



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2020/0589

PROPOSED ALTERATION AND
ADDITION TO THE EXISTING
DWELLING AS DETAILED

NOTE:-
REFER TO LANDSCAPE PLAN FOR ALL
LANDSCAPE WORKS.
PROVIDE ALL NECESSARY TEMPORARY
SUPPORT FOR EXISTING STRUCTURES
TO BE RETAINED OR MAINTAINED. ALLOW
FOR ANY ENGINEERING COSTS ASSOCIATED
WITH THE PROVISION OF SUCH STRUCTURES.

PRESERVE AND PROTECT ALL
PROPERTY, SERVICES,
ROAD AND FOOTPATH FINISHES.
PROVIDE A DETAILED DILAPIDATION
REPORT PRIOR TO COMMENCEMENT ON
SITE TO COUNCIL AND THE
ARCHITECT. MAKE GOOD ANY DAMAGE
RESULTING FROM CONSTRUCTION OF
THE WORKS AT NIL COST TO THE
PROPRIETOR.

new screen hedging and
tandem carstand as shown

existing driveway and
cross-over to be
refurbished and realigned
in accordance with Council
requirements & AS 2890.1.

S4.55 Garage FFL to be lowered
by 250mm and driveway RL's
adjusted accordingly to minimise
site requirement for unnecessary
fill and/or retaining

all drainage lines, pits &
grates as per engineer's
detail

S4.55 Existing retaining wall
to be replaced shown thus

S4.55 Retaining wall to be
straightened as shown and
installed as per the engineers
details

landscaping to Landscape designers detail

Replace existing 1.8m high paling
fence on the boundary

remove existing trees shown dotted

GENERAL NOTES:
- Wall Dimensions are exclusive of cladding thickness or
plasterboard.
- All new windows and doors as numbered in accordance with
BASIX Certificate
- Mechanical Exhaust is standard domestic and complies with
AS 1668 Parts 1 & 2
- Smoke Alarms to be installed to comply with AS3786 and
located in accordance with BCA.
- All surface water run off from uncovered new paved areas
shall be directed away from neighbours properties and
connected into the drainage system where possible.
- All works to comply with the BCA and applicable Australian
standards
- All new works to be constructed and bushfire
compliant to AS 3959: 2018 consultant report

BASIX Compliance items:-
- gas instantaneous hot water unit where shown on plan.
- New roofing to have roof foil backed blanket 100mm equal to
Bradford Anticon R1.24 under roof sheets.
- New suspended floor with open subfloor R1.5 including construction
- New suspended floor with closed subfloor R1.3 including construction
- New roof sheeting not exceed solar absorbance 0.475-0.70.
- New external walls to have min R1.70 performance including construction
with wall insulation equal to Bradford R2.0 Hi Performance Gold Wall Batts.
- Glazing to windows to comply with glass type scheduled
- Window frames and glazed door frames to be powdercoated aluminium.
- All windows and glazed doors to comply with the min Basix Glazing
requirements.
- Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent,
compact fluorescent, or light-emitting-diode (LED) lamps.
- New or altered, taps, shower heads, and toilets to be min 3 star rating.
- Concrete slab on ground provided to new building areas.

WALL TYPES:-

- 90mm Stud frame wall. Insulation as spec for external walls.
- 130mm metal standing seam cladding and stud wall
- Existing brick walls.
- Brick walls.

S4.55 (1A) modification

DUKTIG

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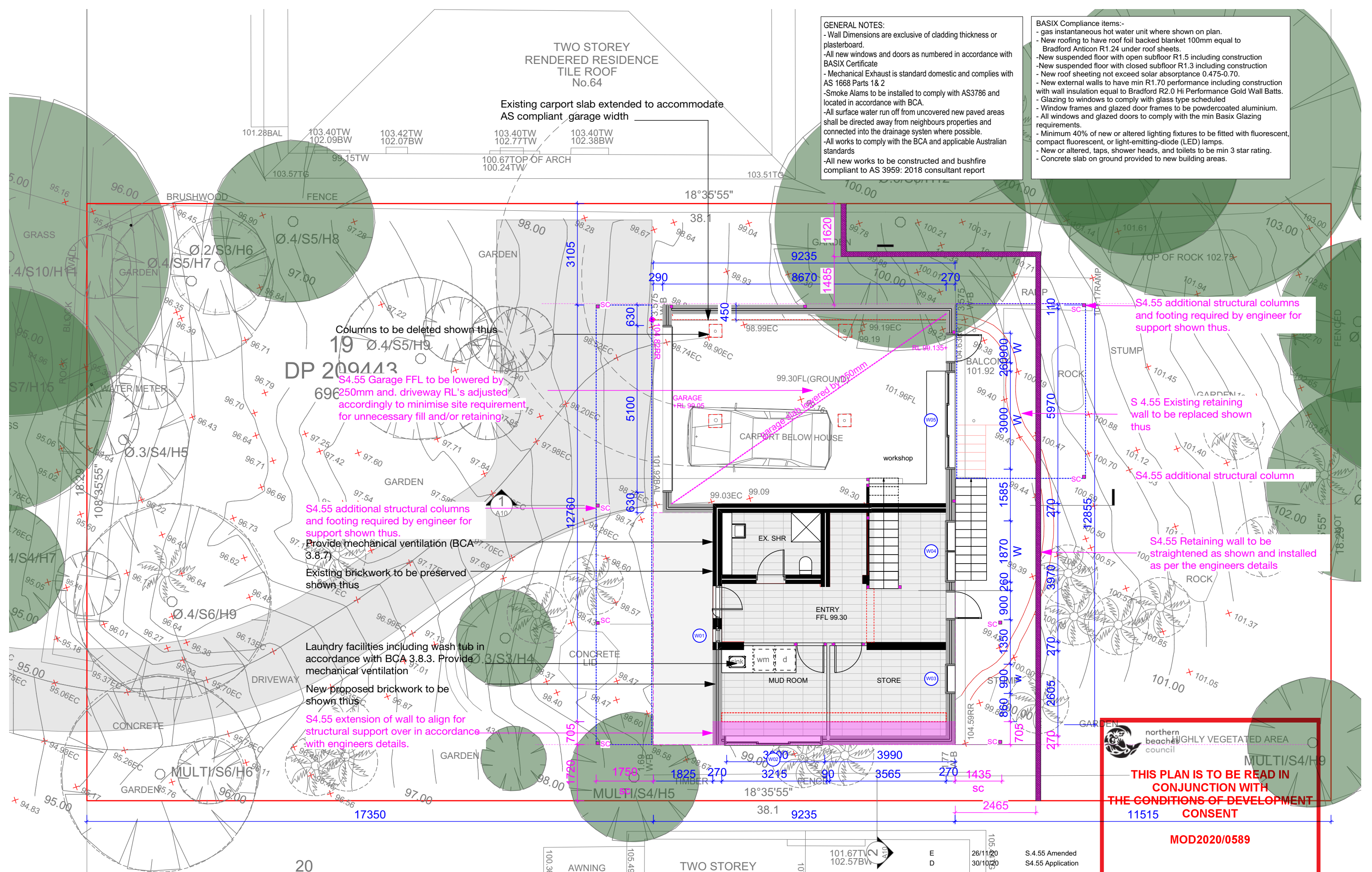
ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT	DATE #	DWG #	
Mr D Chapman and Mrs H Chapman	03/10/19	A002	D
DWG	SCALE @ A3	1:100	
Site Plan	DRAWN	AW	
	CHKD		
	REVISION	D	

TWO STOREY
RENDERED RESIDENCE
TILE ROOF
No.64

Existing carport slab extended to accommodate
AS compliant garage width

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Columns to be deleted shown thus

S4.55 Garage FFL to be lowered by 250mm and driveway RL's adjusted accordingly to minimise site requirement for unnecessary fill and/or retaining

S4.55 additional structural columns and footing required by engineer for support shown thus.

Provide mechanical ventilation (BCA 3.8.7)

Existing brickwork to be preserved shown thus

Laundry facilities including wash tub in accordance with BCA 3.8.3. Provide mechanical ventilation

New proposed brickwork to be shown thus

S4.55 extension of wall to align for structural support over in accordance with engineers details.

S4.55 additional structural columns and footing required by engineer for support shown thus.

S 4.55 Existing retaining wall to be replaced shown thus

S4.55 additional structural column

S4.55 Retaining wall to be straightened as shown and installed as per the engineers details

 **northern beaches council**

HIGHLY VEGETATED AREA

MULTI/S4/H9

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S4.55 (1A) modification



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ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT	DATE #	DWG #	
Mr D Chapman and Mrs H Chapman	03/10/19	A005	E
DWG	SCALE @ A3	1:100	
Lower Ground Floor Plan	DRAWN	AW	
	CHKD		
	REVISION	E	



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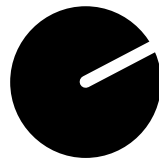
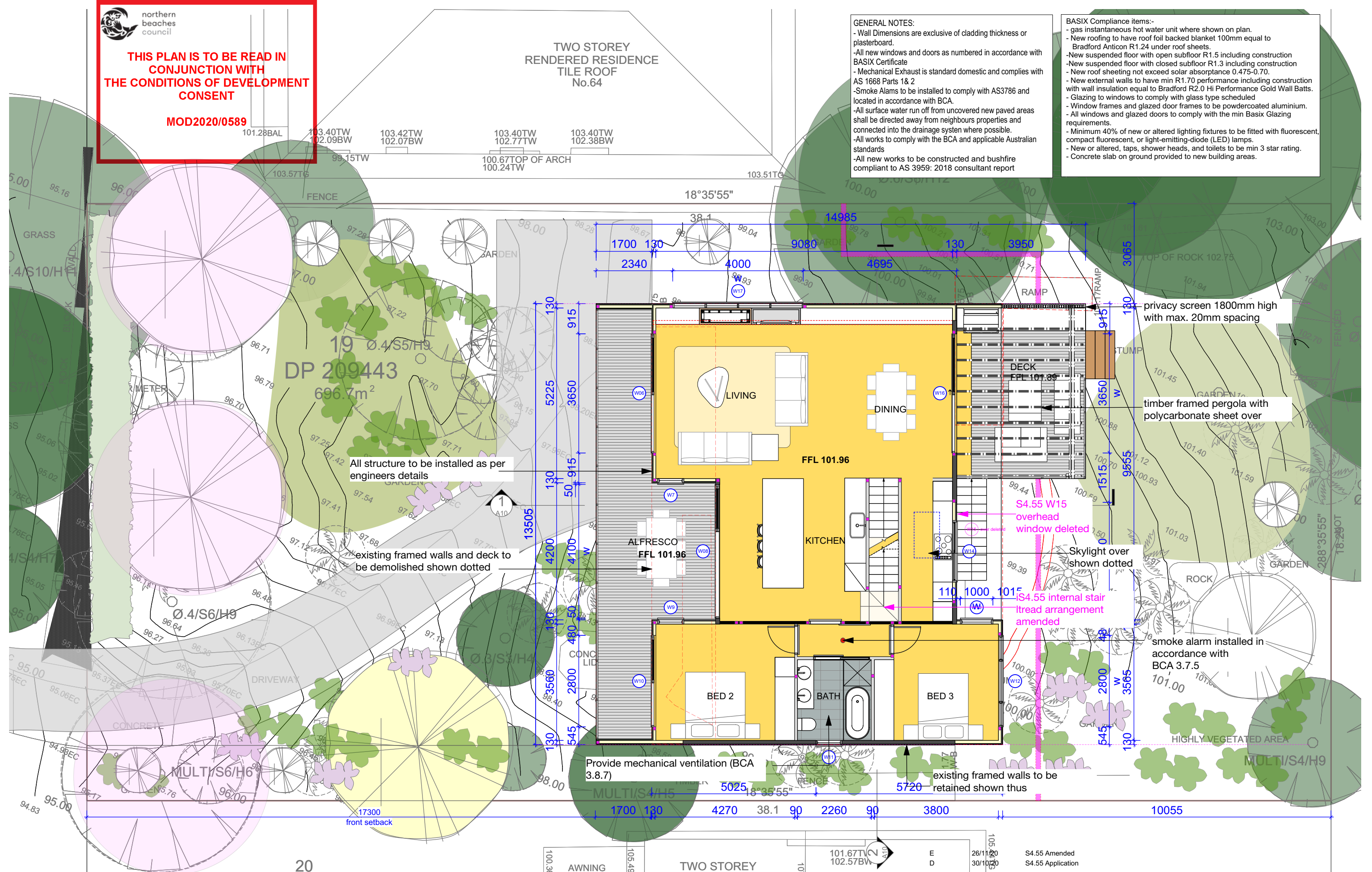
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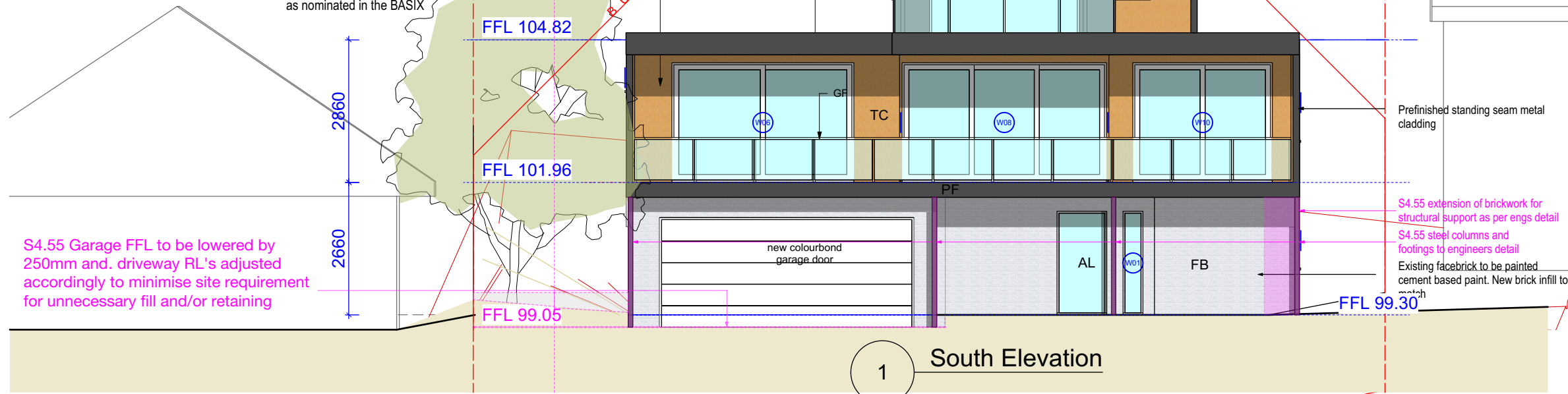
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ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT			DWG #
Mr D Chapman and Mrs H Chapman	DATE # 03/10/19		A006 E
DWG	SCALE @ A3 1:100		REVISION
Ground Floor Plan	DRAWN AW		E
	CHKD		

TWO STOREY
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No.60

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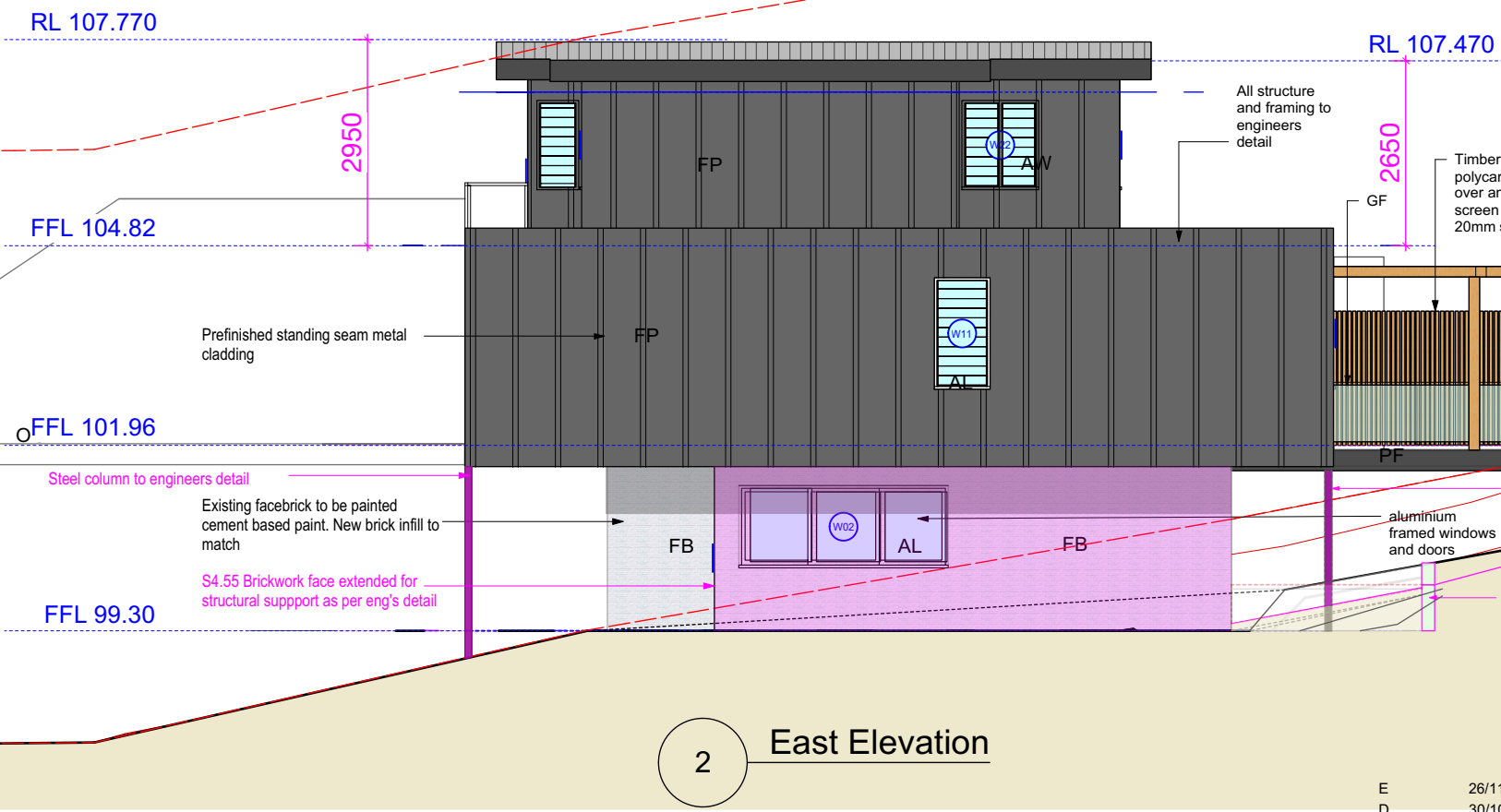
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MATERIALS AND FINISHES

FB -Face brickwork painted
FP - Prefinished Feature standing seam cladding as selected
FC-Prefinished fibre cement cladding
CR -Colorbond roofing (Monument)- non reflective
DP -Colorbond downpipe (Monument)
CW - Rendered Concrete wall
AW-Aluminium windows & doors
OG -Opaque glazing
PF - Painted Timber Fascia
RB- Rendered Brickwork/Blockwork
SK -Skylight - Aluminium
TS -Timber Privacy Screen
TC- Timber Cladding
AS- Aluminium Screen
TP -Hardwood Timber Pergola- painted steel
BH -Timber handrail & painted steel balustrade
MB -Painted steel balustrade
SW -Stone Wall
RT - retractable timber/ aluminium louvres
PT - Paver/tiles
TR- Flat profiled concrete tiled roof
GF - Glass Balustrade

2 East Elevation

E 26/11/20 Section 4.55 Amended
D 30/10/20 S4.55 Application

S4.55 (1A) modification

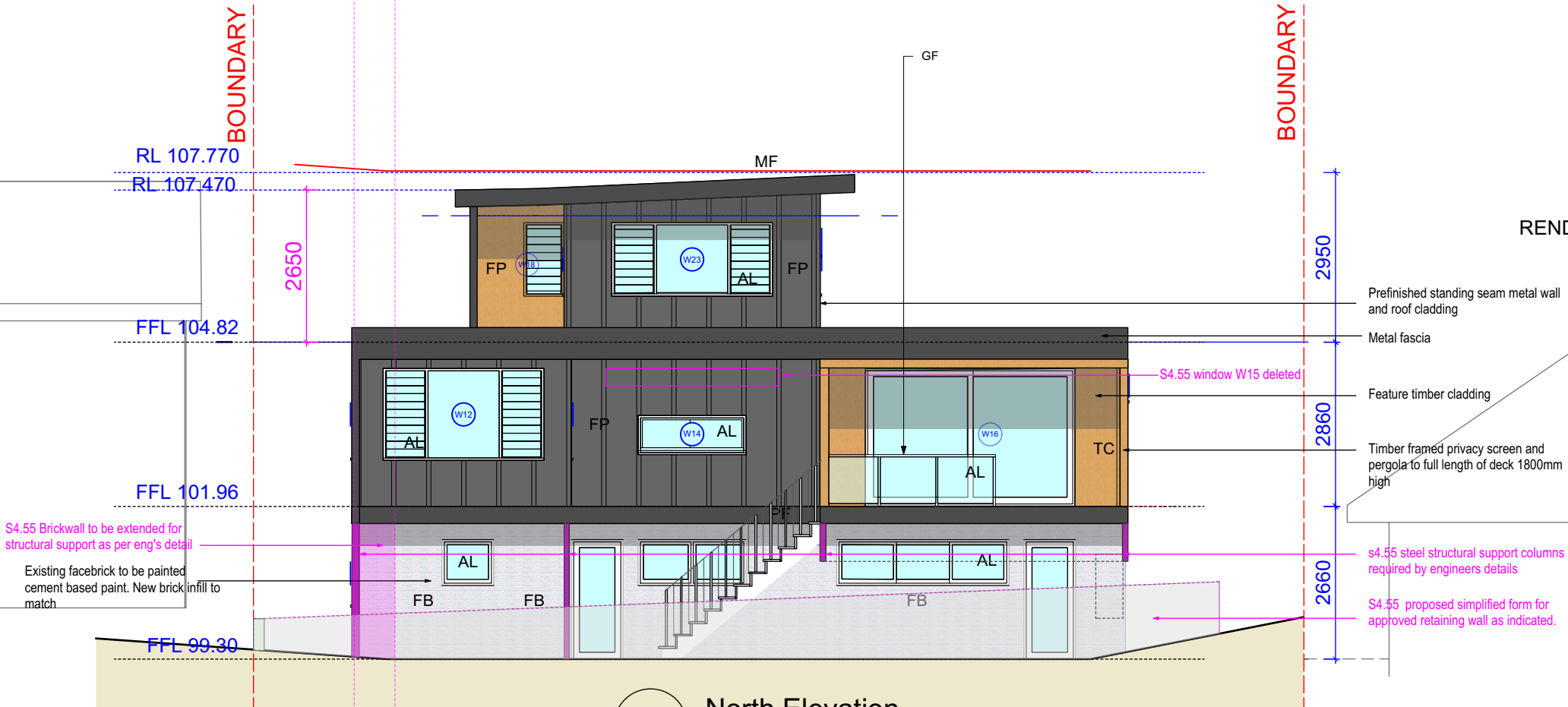
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ISSUE	DATE	REVISION
PROJECT	62 Riviera Avenue Avalon	PROJECT # 190501
CLIENT	Mr D Chapman and Mrs H Chapman	DATE # 03/10/19
DWG	Elevations	SCALE @ A3 1:100
		DRAWN AW
		CHKD
		REVISION E

TWO STOREY
RENDERED RESIDENCE
TILE ROOF
No.60

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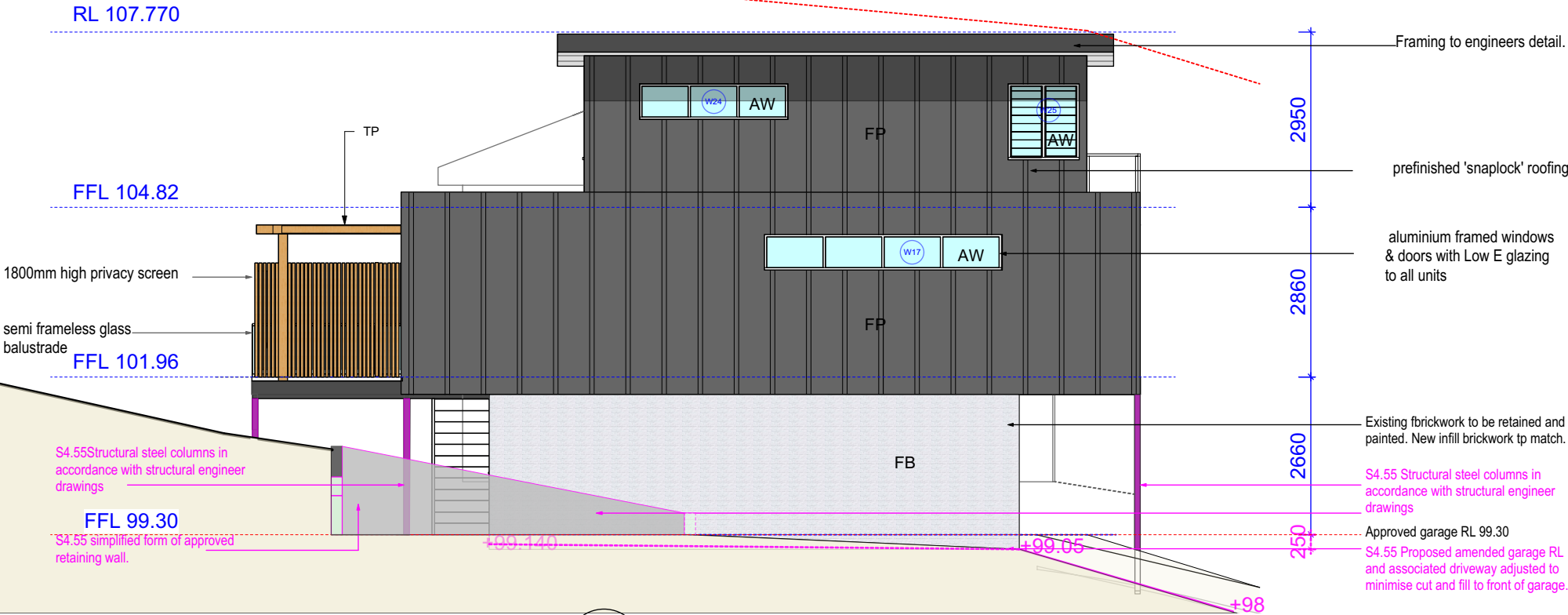
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SW -Stone Wall
RT - retractable timber/ aluminium louvres
PT - Paver/tiles
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GF - Glass Balustrade



4 West Elevation

E 26/11/20 S4.55 Amended
D 30/10/20 S4.55 Application

 S4.55 (1A) modification

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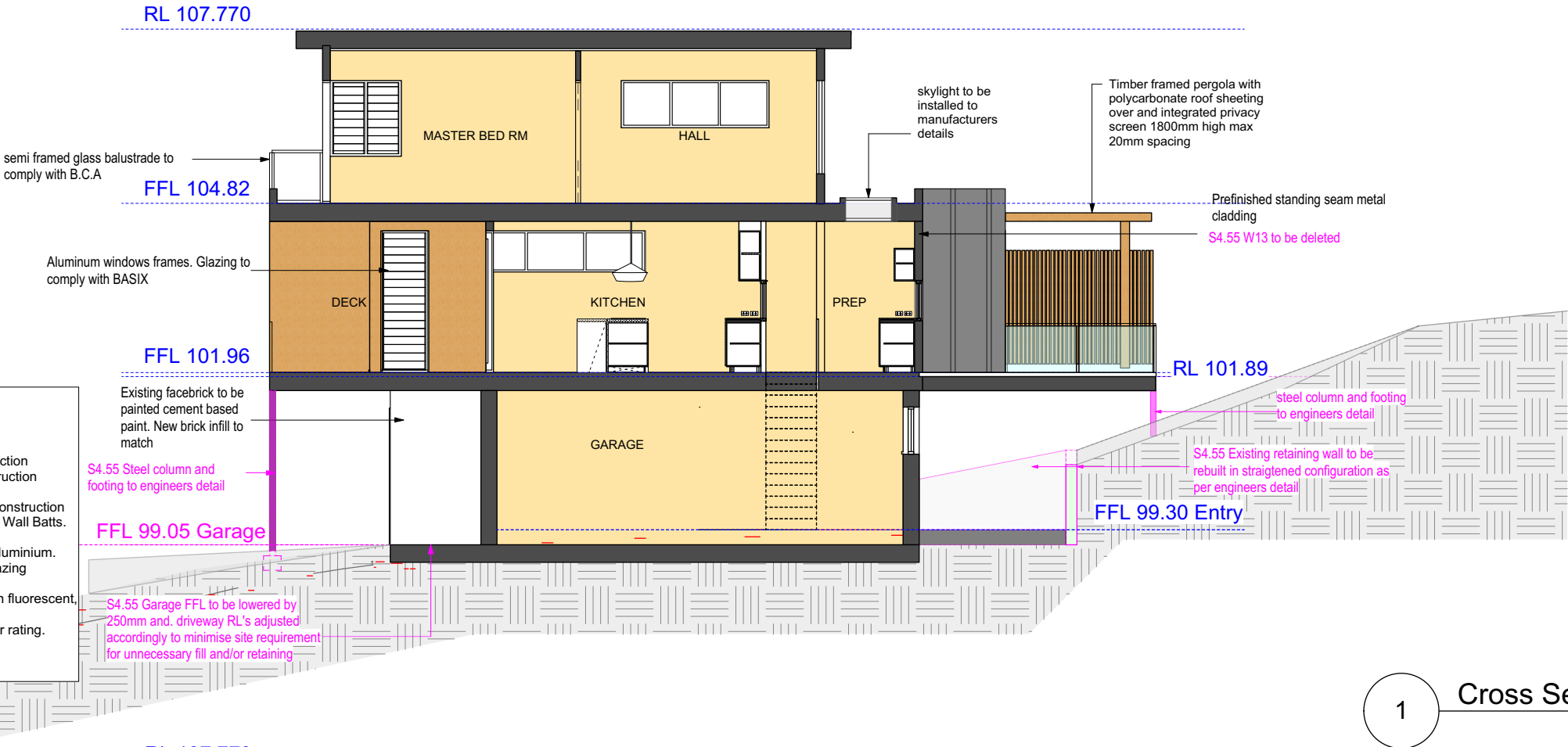
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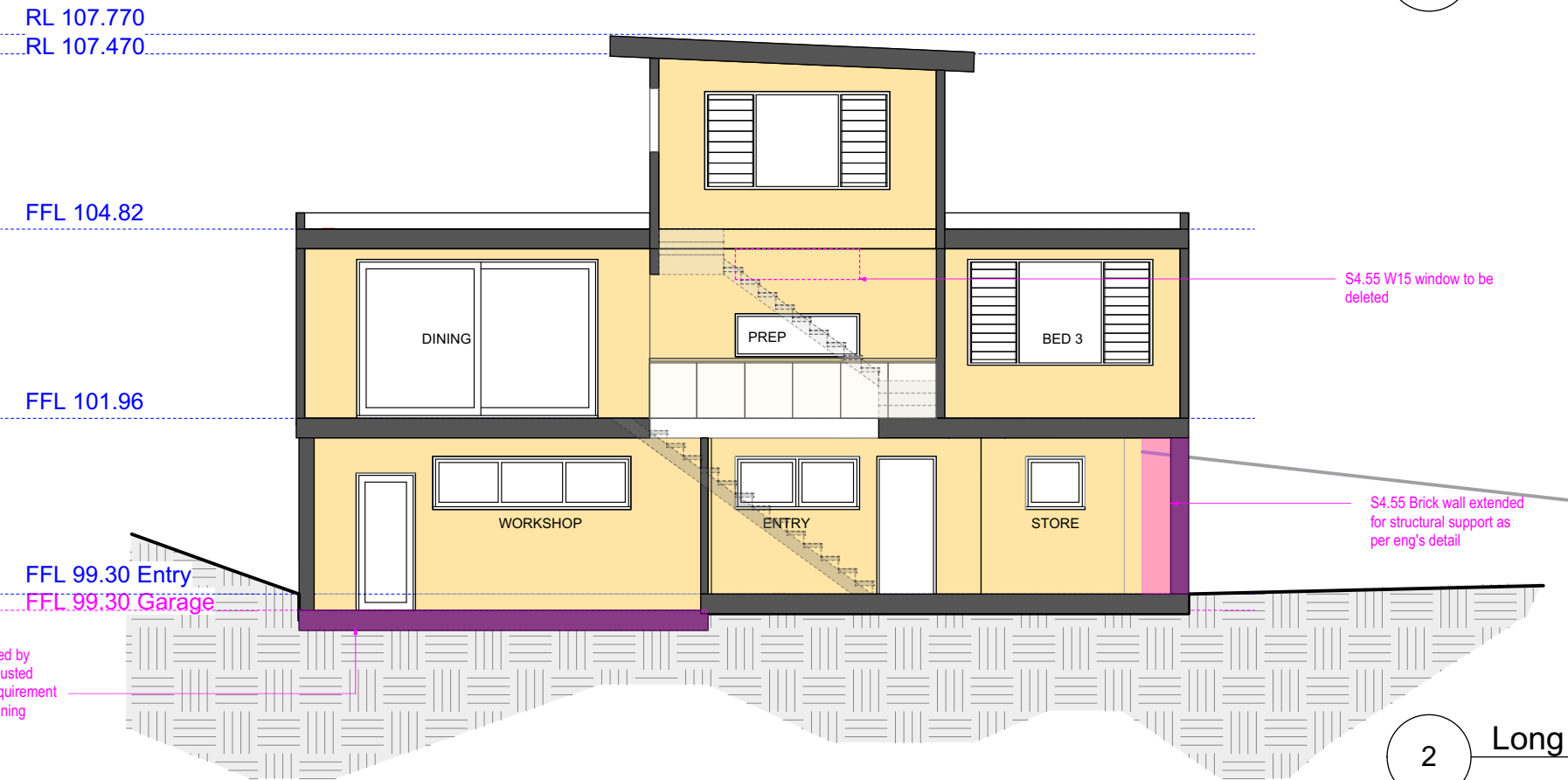
ISSUE	DATE	REVISION
PROJECT	62 Riviera Avenue Avalon	PROJECT # 190501
CLIENT	Mr D Chapman and Mrs H Chapman	DATE # 03/10/19 SCALE @ A3 1:100 DWG # A010 E
DWG	Elevations	DRAWN AW CHKD REVISION E

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1 Cross Section



2 Long Section

 **northern beaches council**

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E 26/11/20 S4.55 Amended
D 30/10/20 S4.55 Application

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ISSUE	DATE	REVISION	PROJECT #	
PROJECT			62 Riviera Avenue Avalon	
CLIENT			Mr D Chapman and Mrs H Chapman	DWG # 190501
DWG			Sections	A011 E
DATE #			03/10/19	REVISION E
SCALE @ A3			1:100	
DRAWN			AW	
CHKD				