

30 January 2014

General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/Madam,

Development Application No. N0240/13 – 44 Waterview Street, Mona Vale

For Council's information, please find enclosed Construction Certificate No. 2013/5197 issued for alterations and additions to the existing dwelling, at the above address, accompanied by:

- Copy of Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Home Warranty Insurance Certificate
- Cheque for \$36.00 being the prescribed fee to receive the above certificate.

NB: Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.**

Yours faithfully

A handwritten signature in black ink, appearing to read "Tom Bowden".

Tom Bowden
Insight Building Certifiers Pty Ltd

\$36 REC1355455 4/2/14

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2013/5197

Council	Pittwater
Determination Date of issue	Approved 30 January 2014
Subject land Address Lot No, DP No.	44 Waterview Street, Mona Vale Lot 16 DP 601494
Applicant Name Address Contact No.	Lenka Horakova 44 Waterview Street, Mona Vale NSW 2103 0423 533 897
Owner Name Address Contact No.	Lenka Horakova 44 Waterview Street, Mona Vale NSW 2103 0423 533 897
Description of Development Type of Work	Alterations & Additions to the Existing Dwelling
Builder or Owner/Builder Name Contractor Licence No/Permit	Cowper Building Pty Ltd 134683C
Value of Work Building	\$120,000.00

Attachments

- Copy of completed Construction Certificate Application Form
- Long Service Levy Corporation receipt no. 156050 dated 20 January 2014
- BASIX Certificate no. A164860 dated 19 August 2013

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Architectural Plans & Construction Specification reference no. 1304, drawing no's. A-01, A-02, A-03 & A-04 (all Issue A), prepared by Gartner Trovato Architects dated March 2013
- Structural Details reference no. 131105, drawing no's. S1.00, S2.00, S2.01, S2.02 & S3.00, prepared & endorsed by Barrenjoey Consulting Engineers Pty Ltd dated November 2013
- Sydney Water approval dated 16 January 2014

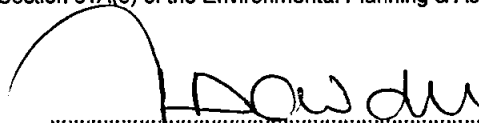
Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed



Date of endorsement
Certificate No.

30 JAN 2014
2013/5197

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority
Contact No.
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

N0240/13
11 October 2013

BCA Classification

1a

BY:

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

Description of Building Work

Alterations and additions to existing dwelling.

Estimated cost of work

\$120,000.00

BCA Classification(s)

1a

Development Consent Reference no.

N0240/13

Date of Issue

11-10-2013

Modified Consent Reference no. (If applicable)

Date of Issue (If applicable)

Property Address

Unit/Street no.

44

Street name

Waterview street

Suburb

Mona Vale

Post code

2103.

Lot no.

1b

DP no.

601494

Accompanying Documents

- Appropriate Architectural Plans and Specifications
- All information required by Part 3 of Schedule 1 Forms of the Regulation (see over)

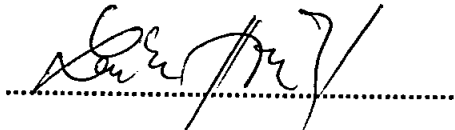
I/We, the owner/s of the abovementioned property, hereby make application to Tom Bowden/Heath McNab of Insight Building Certifiers Pty Ltd (Insight) for a Construction Certificate for the building work described above and, in doing so, I/we also declare that the documents provided and asserted by me as a copy of a development consent and incorporated plans are a true copy of same as issued by the relevant consent authority or the Land and Environment Court.

Owner 1 Name:

LENKA TORALOVA

Owner 2 Name:

Owner's Signature:



Owner's Signature:

Date:

10/12/2013

Date:

Owner's Address:

44 Waterview Street, Mona Vale NSW 2103

Daytime Telephone:

0423 533 897

Mobile:

[Office Use Only]: Date received by Accredited Certifier:



Levy Online Payment Receipt

Building and Construction

LENKA HORAKOVA
44 WATERVIEW ST
MONA VALE NSW 2103

Long Service Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@longservice.nsw.gov.au
www.longservice.nsw.gov.au
ABN 93 646 090 808

Application Details:

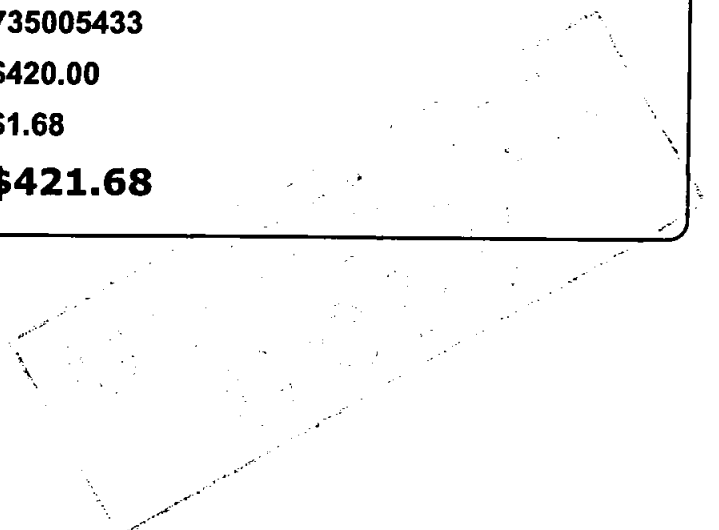
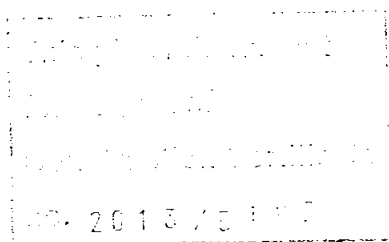
Applicant Name:	LENKA HORAKOVA
Levy Number:	5058216
Application Type:	CC
Application Number:	N0240/13
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	44 WATERVIEW ST MONA VALE NSW 2103
Value of work:	\$120,000
Levy Due:	\$420.00

Payment Details:

LSC Receipt Number:	156050
Payment Date:	20/01/2014 4:42:20 PM
Bank Payment Reference:	735005433
Levy Paid:	\$420.00
Credit card surcharge:	\$1.68
Total Payment Received:	\$421.68



BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A164860

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General

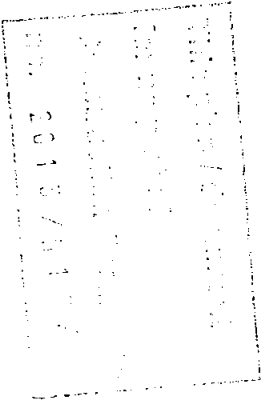
Date of issue: Monday, 19, August 2013

To be valid, this certificate must be lodged within 3 months of the date of issue.

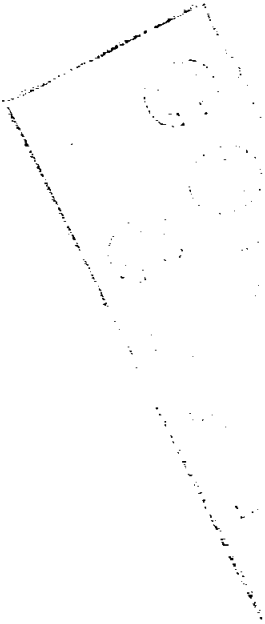


Description of project

Project address	
Project name	Felicio
Street address	44 Waterview Street Mona Vale 2103
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 601494
Lot number	16
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).



Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: GARTNER TROVATO ARCHITECTS
ABN (if applicable): 51673668317



Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NE	1	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	NW	1.5	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	NW	2.96	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	SW	0.36	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	SW	0.36	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W6	SW	0.36	0	0	eave/Verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	SW	0.36	0	0	eave/Verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	NE	1.9	0	0	eave/Verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	SW	7.5	0	0	eave/Verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.36	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.36	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S3	1	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

insight

building certifiers pty ltd

CONSTRUCTION CERT. NO. 2013 / 5197

CONSTRUCTION CERTIFICATE

PLANS

I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

T. Bowden Accreditation No. BPB0042

31 JAN 2014

DELWOOD

CLOSE

WARNING

The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Councils for any proposed works.
- The Structural Engineer's responsibility to ensure the adequacy of the proposed structural works.
- The Professional Engineer's responsibility to ensure these stamped plans are consistent with the issued Construction Certificate Architectural Plans.

REMOVE PAVING FOR NEW GARDEN PLANTINGS TO COUNCILS REQUIREMENTS

5.210

EXISTING DRIVEWAY

4.577

PITTWATER COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.

NOTE: SEDIMENT & EROSION CONTROL & TREE PROTECTION MEASURES ARE TO BE INSTALLED AND MAINTAINED DURING THE LIFE OF THE PROJECT.

DA ISSUE

not Date: 26/07/13

Drawn/Designed:	LT/AH	Date:	Mar 2013
Project Number:	1304	Scale:	AS SHOWN @ (A2)
Drawing No.:		Issue:	

Project: Alterations & Additions
44 Waterview Street, Mona Vale

Client: Felicio

Drawing: Site Analysis & Landscape Plan

GARTNER TROVATO
ARCHITECTS

12/14 BUNGAN STREET
PO BOX 1358
MONA VALE, NSW 1505
TEL: 02 9366 8600
FAX: 02 9366 8601

The builder shall check and verify all dimensions and all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Issue	Description
A	Issued for Development Approval

SITE CALCULATIONS			
Site Area	725.4m ²		
Existing Coverage	383.16m ²		54.20%
Proposed Coverage	381.89m ²		62.64%
Decrease in Site Cover	11.30m ²		1.56%
Existing Landscape	332.27m ²		45.81%
Proposed Landscape	343.52m ²		47.35%

Site Plan 1:100

WATERVIEW STREET

STREET

REMOVE REDUNDANT DRIVEWAY EXISTING LAWN & LANDSCAPE OVER

RETAINING WALL TO MATCH EXISTING

EXTEND DECK AT LOWER GROUND FLOOR OVER REDUNDANT DRIVEWAY & ROOF OVER

NOTE: SCREEN PLANTING WITH A MATURITY HEIGHT OF 3M TO BE PLANTED ALONG SOUTHEASTERN BOUNDARY (AS NOTATED IN RED) IN ACCORDANCE WITH CONDITION B9.

COPY

DELWOOD CLOSE

2.015
250
2.400
100
2.210
250
2.700

39°15'40"
24.08

98°50'20"
3.705

DA ISSUE
Plot Date: 26/7/13

PITTWATER COUNCIL
APPROVED DEVELOPMENT
CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE.

Project: Alterations & Additions
44 Waterview Street, Mona Vale

Client: Felicio

Drawn/Designed: LT/AH Date: Mar 2013
Project Number: 1304 Scale: AS SHOWN @ (A2)

GARTNER TROVATO
ARCHITECTS

1519 BUNGAH STREET
PO BOX 1128
MONA VALE NSW 1505
02 9397 4411

The builder shall check and
verify all dimensions and
all errors and omissions to
the drawings. Drawings shall not
be used for construction
purposes until issued by the
Architect for construction.

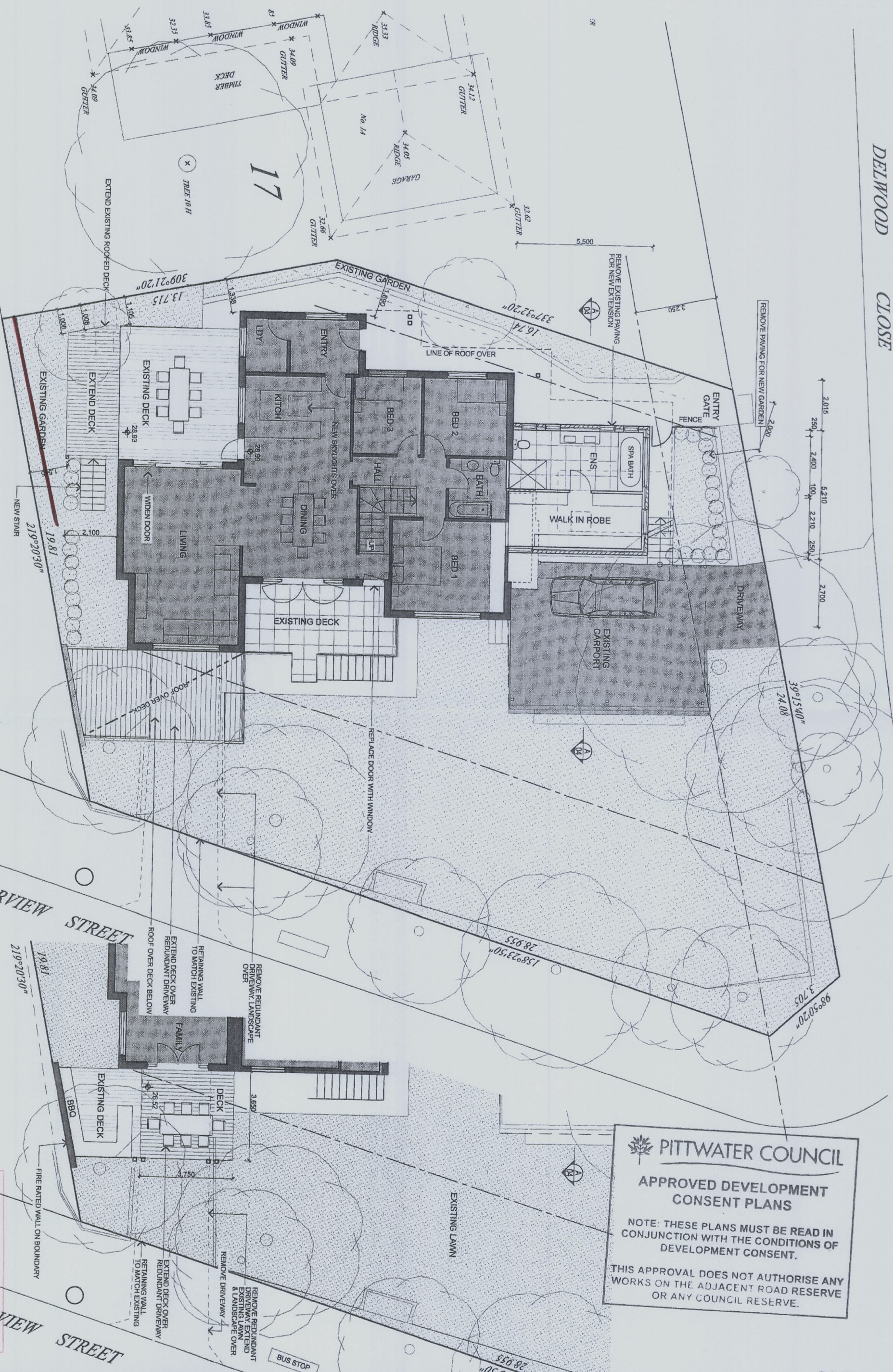
Description:
Issued for Development Approval

This plan / document
forms part of
Construction Certificate
no. 2013/5197

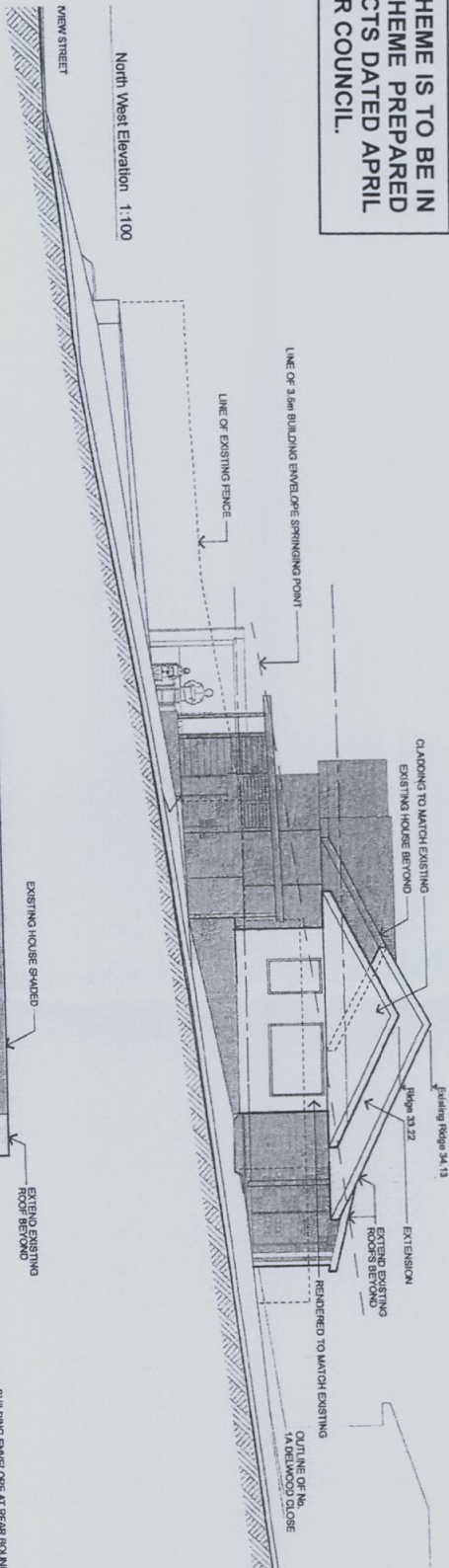
Ground Floor Plan 1:100

Lower Ground Floor Plan 1:100

NOTE: SCREEN PLANTING WITH A MATURITY HEIGHT OF 3M
TO BE PLANTED ALONG SOUTHEASTERN BOUNDARY (AS
NOTATED IN RED) IN ACCORDANCE WITH CONDITION B9.



NOTE: MATERIALS & COLOUR SCHEME IS TO BE IN ACCORDANCE WITH SAMPLE SCHEME PREPARED BY GARTNER TROVATO ARCHITECTS DATED APRIL 2013 AS APPROVED BY PITTWATER COUNCIL.



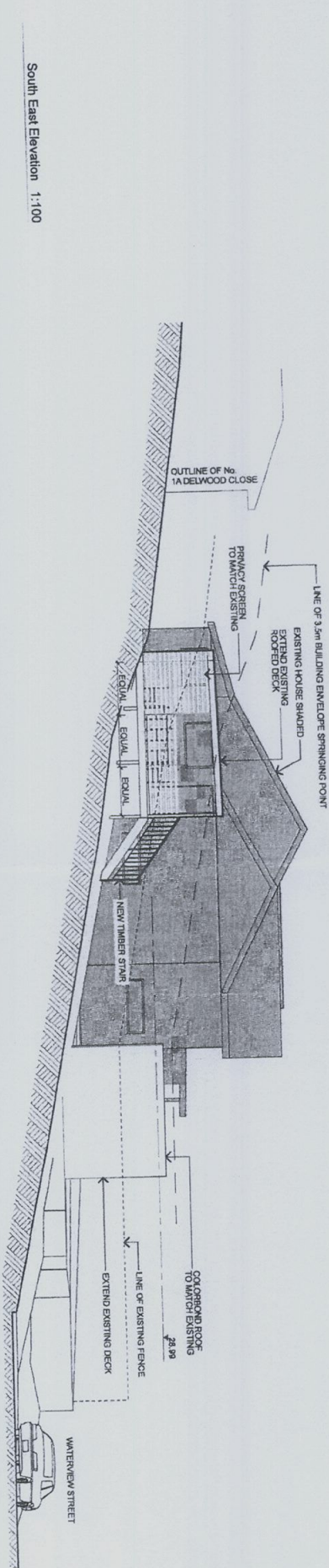
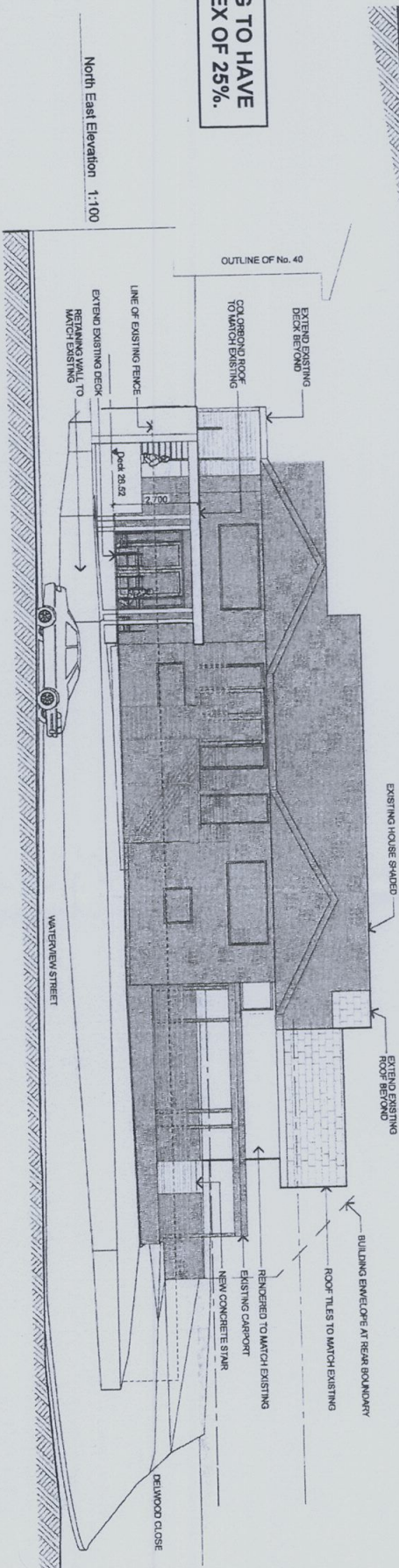
PITTWATER COUNCIL

APPROVED DEVELOPMENT
CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE.

NOTE: ALL EXTERNAL GLAZING TO HAVE
A MAXIMUM REFLECTIVITY INDEX OF 25%.



BASIX SCHEDULE		ALL WORK TO BE IN ACCORDANCE WITH BASIX CERTIFICATE NO. A164860 DATED 19 AUGUST 2013
Lights	40%	of new or altered light fixtures to be fluorescent or Compact fluorescent or Light Emitting Diode (LED)
Water	All	new or altered fixtures to be not less than 3 star rating
Insulation	concrete slab on ground floor	nil
	external wall: brick veneer	R1.16 (or R1.70 including construction)
	External wall: frame (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)
	flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking (Other specifications: medium (solar absorptance 0.475 - 0.70)
Windows	All	standard aluminum, single clear, (or U-value: 7.63, SHGC: 0.75)
Skylights	S1	aluminum, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
	S2 & S3	timbers double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

DA ISSUE

Rev Date: 30/07/13

Drawn/Overlaid: [U/AH]

Date: Mar 2013

Project Number: 1304

Scale: AS SHOWN @ (A2)


Drawing No.: A-03

Issue: A

Project: Alterations & Additions
44 Waterview Street, Mona Vale

Client: Felcio

Drawing: Elevations NW, NE + SE

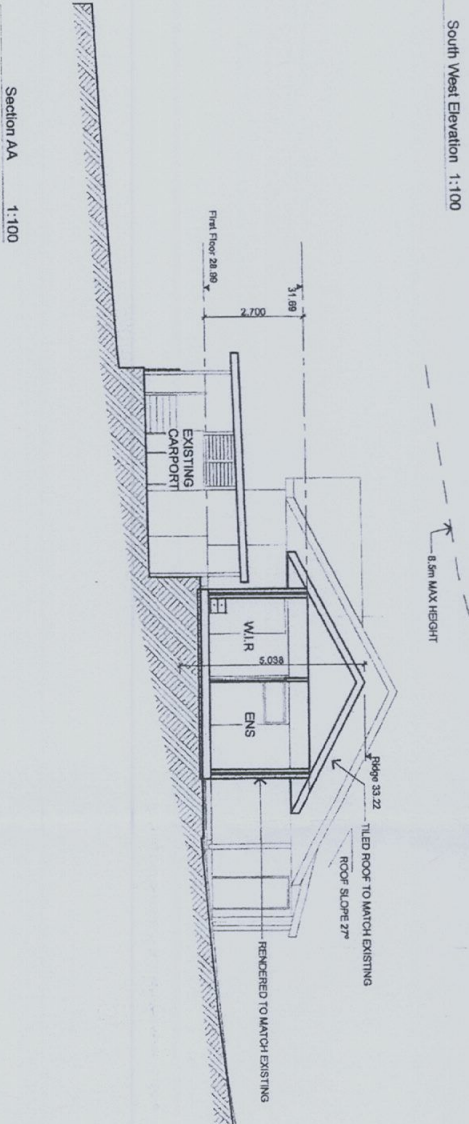
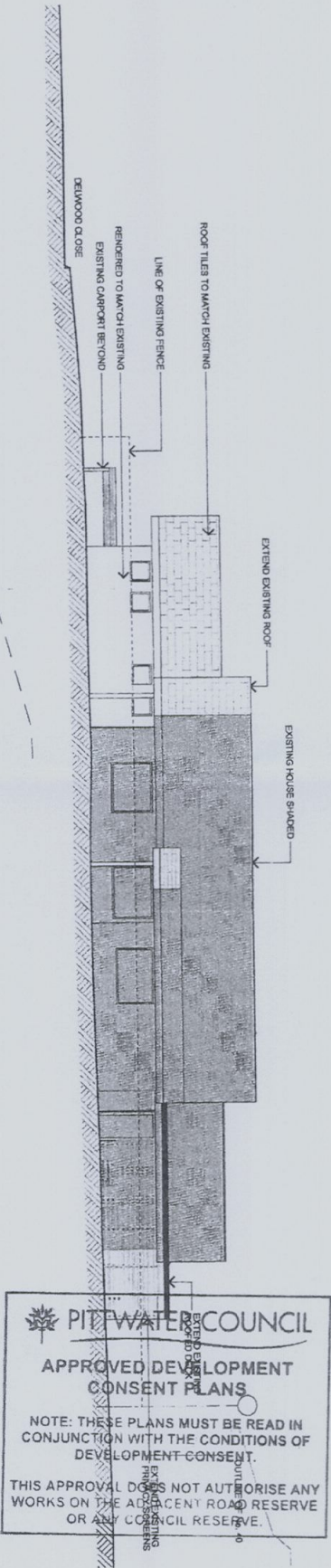
GARTNER TROVATO
ARCHITECTS

10/10 PITTWATER STREET
MONA VALE, NEW SOUTH
WALES 1589 444
PH: 02 9379 4441
FAX: 02 9379 4433
WWW.GARTNERTROVATO.COM

The builder shall check and verify all dimensions and layout all errors and omissions to the Architect. On call scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Date	Issue	Description
22/07/2013	A	Issued for Development Approval

This plan / document
forms part of
Construction Certificate
no. 2013 / 5197



- Building to incorporate BASIX commitments to comply with the attached BASIX Certificate No. A164860 dated 19 August 2013
- Smoke Alarms to be installed in accordance with AS 3786-1993 'Smoke alarms'
- Termite Management to comply with AS 3660 – 2000 'Termite Management – New Building Work'
- Glazing to comply with AS 1288 – 2006 'Glass in Buildings – Selection & Installation' and AS 2047 – 1999 'Windows in Buildings – Selection & Installation'
- Waterproofing of wet areas to comply with AS 3740 – 2004 'Waterproofing of Wet Areas in Residential Buildings'
- Doors to fully enclosed sanitary compartments to comply with Part 3.8.3 'Facilities' of the Building Code of Australia
- External Glazing & Cladding being of minimal reflectance (maximum of 20%)
- External Finishes being in natural, recessive, non-reflective colours and textures
- Stair construction to comply with Part 3.9.1 – 'Stair Construction' of the Building Code of Australia
- Balustrades construction to comply with Part 3.9.2.3 – 'Balustrades' of the Building Code of Australia
- Damp-proof membrane must be 'high impact', 0.2mm thick polyethylene film

DA ISSUE

<table><tr><th>Date</th><th>Name</th><th>Description</th></tr><tr><td>15/07/2013</td><td>A</td><td>Issued for Development Approval</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>			Date	Name	Description	15/07/2013	A	Issued for Development Approval																 <div>GARTNERIROVATO ARCHITECTS 15/18 BUNBURN STREET MONA VALE, NSW 2116 PH: 02 9376 4400 FAX: 02 9376 4401 GARTNERIROVATO.COM.AU</div>			<table><tr><td>Project :</td><td>Alterations & Additions 44 Waterview Street, Mona Vale</td><td>Drawn/Designed :</td><td>LJ/AH</td><td>Date :</td><td>Mar. 2013</td></tr><tr><td>Client :</td><td>Felicio</td><td>Project Number :</td><td>1304</td><td>Scale :</td><td>AS SHOWN @ (A2)</td></tr><tr><td>Drawing :</td><td>Elevation SW + Sections</td><td>Drawing No. :</td><td>A-04</td><td>Issue :</td><td>A</td></tr></table>			Project :	Alterations & Additions 44 Waterview Street, Mona Vale	Drawn/Designed :	LJ/AH	Date :	Mar. 2013	Client :	Felicio	Project Number :	1304	Scale :	AS SHOWN @ (A2)	Drawing :	Elevation SW + Sections	Drawing No. :	A-04	Issue :	A
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This plan / document
forms part of
Construction Certificate
no. 2013 / 5197

GENERAL NOTES

GENERAL

- G1 - These drawings are to be read in conjunction with all architectural and other consultants drawings and specifications. Any discrepancies are to be referred to all parties and rectified before proceeding with the works.
- G2 - Dimensions shall not be obtained by scaling from these drawings.
- G3 - During construction the structure shall be kept in a stable condition and no part shall be over stressed.
- G4 - All materials and workmanship are to be in accordance with the current Australian Standards, OHS&S requirements, and the by-laws and ordinances of any relevant statutory authority.

FOUNDATIONS

- F1 - The foundation material is to be STIFF CLAY with a min 100 KPa bearing capacity.
- F2 - The foundation material is to be inspected, verified and approved by a Geotechnical Consultant as being in accordance with the above and that it is sound and consistent with minimal possibility of differential settlement across the development.
- F3 - Should variable foundation material be encountered the engineer is to be contacted and it is likely all foundations are to be placed to similar material of the greatest bearing capacity and that additional detailing of the foundation reinforcement will be required.
- F4 - Any excavation works are to include measures to ensure the temporary and long term stability of any existing structure within its vicinity.
- F5 - All foundations shall be a minimum 300mm into the approved material unless otherwise noted.
- F6 - Foundation depth dimensions are a minimum only and final depth will be dependent on the adequacy of the bearing material.
- F7 - All organic matter and top soil shall be removed from the underside of all slabs and foundations.
- F8 - Any soft or questionable excavated areas are to be brought to the attention of the Geotechnical Consultant and may require controlled filling.
- F9 - Any filling shall be to the approval of the Geotechnical Consultant and will generally be granular material compacted in not more than 150mm layers to a minimum dry density ratio of 98%.

CONCRETE

- C1 - All workmanship and materials shall be in accordance with AS3600.
- C2 - Concrete quality shall be verified by tests.
- C3 - All concrete shall have a slump of 80mm and maximum aggregate size of 20mm.
- C4 - Concrete strength and cover shall be as detailed on the plans.
- C5 - Size of concrete members do not include thickness of applied finishes.
- C6 - Beam depths are written first and include slab thickness if any.
- C7 - No penetrations are to be made to the concrete members without the written approval of the engineer.
- C8 - No water is to be added to the concrete prior to placement.
- C9 - All construction joints shall be located to the approval of the engineer.
- C10 - Fire rating requirements and adequacy is to be reviewed and specified by others.
- C11 - All concrete members are to be cured by keeping the surfaces continuously wet for a period of 3 days followed by the prevention of loss of moisture for a further 7 days.
- C12 - All concrete elements shall be compacted to form a dense homogenous mass using mechanical vibrators.

- C13 - All formwork shall be finished and stripped in accordance with AS3610.
- C14 - All formwork is to be free of debris prior to pouring of concrete.
- C15 - Exposed finished concrete surfaces (such as polished floors etc) will require additional reinforcement (SL 102 Top min) plus curing / shrinkage controlling additives as per the concrete suppliers recommendations.
- C16 - Exposed finished concrete surfaces (such as polished floors etc) will be susceptible to cracking.

REINFORCEMENT

- R1 - All reinforcement shall be Grade D500.
- R2 - Top reinforcement is to be continuous over supporting elements and lapped between supporting elements only.
- R3 - Bottom reinforcement is to be continuous between supporting elements and lapped at supporting elements only.
- R4 - Reinforcement is represented diagrammatically only and is not necessarily shown in its true projection.
- R5 - Bending of reinforcement is not permitted.
- R6 - All reinforcement shall be supported on bar chairs at max 750mm spacing.
- R7 - Reinforcement shall be tied at alternate intersections.
- R8 - Reinforcement bars are to lap a minimum length equal to 40 times the bar diameter (ie min 480mm for N12 bars, 640mm for N16 bars).
- R9 - Reinforcement fabric is to lap 1 complete square plus 25mm.

MASONRY

- M1 - All workmanship and materials shall be in accordance with AS3700.
- M2 - An approved slip joint material is to be placed over all load bearing masonry supporting a concrete slab and laid on smooth brick work or a trowel mortar finish, this material may constitute two layers of grouted mesh.
- M3 - Masonry shall be constructed on suspended concrete structures only after all propping has been removed and the concrete has achieved its specified strength.
- M4 - Control joints are to be placed in all walls at a maximum of 8m centres and between new and existing structures or closer as deemed necessary by the engineer. The joints are to be 10mm wide and sealed with an approved flexible sealant, with ties at 600mm centres vertical.
- M5 - Concrete blocks shall have a minimum compressive strength of 15 MPa.
- M6 - Core filling shall be 20 MPa concrete with 10mm aggregate, 230mm slump and compacted adequately.
- M7 - Concrete blocks used in retaining wall construction are to be Double Web H blocks.
- M8 - Maximum pour height for unrestrained blockwork is 1.8m.
- M9 - All masonry components are to be laid at not more than 600mm centres to adjacent steel or concrete columns.

STEEL

- S1 - All workmanship and materials shall be in accordance with AS4100.
- S2 - Hot rolled plates shall comply with AS 3678.
- S3 - Hot rolled sections shall comply with AS3679.
- S4 - Cold formed sections shall comply with AS4680.
- S5 - Welded and seamless hollow sections shall comply with AS1163.
- S6 - Unless noted otherwise all welds shall be 6mm continuous fillet from End electrodes, unless noted otherwise.
- S7 - Unless noted otherwise all bolts shall be M16 high strength structural bolts grade 8.8, snug tightened, uno.
- S8 - Unless noted otherwise all connections shall be 3M18 bolts, 10mm plate and 6mm continuous weld.
- S9 - All structural steel work shall have the following level of corrosion protection (coatings listed below by ORICA Australia p/lr) maybe substituted with a certified

equivalent) All coatings/finishes shall be applied in accordance with the manufacturers specifications and recommendations including surface preparation.

INTERNAL ELEMENTS

- Internal elements - a single coat (75 microns) of Zincanode 402.
- Internal elements - a first coat (75 microns) of Zincanode 402 and a second coat (100 microns) of Weathermax HBR.
- External elements - (> 100mm from waterfront including members with an external cavity or within 1m of a significant opening) not viable - a first coat (80 microns) of Zincanode 402 and a second coat (80 microns) of Ferroko No 5 and a third coat (60 microns) of Ferroko No 5.
- Hot Dipped Galvanised to AS 4680.
- Internal elements - a first coat (75 microns) of Zincanode 402 and a second coat (100 microns) of Ferroko No3 and a third coat (100 microns) of Ferroko No3.
- Hot Dipped Galvanised to AS 4680 and a decorative coating.
- External elements (mainly environment ie < 100m from waterfront) Specialist specification from paint manufacturers is to be applied to all members.
- S10 - All work shop drawings are to be reviewed and approved by the Engineer.

TIMBER

- T1 - All workmanship and materials shall be in accordance with AS1720 and AS1664.
- T2 - All exposed timber shall be H3 treated or of durability class 1.
- T3 - All timber in contact with the ground shall be H4 treated or of durability class 1.
- T4 - All exposed cuts shall be treated to achieve H3 or H4 requirements.
- T5 - All softwood shall be minimum F7.
- T6 - All hardwood shall be a minimum F14.
- T7 - All bolt hole s shall be exact size and washers shall be 2.5 x the bolt diameter.

INSPECTIONS

- I1 - Barrerjocy Consulting Engineers shall only inspect works within its capacity as an Engineering Consultancy and will not carry out Mandatory Critical Stage Inspections.
- I2 - Barrerjocy Consulting Engineers will not inspect or certify foundation material adequacy, see F2.
- I3 - All inspections are to be carried out at the request of the projects Principal Certifying Authority, or should independent certification be required at the request of the client or builder.
- I4 - Typical inspections include - Foundation reinforcement Slab on ground reinforcement Suspended concrete reinforcement Steel structures Timber structures

- I5 - The client shall be responsible for any fees for inspections regardless of whom requested them.
- I6 - All re inspection required due to no compliance with issued drawings or that deemed necessary by Barrerjocy Consulting Engineers shall be charged to the client.
- I7 - No certification will be given for works not inspected by Barrerjocy Consulting Engineers.
- I8-48 Hrs notice is required for any inspection within the Sydney region and 72 Hrs notice is required for any inspection outside of this region.

DESIGN LIFE OF THE STRUCTURE

- D1 - The design life of all elements as specified within these documents correspond to that required by the Building Code of Australia and the relevant Australian Standard.
- D2 - The Design Life of elements relevant to slope stability maybe extended to that required by Pitwater Councils Interim Risk Management Policy by the implementation of a rigorous maintenance and inspection schedule together with additional concrete strength and cover specifications as detailed within these plans.

DRAWING

SCHEDULE

- \$1.00 - GENERAL NOTES
- \$2.00 - ENSUITE / WIR SLAB PLAN
- \$2.01- DECK / WALL FOUNDATION PLAN
- \$2.02 - SLAB & FOUNDATION DETAILING
- \$3.00 - ROOF FRAMING PLAN

Barrerjocy Consulting Engineers Pty Ltd

Stormwater

Structural

Civil

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ACN: 12469417

PROJECT:

PROPOSED

ALTERATIONS & ADDITIONS

44 WATERVIEW STREET

MONA VALE

for ~ Felicio Family

DRAWING:

Job No: 131105

Drawing No: S1.00

Document Certification

Barrerjocy Consulting Engineers Pty Ltd

per Lucas Molloy

M&E Chief Engineer

WARNING: The engineer's responsibility to obtain approval from Sydney Water or other utilities. The structural Engineer of their stamping of this plan by Barrerjocy Consulting Engineers Pty Ltd does not

forms part of Construction Certificate

no. 2013 / 5197



**ENSUITE / WIR
SLAB PLAN**

~ 1:100

- 150
- 170mm slab SL 102 Top & Bottom
- 450dia piers all round to sound firm bearing
- Fc
- 32 MPa (cover 30mm int, 50mm ground, 45mm ext)

DELWOOD CLOSE

A
S2.02

170

No 44 WATERVIEW STREET
MONA VALE

refer plans by GARTNER TROVATO
ARCHITECTS
for details of the proposed alts & adds
(existing extents shown hatched)

This plan / document
forms part of
Construction Certificate
no. 2013 / 5197

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DRAWING:

ENSUITE / WIR

SLAB PLAN

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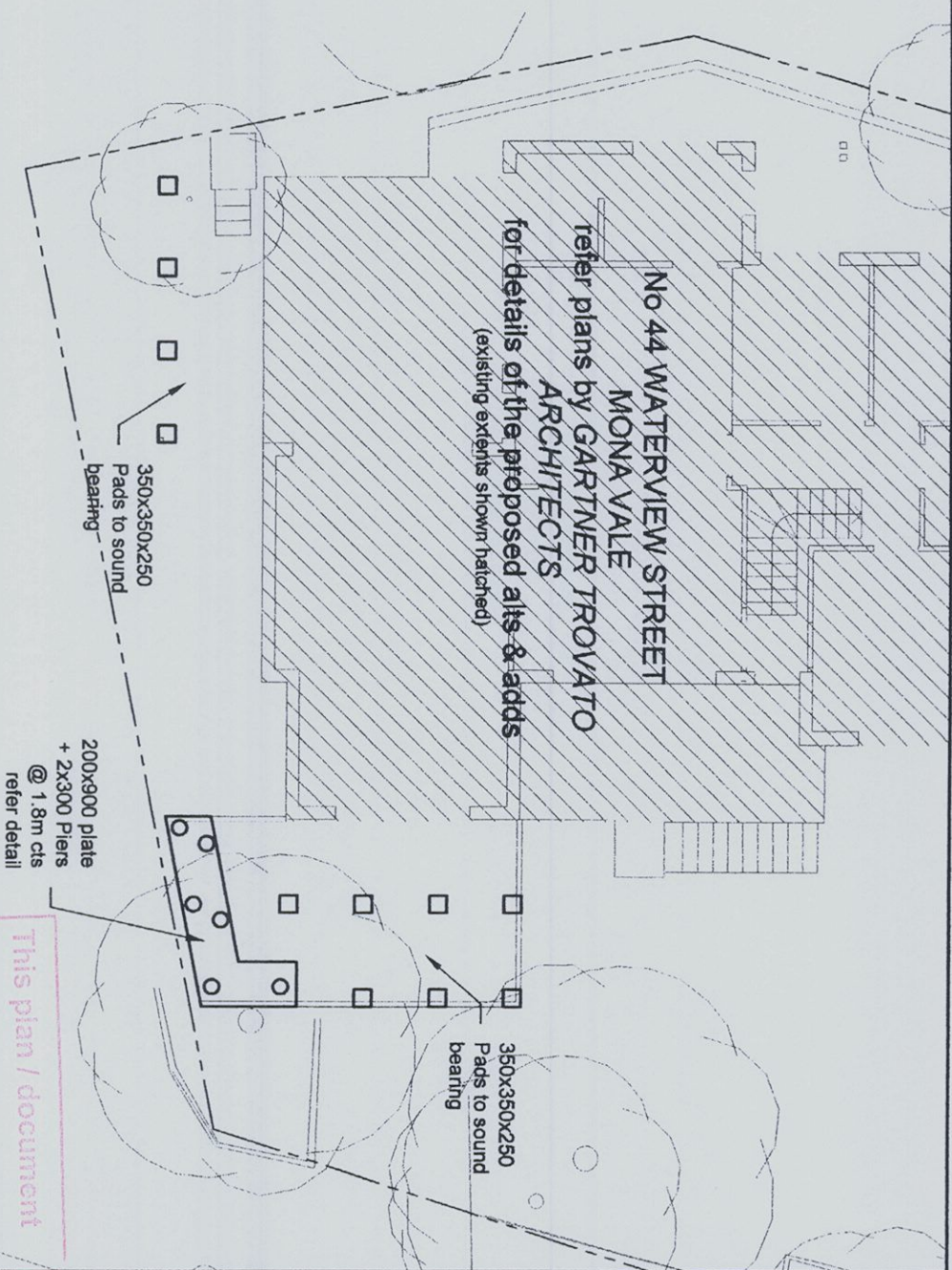
per

Lucas Molloy MBEA CPENG WIRER ENGINEER

13/11/13



DECK / WALL
FOUNDATION PLAN
~ 1:100



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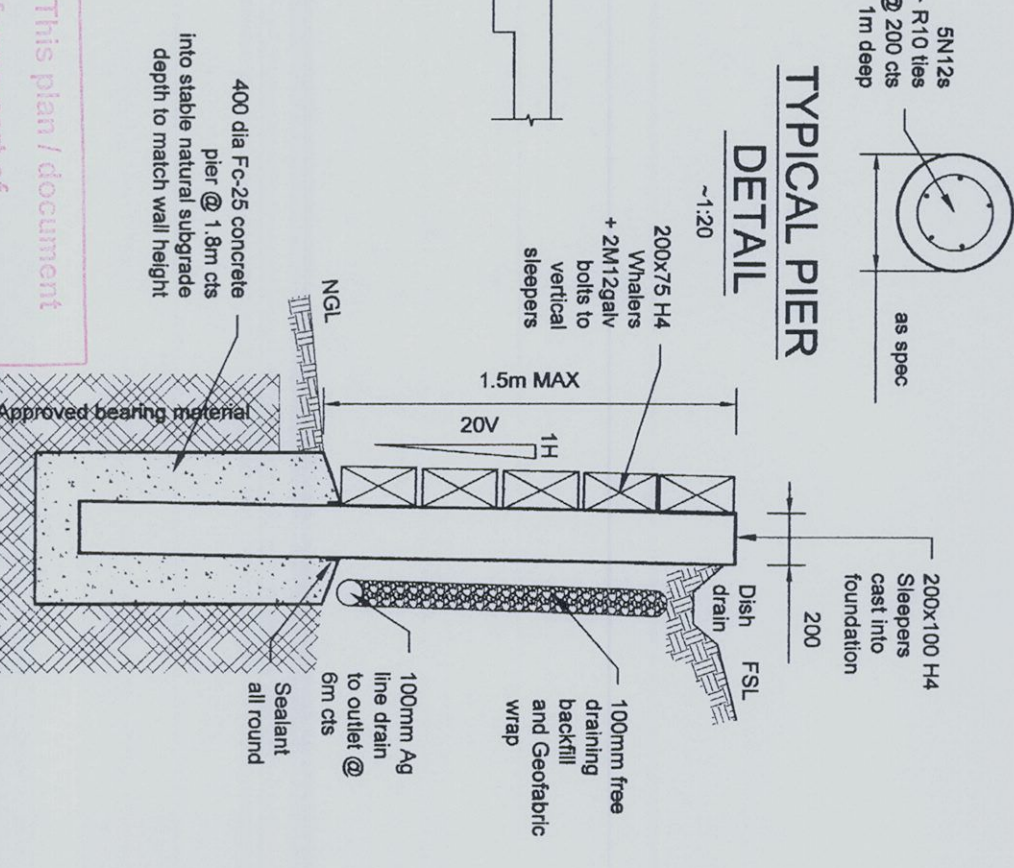
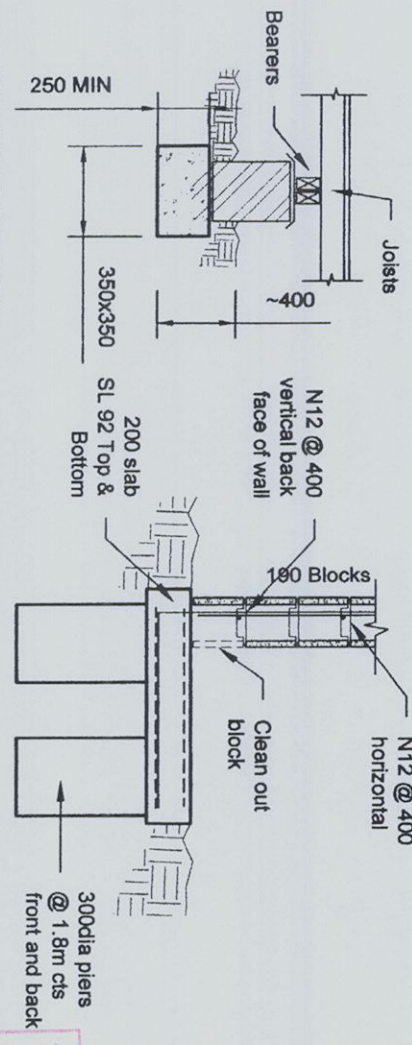
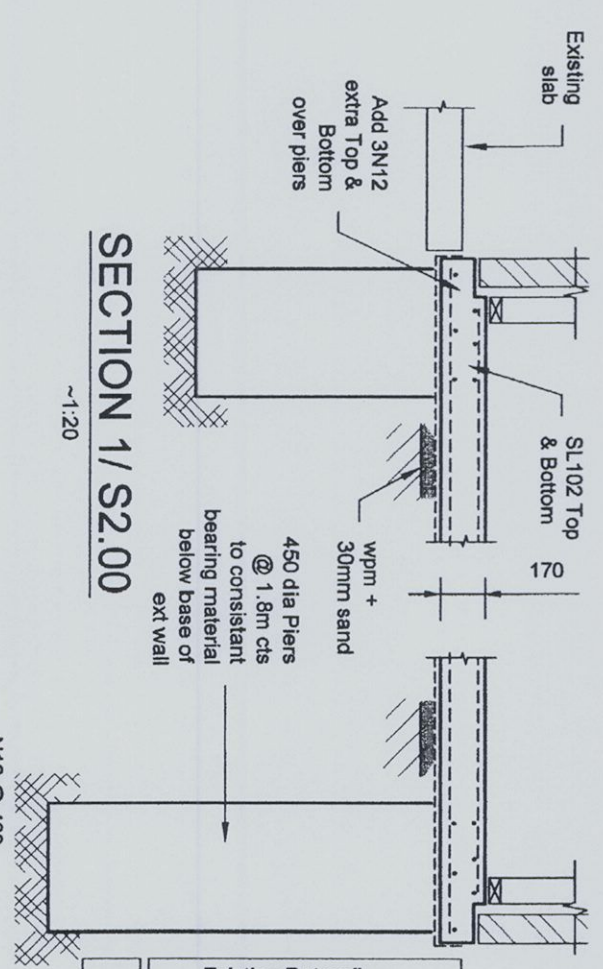
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per

Lucas Molloy MBEA CPENG MBER CIVIL

2013



This plan / document forms part of Construction Certificate no. 2013 / 5137

FOUNDATION DETAIL

BLOCK WALL DETAIL

TYPICAL TIMBER SLEEPER RETAINING WALL DETAIL

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PROJECT:
PROPOSED ALTERATIONS & ADDITIONS
44 WATERVIEW STREET
MONA VALE
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DRAWING:
SLAB & FOUNDATION DETAILING 1

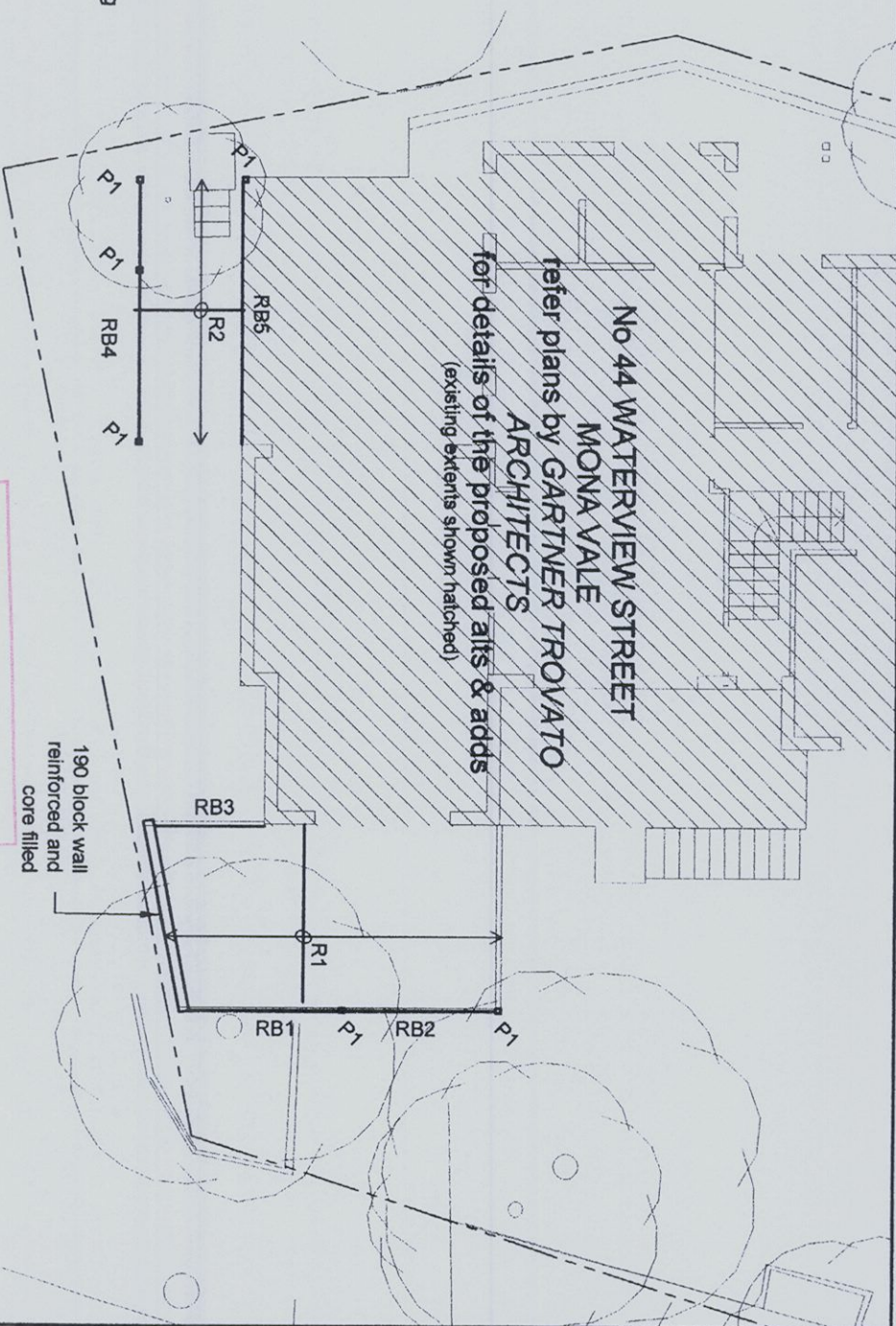
Job No: 131105
Drawing No: S2.02
 Document Certification
 Barrenjoey Consulting Engineers Pty Ltd
 per
 Lucas Molloy WEA CPEng NERS Director
 NOV'13



DECK ROOF FRAMING PLAN

~ 1:100

- R1 - 190x45 F7 H3 Rafter @ 600cts
- R2 - 90x45 F7 H3 Rafter @ 600 cts
- RB1 to 4 - 190x45 or 180x65 F7 H3 Lintel
- RB5 - 150 PFC gavl
- P1 - 90x90x F7 H3 Post
- Note - Ensure all members tied down to floor framing
- WIR / Ens conventional roof framing to AS/NZS 1684



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ALTERATIONS & ADDITIONS
44 WATERVIEW STREET
MONA VALE
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DRAWING:

ROOF FRAMING PLAN

Job No:

131105

Drawing No:

S3.00

Document Certification
Barrenjoey Consulting Engineers Pty Ltd
per
Lucas Molloy MBEA CPENG NREB Director

Nov 13



SYDNEY WATER
APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
 2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drafter. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
 4. Any Plumbing and/or Discharge Work to be carried out in accordance with the Sydney Water Act 1904, AS 3600 and the NSW Code of Practice.
 5. Gullies, Inspecion Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
- Property No. 3462714

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

Dec 16, 01, 14.

Site Plan 1:100