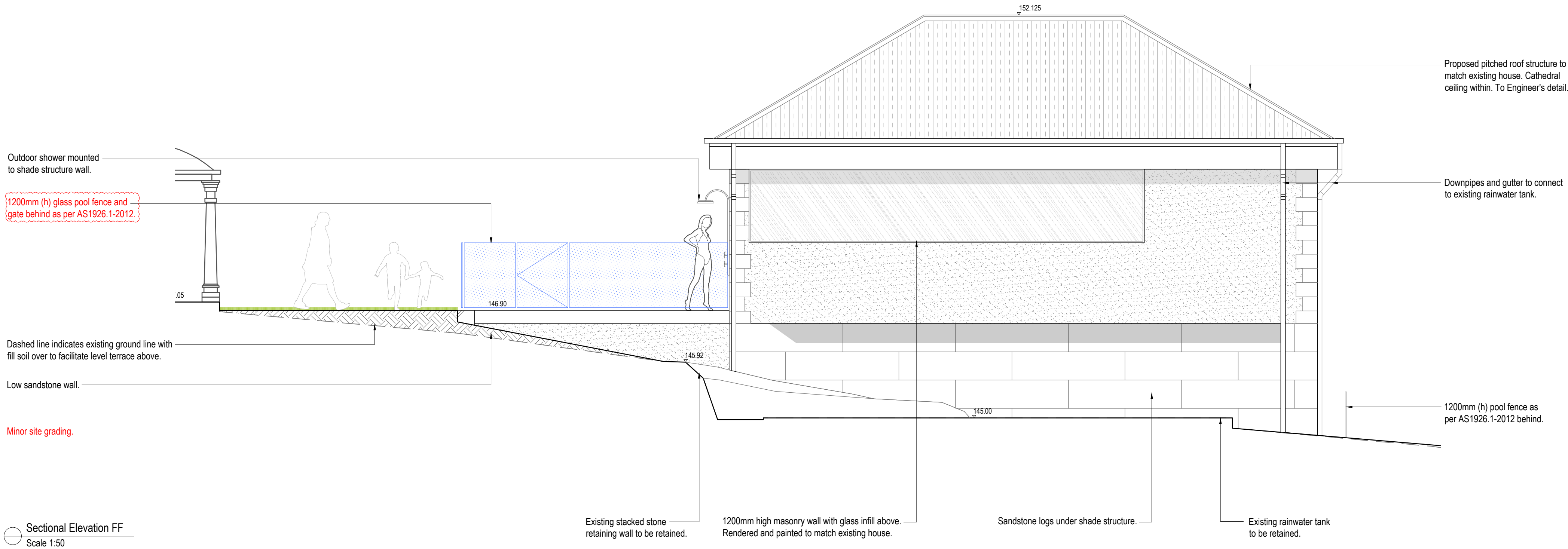
Client:		Bill & Juliet Miller		Drawing Title:		Sectional elevation		Rev:	Date:	Issue:	Checked:
Site Address:		72 Cooyong Road Terrey Hills		Drawn by: Ben Danks TLA Member	Project Number: 231065	Scale: As shown @ A2	Sheet Number: L-10 of 14	C	05/12/2023	Preliminary Issue	BF
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		Site Address:	72 Cooyong Road Terrey Hills	Drawn by:	Ben Danks TLA Member	Project Number:	231065	Scale:	1:50 @ A2	Sheet Number:	L-11 of 14	C	05/12/2023	Preliminary Issue	BF			
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Sectional Elevation FF
Scale 1:50

Section 4.55 Modification scope
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Bill & Juliet Miller
Site Address:
**72 Cooyong Road
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Sectional elevation
Drawn by:
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TLA Member
Project Number:
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Scale:
1:50 @ A2
Sheet Number:
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BASIX REQUIREMENTS
RAINWATER TANK THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 9,012.5 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 1,135 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.
OUTDOOR SWIMMING POOL THE SWIMMING POOL MUST BE OUTDOORS. THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 216.35 KILOLITRES. THE SWIMMING POOL MUST HAVE A POOL COVER. THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.
FIXTURES AND SYSTEMS LIGHTING - THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING-DIODE (LED) LAMPS.
CONSTRUCTION INSULATION REQUIREMENTS - THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED (FLOOR(S), WALLS AND CEALINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW, EXCEPT THAT A) ADDITIONAL INSULATION IS NOT REQUIRED WHERE THE AREA OF NEW CONSTRUCTION IS LESS THAN 2M², B) INSULATION SPECIFIED IS NOT REQUIRED FOR PARTS OF ALTERED CONSTRUCTION WHERE INSULATION ALREADY EXISTS.
CONSTRUCTION - CONCRETE SLAB ON GROUND FLOOR. ADDITIONAL INSULATION REQUIRED - NIL

CONSTRUCTION - SUSPENDED FLOOR WITH ENCLOSED SUBFLOOR: CONCRETE (R0.6). ADDITIONAL INSULATION REQUIRED - R0.70 (DOWN) (OR R1.30 INCLUDING CONSTRUCTION)
CONSTRUCTION - EXTERNAL WALL: CONCRETE BLOCK/PLASTERBOARD (R1.8). (OR R1.70 INCLUDING CONSTRUCTION)
CONSTRUCTION - RAKED CEILING, PITCHED/SKILLION ROOF: FRAMED ADDITIONAL INSULATION REQUIRED - CEILING: R3.00 (UP), ROOF: FOIL/SARKING OTHER SPECIFICATIONS - MEDIUM (SOLAR ABSORPTANCE 0.475 - 0.70)
GLAZING REQUIREMENTS WINDOWS & GLAZED DOORS THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR. THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR: EACH WINDOW OR GLAZED DOOR WITH STANDARD ALUMINIUM OR TIMBER FRAMES AND SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION, OR, HAVE A U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) NO GREATER THAN THAT LISTED IN THE TABLE BELOW. TOTAL SYSTEM U-VALUES AND SHGC'S MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFRC) CONDITIONS. EACH WINDOW OR GLAZED DOOR WITH IMPROVED FRAMES OR PYROLTIC LOW-E GLASS, OR CLEAR/AIR GAP/CLEAR GLAZING, OR TONED/AIR GAP/CLEAR GLAZING MUST HAVE A U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) NO GREATER THAN THAT LISTED IN THE TABLE BELOW. TOTAL SYSTEM U-VALUES AND SHGC'S MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFRC) CONDITIONS. THE DESCRIPTION IS PROVIDED FOR INFORMATION ONLY. ALTERNATIVE SYSTEMS WITH COMPLYING U-VALUE AND SHGC MAY BE SUBSTITUTED.

FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500mm ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400mm ABOVE THE SILL.						
PERGOLAS WITH FIXED BATTENS MUST HAVE BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW. THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50mm.						
PERGOLAS WITH ADJUSTABLE SHADING MAY HAVE ADJUSTABLE BLADES OR REMOVABLE SHADE CLOTH (NOT LESS THAN 80% SHADING RATIO). ADJUSTABLE BLADES MUST OVERLAP IN PLAN VIEW.						
OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT & DISTANCE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOORS, AS SPECIFIED IN THE 'OVERSHADOWING COLUMN IN THE ADJACENT TABLE.						
WINDOW AND GLAZED DOORS GLAZING REQUIREMENTS						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	S	11	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or value: 7.63, SHGC: 0.75)
W2	N	9	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION
Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:
All tree protection is to be undertaken in accordance with the guidelines provided in AS4970-2009
Protection of trees on development sites.
Prior to construction, the builder shall erect tree protection fencing for each protected tree. Tree protection fencing setbacks are to be determined by multiplying the diameter at breast height by twelve (12).
Fencing is to consist of Chain wire mesh panels at least 1.8m in height, anchored with concrete feet.
Signage stating "Tree Protection Zone – No Access" is to be displayed on the fencing.
According to AS 4970-2009, activities excluded from the TPZ include but are not limited to;
- machine excavation including trenching
- excavation for silt fencing
- cultivation
- storage
- preparation of chemicals, including preparation of cement products
- parking of vehicles and plant and/or refuelling
- dumping of waste and/or wash down and cleaning of equipment
- soil level changes and/or placement of fill
- lighting of fires
- temporary or permanent installation of utilities and signs
- physical damage to the tree.

REMOVAL OF EXISTING TREES
All trees to be removed shall be carried out by a qualified arborist and work shall conform to the provisions of AS4373-2007 Australian Standards for The Pruning of Amenity Trees.

ELIMINATE WEEDS
Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

EXCAVATION & SUB SOIL PREPARATION
Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.

SUB SOIL DRAINAGE
Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding. Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to sw system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

REUSE EXISTING TOPSOIL
Existing site topsoil should be salvaged & appropriately stockpiled where possible.

IMPORTED TOPSOIL
Quality System: AS 4419 or as specified below.
Turf Areas: 'Turf Underlay' as supplied by, ANL p: 02 9450 1444 or approved alternative.
Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p: 02 9450 1444 or approved alternative.

IRRIGATION SYSTEM
New dripline irrigation system to be installed with backflow preventer and with timers. Irrigation system to be designed and installed to local codes.
The entire irrigation system shall be fully automated and provide drip irrigation to all tree, shrub and ground cover zones. It is the Contractor's responsibility to verify water pressure available and determine all design-built parameters prior to any installation and sizing of irrigation components. Irrigation system to be connected to water tank to supplement water from mains.

MULCHING
Quality system: AS 4454
All planting area impacted by building works to receive 50-75mm of garden Mulch, Hort-Bark, ANL p: 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

WATERING
Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

STEPPING STONES
Install each stepping stone on a 75mm thick mortar bed and space according to plan. Stones to finish flush with adjoining levels. Fill gaps with artificial turf as specified.

RETAINING WALLS & PLANTER BOXES
All retaining walls & planter boxes to be constructed to Engineer's details. Ensure all internal surfaces are waterproofed. Geotextile wrapped ag. drainage line backfilled with aggregate is to be installed behind all retaining walls & connected to stormwater in accordance with Sydney Water regulations. All planter boxes are to have Atlantis drainage cell (or approved alternative) installed & connected to stormwater in accordance with Sydney Water regulations.

Note:
- Contractors to check and verify all dimensions and all levels on site prior to any works.
- Any discrepancies should be immediately referred to Serenescapes Landscape Designs.
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions recognised over scaling. All measurements are in millimetres.
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