

The background features a large blue diagonal shape on the left side. At the top left, there is a photograph of a person's feet wearing grey shoes on a grey tactile paving surface. At the bottom, there is a photograph of a silver wheelchair on a grey floor.

# Development Application **ACCESS REPORT**

**Reference Number:** 22075

**Client:** Crowther Investments (NSW) P/L

**Site Address:** 3 Gondola Rd, North Narrabeen, NSW

**Vista Access Architects Pty. Ltd.**

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## Executive Summary and Design Compliance Statement

This Access Compliance Report is to accompany a Development Application (DA) for the development proposed at **3 Gondola Rd, North Narrabeen, NSW**

The development is within Northern Beaches Council LGA and proposes a **New Building**. The Council requires 20% of Adaptable units to a **Class C** level. The development proposes the following:

Residential units	8
Adaptable units	2
Livable Housing Units	2
Commercial/ Retail units	1
Accessible parking spaces for commercial/ Retail use	1
Accessible parking spaces for Adaptable units	2

The development has building classification as detailed below:

- Class 2 (building containing more than 2 SOUs i.e., sole-occupancy units)
- Class 5 (office building for professional or commercial use)
- Class 6 (shops, sale of goods and services by retail)
- Class 7a (car park)

This report is based on the relevant components of:

- Building Code of Australia (BCA) 2019, Volume 1- Performance requirements of DP1, DP2, DP8, DP9, EP3.4, FP2.1 and Parts D2, D3, E3 and F2 (where applicable)
- Disability (Access to Premises-Building) Standards 2010 (henceforth referred to as APS)
- AS1428.1-2009 Part 1: General requirements for access, including any amendments
- AS1428.4.1-2009 Part 4.1: TGSIs (Tactile ground surface indicators), including any amendments
- AS2890.6-2009 Part 6: Off-street parking for people with disabilities.
- AS4299-1995 Adaptable Housing
- AS1735-1999 Lift types included in the BCA including Part 12: Facilities for persons with disabilities
- State Environmental Planning Policy 65 (SEPP 65), Objective 4Q1, relating to requirements of the provision of Livable Housing Australia's Silver Level Apartments
- Livable Housing Australia's Livable Housing Design Guidelines- Fourth Edition

The assessment of the proposed development has been undertaken to the extent necessary to issue DA consent under the Environmental Planning and Assessment Act. The proposal achieves the spatial requirements to provide access for people with a disability and it is assumed that assessment of the detailed requirements such as assessment of internal fit-out, details of stairs, ramps and other features will occur at CC (Construction Certificate) stage.

By compliance with the recommendation in this report, the development complies with the requirements of Access Code of Disability (Access to Premises-Building) Standards 2010, the Disability Access relevant sections of Building Code of Australia 2019 and the essential criteria of AS4299-Adaptable Housing. the requirements of SEPP 65 related to Objective 4Q1 - Livable Housing

The information contained in this statement is true and accurate to the best of our knowledge. Our qualifications and accreditations are listed below.

### Assessed by



Jenny Desai

Accredited Access Consultant and LHA Assessor  
ACAA Accredited Membership number 572  
Qualified- Certificate IV in Access Consulting  
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### Peer reviewed by



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Vista Access Architects Pty. Ltd.

## Relevant Dates:

Fee proposal, number FP-21966 dated 17/12/2021. Fee proposal was accepted by Client on 2/03/2022

## Assessed Drawings:

The following drawings by Mackenzie Architects have been assessed for compliance.

Drawing no	Issue	Date	Details
A1001	A	18-05-2022	Basement 1
A1002	A	18-05-2022	Lower Ground floor
A1003	A	18-05-2022	Upper Ground floor
A1004	A	18-05-2022	First floor plan
A1005	A	18-05-2022	Second floor plan
A1006	A	18-05-2022	Roof top/COS
A3006	A	18-05-2022	Pre-adaptable + Silver
A3007	A	18-05-2022	Post-adaptable

## Document Issue:

Issue	Date	Details
Draft 1	08-03-2022	Issued for Architect's review
Draft 2	22-04-2022	Issued for Architect's review
A	11-05-2022	Issued for DA
A	24-05-2022	Issued for DA

## Limitations and Copyright information:

This report is based on discussions with the project architect and a review of drawings and other relevant documentation provided to us. No site visit was undertaken for the purposes of this report.

This assessment is based on the provided drawings and not based on constructed works; hence the assessment will provide assurance of compliance only if all the recommendations as listed in this report are complied with and constructed in accordance with the requirements of the current BCA, AS1428.1, AS2890.6 and other latest, relevant standards and regulations applicable at the time of construction.

Assessment is based on classification/use of the building. If the class of the building changes to any other building class, this access report will have to be updated accordingly.

**Unless stated otherwise, all dimensions mentioned in the report are net (CLEAR) dimensions and are not to be reduced by projecting skirting, kerbs, handrails, lights, fire safety equipment, door handles less than 900mm above FFL (finished floor level) or any other fixtures/fit out elements. When we check drawings, we assume that the dimensions noted are CLEAR dimensions and therefore the Architect / Builder shall allow for construction tolerances.**

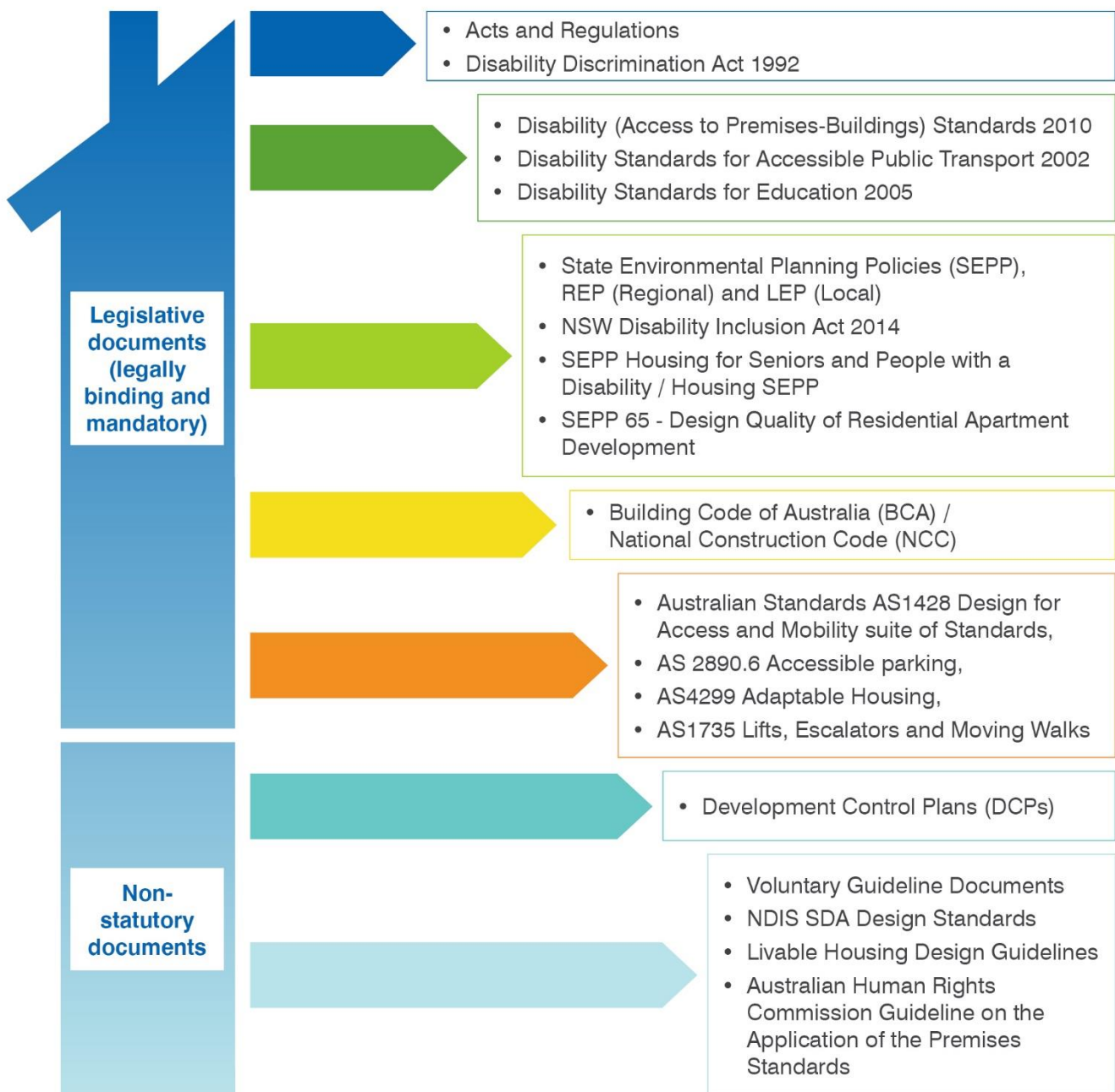
Only some numerical requirements from relevant AS (Australian Standards) have been noted in the report and for further details and for construction purposes refer to the latest relevant AS.

This report and all its contents including diagrams are a copyright of Vista Access Architects Pty Ltd (VAA) and can only be used for the purposes of this specific project. Copy-pasting diagrams from this report to Architectural plans will constitute copyright infringement.

**This report does not assess compliance matters related to WHS, Structural design, Services design, Parts of DDA other than those related to APS or Parts of BCA or Parts of AS other than those directly referenced in this report. VAA gives no warranty or guarantee that this report is correct or complete and will not be liable for any loss arising from the use of this report. We will use our best judgement regarding LHA assessments. However, we are not to be held responsible if another licenced LHA assessor comes to a different conclusion about compliance, certification, or allocation of a particular Quality mark to us as several items in LHA are subject to interpretation.**

We have no ability to check for slip resistance of surfaces. All wet areas, parking areas, pavement markings shall have the appropriate slip resistance for the location. We also have no ability to check for wall reinforcements once the walls have already been constructed. The builder shall take full responsibility that the requirements listed in this report are met and the construction and slip resistance shall be as per requirements of AS1428.1/ AS4299 / AS2890.6/ AS3661/ AS4586/ HB197/ HB198 and any other applicable regulation and Australian Standard

## Hierarchy of Access-related Legislation and Standards



The Federal Disability Discrimination Act 1992 (DDA) provides protection for everyone in Australia against discrimination based on disability. Section 32 of the DDA focuses on the provision of equitable and dignified access to services and facilities for people with mobility, sensory and cognitive disabilities.

Disability discrimination happens when people with a disability and their relatives, friends, carers, co-workers or associates are treated less fairly than people without a disability.

Compliance with Access to Premises Standards give certainty to building certifiers, building developers and building managers that, if access to (new parts) of buildings is provided in accordance with these Standards, the provision of that access, to the extent covered by these Standards, will not be unlawful under the DDA. This however applies only to the new building or new parts of an existing building and its affected part. All areas outside the scope of these areas are still subject to the DDA. We cannot guarantee or certify for DDA compliance because DDA compliance can only be assessed by the Courts.

Scope of DDA extends beyond the building fabric and also includes furniture and fittings.



# Compliance assessment with Access related requirements of BCA and Disability (Access to Premises-Building) Standards 2010 (APS)

Development consists of new building/s and therefore compliance is required to full development

## BCA Part D3 Access for People with a Disability BCA D3.1 General building Access requirements

SOU refers to a Sole Occupancy Unit

### Requirement

**Class 2** - building containing more than 2 SOUs i.e. sole-occupancy units

For residential use components, access is required:

- From a required accessible pedestrian entrance to at least 1 floor with SOUs and till the entry of door of each SOU on that level.
- To and within 1 of each type of room or space in common use.
- Where floor is accessed by an AS1428.1 ramp or lift, access is required to the entry doorway of each SOU on that level and to and within all common use areas on that level.

### Compliance

Complies

### Comments

- Access has been provided from the main pedestrian entry doorway to the entry doors of all SOUs on all levels by means of accessible pathways and lifts.
- Access has been provided to at least 1 of each common use areas
- Where common use areas are on a floor that is accessible by means of a ramp or lift (Ground floor level and Roof Level in this case), access has been provided to the same.
- Access has been provided to common use garbage storage rooms
- Access is provided to common use letterbox area with min 1540x2070mm flat circulation space in front of the letterboxes.
- As a minimum 1550mm clear space is required in front of any common use kitchen benchtops / BBQ areas provided in the development
- All Accessway widths are to be a minimum of 1M clear (measured from skirting to skirting) with vertical clearance of at least 2M

### Advisory note for any common use kitchen or BBQ areas

- It is suggested that kitchen / BBQ areas could be made partially accessible by providing a workspace of 900mm width next to the sink/cooktop/BBQ as vacant space (without cabinetry under the bench top)
- Provide long lever tap to sink with and handle and water source being within 300mm from the front edge of the benchtop.
- Provide 1 double GPO within 300mm from the front edge of the benchtop.

Details to be verified at CC stage of works.

## Requirement

**Class 5 / 6** - Commercial/ Retail.

- To and within all areas that are normally used by the occupants.

## Compliance

Complies

### Comments

- Access has been provided to and within all areas required to be accessible.
- Access has been provided to common use garbage storage rooms
- All Accessway widths are to be a minimum of 1M clear (measured from skirting to skirting) with vertical clearance of at least 2M

#### Advisory note for any common use kitchenettes

- It is recommended that kitchen areas could be made partially accessible by providing a workspace of 900mm width next to the sink/cooktop as vacant space (without cabinetry under the bench top)
- Provide long lever tap to sink with handle and water source being within 300mm from the front edge of the benchtop.
- Provide 1 double GPO within 300mm from the front edge of the benchtop.

#### Advisory note for Reception tables.

- It is recommended that a lower section for a width of 900mm could be provided to be able to be used by a person in a wheelchair. Height of the FFL (finished floor level) to the top of the table to be 850+/-20mm and height of clearance beneath the unit from the FFL to be 820+/-20mm

Details to be verified at CC stage of works.

## Requirement

**Class 7a** - Covered car park.

- To and within any level containing accessible carparking spaces.

## Compliance

Complies

### Comments

Access has been provided to all levels containing Accessible carparking spaces.

All Accessway widths are to be a minimum of 1M clear (measured from skirting to skirting) with vertical clearance of at least 2M

Details to be verified at CC stage of works.

## BCA Part D3.2 Access to buildings

### Requirement

#### Accessway is required from:

- Main pedestrian entry at the site boundary for new buildings.
- Any other accessible building connected by a pedestrian link.
- Accessible car parking spaces.

### Compliance

Complies

### Comments

#### Residential component:

- Access by means of BCA compliant lift has been provided from the main pedestrian entry at the site boundary.
- Access has been provided from accessible car parking spaces by means of lifts.

#### Commercial / Retail component:

- Access by means of BCA compliant lift has been provided from the main pedestrian entry at the site boundary.
- Access has been provided from accessible car parking spaces by means of lifts.

Details to be verified at the CC stage of works.

### Requirement

#### Common use External Walkway / Pedestrian access requirements as per AS1428-2009:

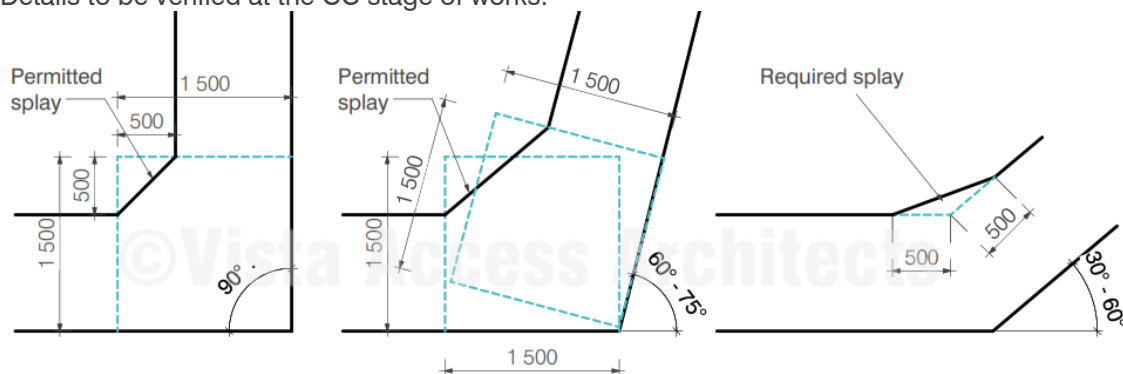
- Accessible path of travel to have a gradient no steeper than 1 in 20 and a cross fall no steeper than 1:40 (1:33 for bitumen).
- For 1:20 grade walkways, landings are required every 15M.
- The floor surface abutting the sides of the walkway to be provided with a firm and level surface (of a different material) at the same level and grade of the walkway and extend horizontally for a minimum of 600mm unless one of the following is provided: kerb, kerb-rail and handrail or wall of minimum 450mm height.
- Curved walkways to be min 1500mm width with crossfall towards the centre of curvature.
- At 90-degree bends in pathways provide a 1500mmx1500mm space with maximum 500mm splay permitted at internal corner.

### Compliance

Complies with spatial requirements

### Comments

Details to be verified at the CC stage of works.



[Image description: Spatial requirements of walkways with bends as per AS1428.1.1]



<b>Requirement</b>	
<p><b>Common use floor or ground surfaces</b></p> <ul style="list-style-type: none"> <li>Use slip-resistant surfaces</li> <li>The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability.</li> <li>Abutment of surfaces is to have a smooth transition.</li> <li>Construction tolerances to be +/- 3mm vertical or +/-5mm, provided the edges have a bevelled or rounded edge (See diagrams below)</li> </ul> <p><b>Grates if used in the accessible path of travel are required to comply with the following:</b></p> <ul style="list-style-type: none"> <li>Circular openings maximum of 13 mm in diameter</li> <li>Slotted openings maximum of 13 mm wide and be oriented so that the long dimension is transverse to the dominant direction of travel</li> </ul> <p>Where slotted openings are less than 8 mm, the length of the slots may continue across the width of paths of travel</p>	
<b>Compliance</b>	Capable of compliance
<b>Comments</b>	
Details to be verified at the CC stage of works.	

<b>Requirement</b>	
<p><b>Accessway</b> is required through:</p> <ul style="list-style-type: none"> <li>Principal pedestrian entry; and</li> <li>Not less than 50% of all pedestrian entrances; and</li> <li>In building with floor area over 500m<sup>2</sup>, a non-accessible entry must not be located more than 50M from an accessible entry.</li> </ul>	
<b>Compliance</b>	Complies
<b>Comments</b>	
All pedestrian entries have been designed to be accessible.	

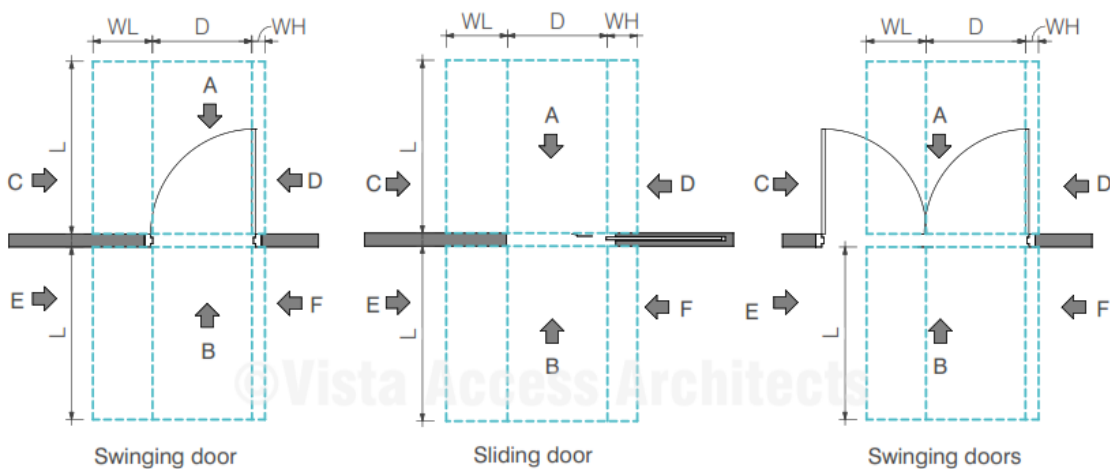
<b>Requirement</b>	
<p><b>All common use doorways and doorways to and within Adaptable units</b> to comply with AS1428.1. Where accessible pedestrian entry has Multiple doorways:</p> <ul style="list-style-type: none"> <li>At least 1 to be accessible if 3 provided</li> <li>At least 50% to be accessible, if more than 3 provided</li> <li>Where doorway has multiple leaves, at least 1 leaf is to have clear opening of 850mm (excluding automatic doors)</li> </ul> <p><b>Doorway requirements</b></p> <ul style="list-style-type: none"> <li>All common use doorways in the development within accessible path of travel (other than non-accessible sanitary facilities) to have a clear opening of at least 850mm with appropriate door circulation spaces in accordance with AS1428.1. In case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1.</li> <li>Ambulant toilet cubicle door to have a clear door opening of 700mm.</li> <li>Space required for door circulation spaces to have a maximum floor grade of 1:40 (doorway threshold ramps are permitted within the circulation space).</li> </ul>	

- Door thresholds are to be level, or they can incorporate a doorway threshold ramp with a maximum grade of 1:8, for maximum rise of 35mm and a maximum length of 280mm and located within 20mm of the door leaf, with edges to be tapered or splayed at a minimum of 45° where it does not abut a wall.
- Sliding doorways to be provided with recessed floor tracks to enable flush transition from the inside of the building.
- Distance between successive doorways in airlocks to be 1450mm which is measured when the door is in open position in case of swinging doors.
- Door hardware including door handles, door closers and the in-use indicators / snibs in accessible and ambulant toilets are required to comply with requirements of AS1428.1.
- Luminance contrast requirements to doorways and other glazed areas to comply with AS1428.1

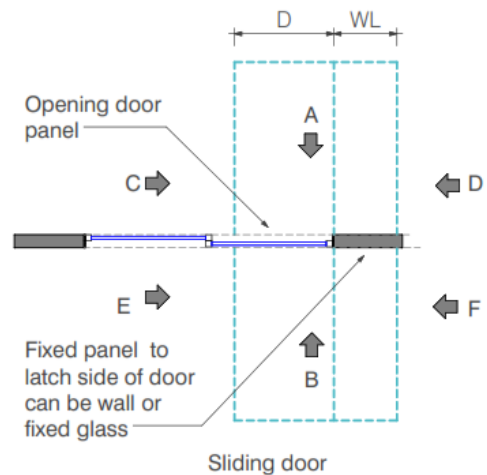
**Compliance** Complies

### Comments

Details to be verified at the CC stage of works.

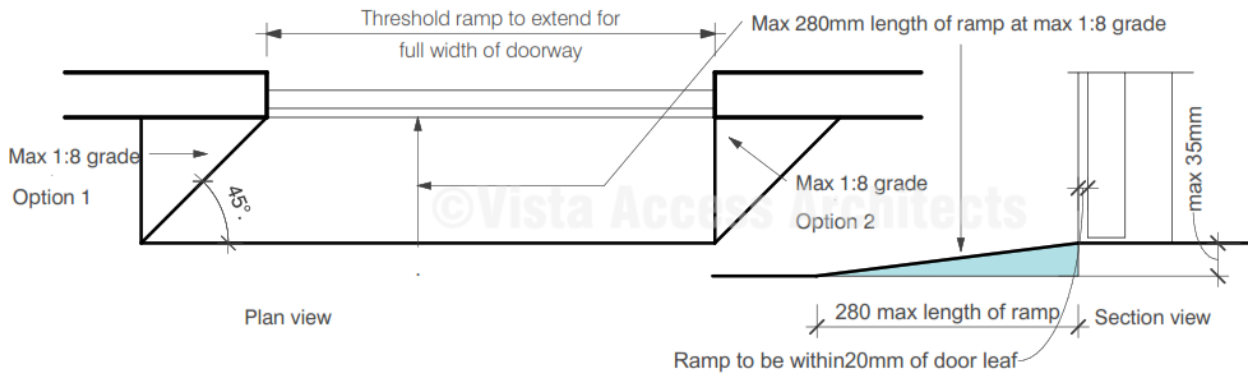


Hinged / Swinging door				Sliding door			
Direction	L	WL	WH	Direction	L	WL	WH
A	1450	530	110	A	1450	530	0
B	1450	510	0	B	1450	530	0
C	1670	900	110	C	1230	660	185
D	1670	900	660	D	1280	660	395
E	1240	660	240	E	1230	660	185
F	1220	340	560	F	1280	660	395
C & D	1670	900	660	C & D	1280	660	660
E & F	1240	660	560	E & F	1280	660	660

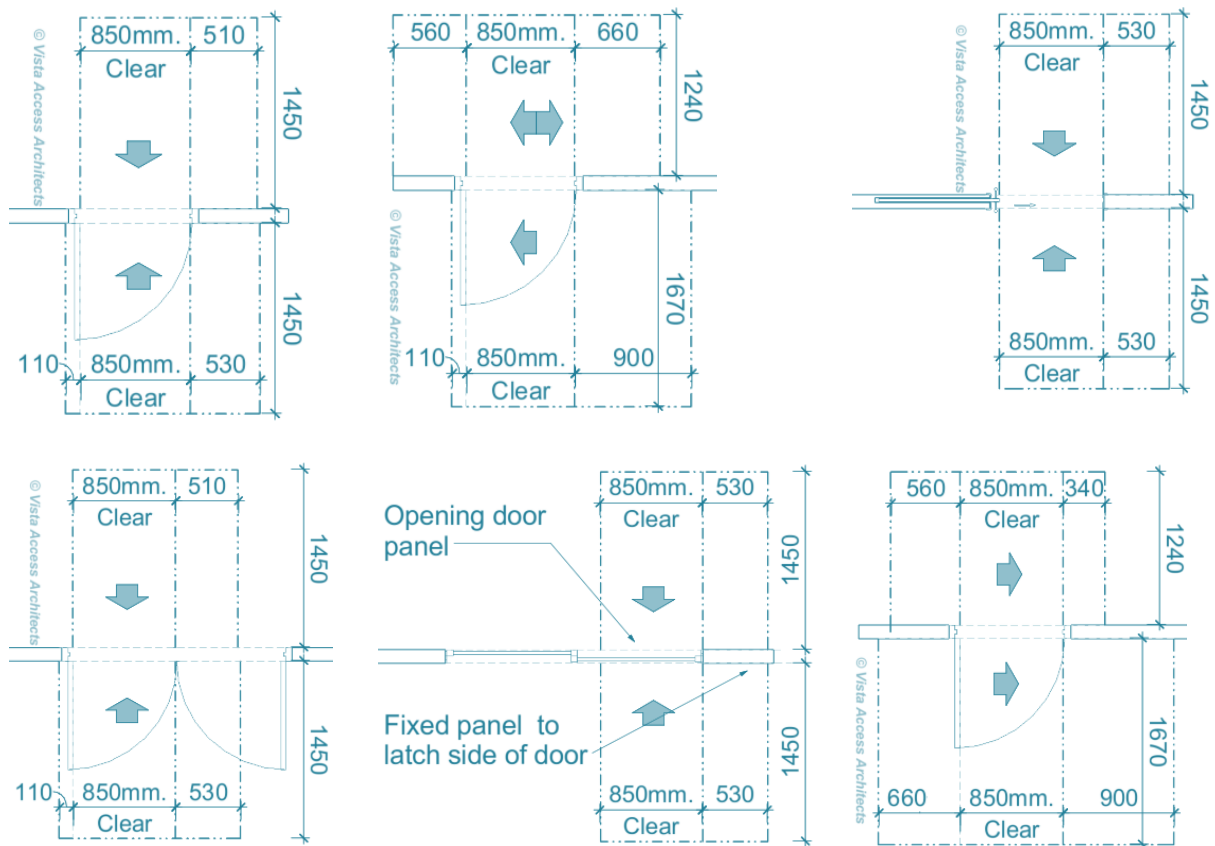


[Image description: Diagram showing requirements for door circulation spaces and door threshold requirements as per AS1428.1 for clear opening (D)=850mm]

For surface mounted sliding doors, circulation space on the opposite side of the door face will increase by the value of the wall thickness to the face of the door.



[Image description: Diagram showing requirements for door circulation spaces and door threshold requirements as per AS1428.1]



[Image description: Typical door circulation spaces]

## BCA Part D3.3 Parts of buildings required to be accessible

### Requirement

Every common use **Ramp** with grades steeper than 1:20 and less than or equal to 1:14 (excluding fire-isolated ramp) is to be compliant with Clause 10 of AS1428.1

**Compliance** N/A

### Comments

No 1:14 ramps have been identified in the development.

### Requirement

**Step ramp** if provided in common use areas is to be compliant with AS1428.1-2009 and NCC/BCA

**Compliance** N/A

### Comments

No step ramps have been identified in the development.

### Requirement

**Kerb ramp** if provided in common use areas is to be compliant with AS1428.1-2009

**Compliance** N/A

### Comments

No kerb ramps have been identified in the development.

### Requirement

Every **Stairway** in common use areas (excluding fire-isolated stairway) is to be compliant with:

- Clause 11 of AS1428.1-2009 (including but not limited to opaque risers, handrails on both sides including appropriate handrail extensions between 1M clear width and compliant nosing strips).
- Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
- Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.

**Compliance** Complies with spatial requirements

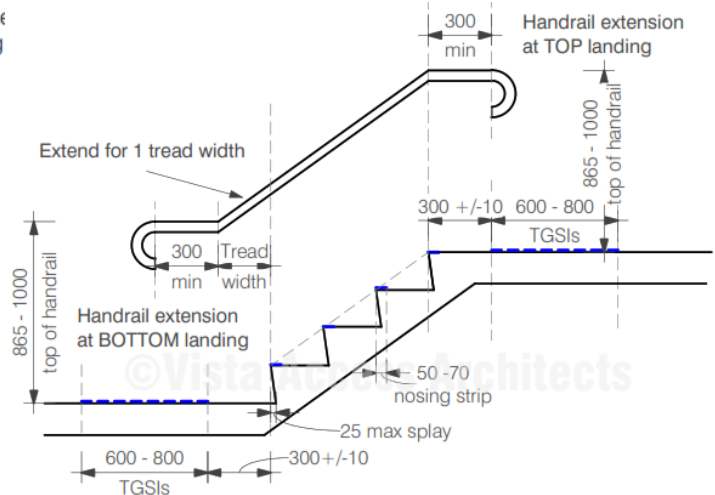
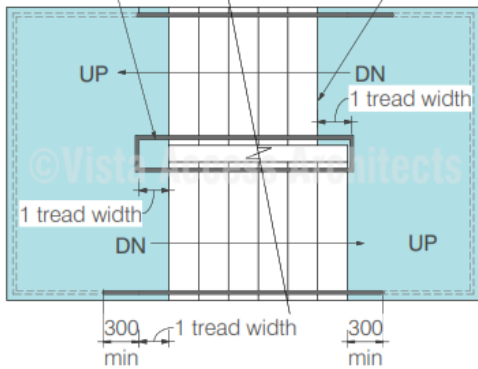
### Comments

Where non-fire-isolated stairways have been provided, the features of the stairway will be assessed with the requirements of AS1428.1-2009 at the CC stage of works

**Note:** In some cases, the stairway from the basement to the ground floor level is considered to be non-fire-isolated, in which case full compliance will be required as per AS1428.1-2009. Verify with the BCA consultant if this is the case.

**Note:** For stairways with 90° to 180° turns at landings, in order for the handrails to comply with the consistent height requirement, the risers have to be offset at the mid-landings so that no vertical sections are created in the handrails. This applies to both non- fire-isolated and fire-isolated stairways.

Option A- extend handrail by 1 tread at midlanding  
Option B- offset first rise going up at midlanding



[Image description: Diagram showing the requirements of a non-fire-isolated stairway as per AS1428.1]

600-800 TGSIs are required where the distance of the landing is 3000mm or more. For landings less than 3000mm, reduce the width of TGSIs to 300-400

## Requirement

Every **Fire-isolated Stairway** is to be compliant with AS1428.1-2009 in the following aspects:

- Handrail on one side (requirement under D2.17) with 1M clear space. Handrail extensions are not required however since the handrails cannot have any vertical sections and since handrail is required to be at a consistent height throughout the stairway including at landings, it may be essential to either provide handrail extensions or offset first riser going up at mid landings to achieve this at 90° to 180° turns.
- Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
- Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.

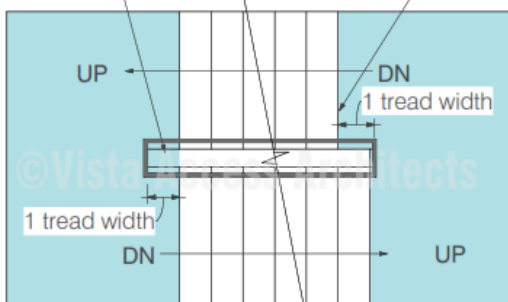
## Compliance

Complies with spatial requirements

## Comments

Where fire-isolated stairways have been provided, the features of the stairway will be assessed with the requirements of AS1428.1-2009 at the CC stage of works  
Handrails to both sides are not required, however the internal handrail is to be continuous and to comply with all requirements of non-fire-isolated stairways.

Option A- extend handrail by 1 tread at midlanding  
Option B- offset first riser going up at midlanding



[Image description: Diagram showing the requirements of a fire-isolated stairway as per AS1428.1]

## Requirement

**Nosing strips** for common use fire-isolated and non-fire-isolated stairways require the following:

- Each tread to have a nosing strip between 50mm-75mm depth (of any one colour) for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing.
- Multiple strips making up the 50mm-75mm depth is NOT permitted.
- This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
- Where the nosing strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10mm
- Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.
- Option 3 shown in image below can only be provided as a performance solution subject to PCA consent.

## Compliance

Capable of compliance

## Comments

Detailed features of the nosing strips will be assessed with the requirements of AS1428.1 at the CC stage of works.

## Requirement

### Slip resistance requirements as per BCA

BCA Table D2.14 has the following Slip –resistance requirements when tested in accordance with AS4586:

Application	Surface conditions	
	Dry	Wet
Ramp steeper than 1:14	P4 or R11	P5 or R12
Ramp steeper than 1:20 but not steeper than 1:14	P3 or R10	P4 or R11
Tread or landing surface	P3 or R10	P4 or R11
Nosing or landing edge strip	P3	P4

### Slip resistance requirements as per AS4299

AS4299 has slip resistance requirements based on requirements of AS3661 (Slip resistance of pedestrian surfaces) for the following areas:

- Floor surfaces in sanitary facilities including all toilets and bathrooms (essential feature).
- Floor surfaces in the kitchens and Laundries (essential feature).
- Pathways / walkways within the site, within landscaped areas, balconies and other external paved areas (desirable feature for Class A or B developments).
- AS3661.1-1993 is an old Australian standard which has been superseded with AS4586:2013 (Slip resistance classification of new pedestrian surface materials).

**HB 197/ HB198** An introductory guide to the slip resistance of pedestrian surface materials provides guidelines for the selection of slip-resistant pedestrian surfaces

## Compliance

Capable of compliance

## Comments

For Slip resistance of surfaces the builder is required to provide a Certificate stating that the Slip resistance of the surfaces comply with the above listed requirements when tested as per AS4586 at CC stage of works.



## Requirement

Every **Passenger lift** is to comply with the requirements of BCA E3.6.

**Compliance** Complies with spatial requirements

## Comments

This has been assessed further in the report in the Lifts section. Refer to Lifts section.

## Requirement

### Passing spaces requirement

It is a requirement to provide passing spaces in common use accessways complying with AS1428.1 at maximum 20 M intervals, where a direct line of sight is not available. Space required is 1800x2800mm (in the direction of travel). Chamfer of 400x400mm is permitted at corners.

**Compliance** N/A

## Comments

There are no accessways over 20M lengths in the development where a direct line of sight is not available.

## Requirement

### Turning spaces requirement

It is a requirement to provide turning spaces in common use accessways complying with AS1428.1-2009 within 2M of the end of accessways where it is not possible to continue travelling and at every 20M intervals. CLEAR Space required is 1540mmx2070mm in the direction of travel (measured from skirting to skirting).

**Compliance** Complies with spatial requirements

## Comments

- Adequate turning spaces have been provided with minimum common use passageway widths being 1540mm clear or alternatively a space of 1540mmx2070mm provided at or within 2M of the end of the passageway.
- A space of 1540mmx2070mm is also required / provided in front of all passenger lift doors.

Details to be verified at CC stage of works.

## Requirement

### Carpet specifications

Carpet if used in areas required to be accessible are to be provided with pile height or thickness not more than 11mm and carpet backing not more than 4mm bringing the total height to a maximum of 15mm.

**Compliance** Capable of compliance

## Comments

Applies only if carpets are provided in the common use areas of residential component and to all commercial use areas Details to be verified at CC stage of works.

## BCA Part D3.4 Exemption

### Requirement

**Access is not required to be provided in the following areas:**

- Where access would be inappropriate because of the use of the area
- Where area would pose a health and safety risk
- Any path which exclusively provides access to an exempted area

**Compliance** For information only

### Comments

Areas such as lift machine rooms, fire services room, commercial kitchens etc. in the development are exempted from providing access under this clause due to WHS concerns.

Where a caretaker is provided in the development, the toilet provided exclusively for use by the caretaker can be excluded from providing access based on the provisions in this clause.

## BCA Part D3.5 Accessible Carparking

### Requirement

#### Class 2

There are no Accessible carparking requirements for a Class 2 under the BCA.

If adaptable housing has been mandated by the Council, then carparking spaces for Adaptable units will be required under the requirements of AS4299- Adaptable housing.

**Compliance** Complies

### Comments

Northern Beaches Council requires provision of 20% Adaptable units in the development. Development has total number of 8 units.  $20\% \text{ of } 8 = 1.6 = 2$  required Adaptable units. Therefore, 2 accessible / (AS4299 compliant) carparking spaces are required for the residential component of the development.

3 Accessible / (AS4299 compliant) car parking spaces have been provided in development for residential use.

One accessible/ (AS4299 compliant) parking space is required to be allocated to each of the Adaptable units and one allocated to residential visitor

Performance solution will be required for the column within the shared zone.

### Requirement

#### Class 5

- 1 Accessible car parking space per 100 carparking spaces

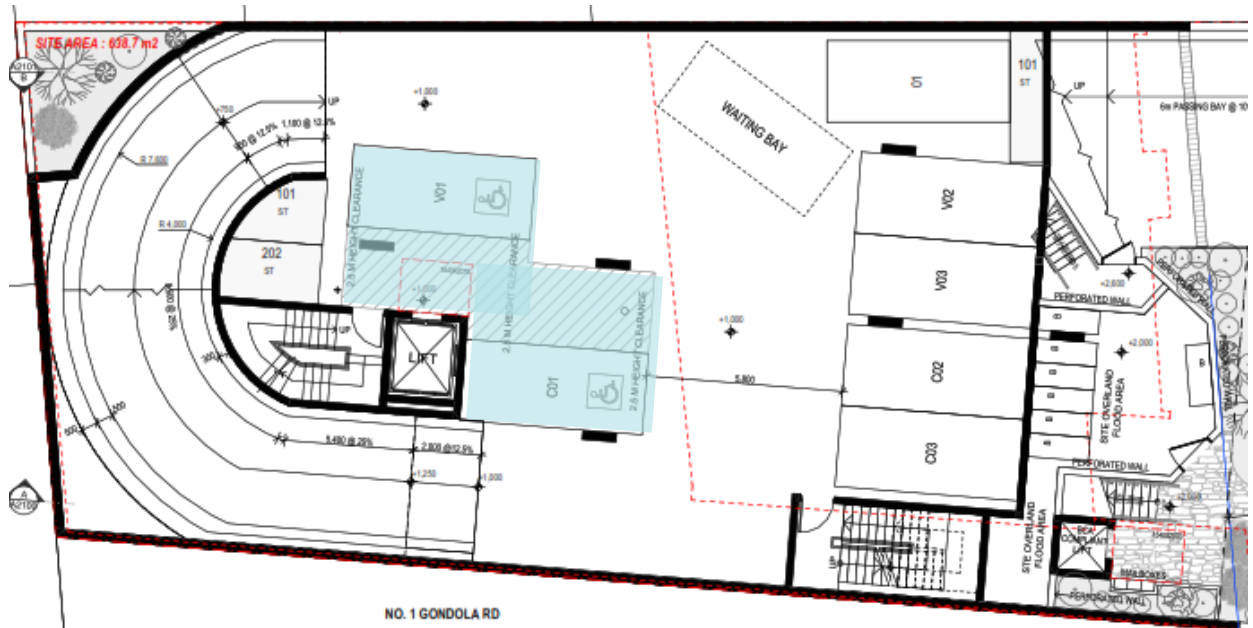
#### Class 6

- 1 Accessible car parking space per 50 carparking spaces (up to 1000 spaces) and additional 1 Accessible car parking space per additional 100 spaces provided

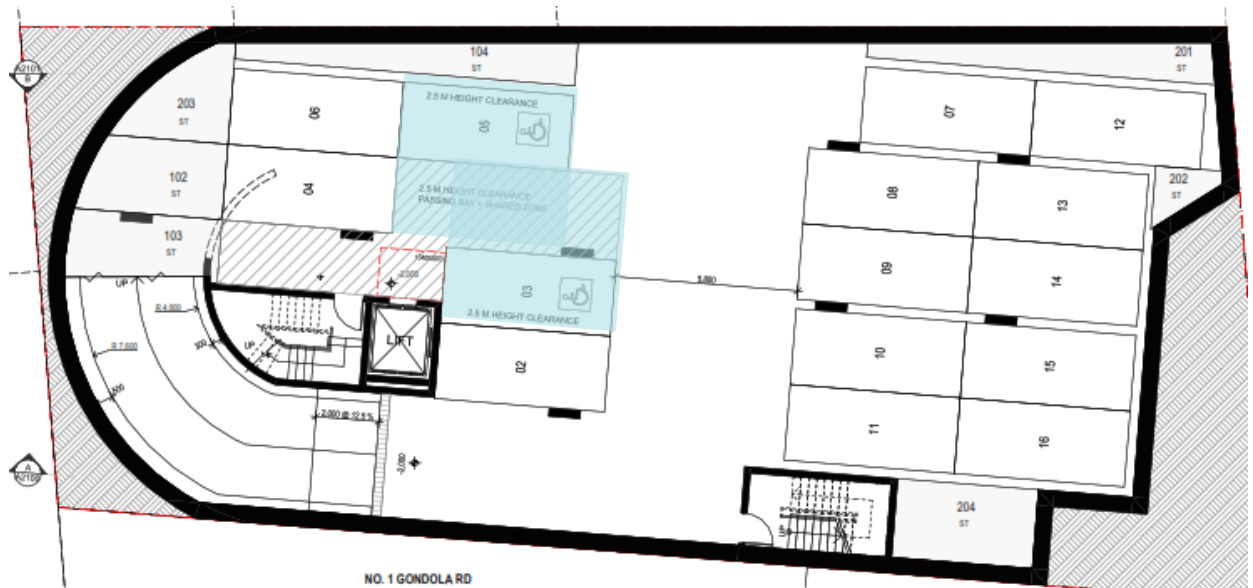
**Compliance** Complies

### Comments

Total number of Accessible parking spaces provided for the commercial component of the development = 1. This is to be allocated to visitor.  
 Performance solution will be required for the column within the shared zone at CC stage of works



Lower Ground floor



Basement 1

[Image description: Plan of Lower Ground level above shows the provision of Accessible parking spaces]

## AS2890.6-2009 requirements for Accessible car parking space

### Requirement

- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M at the same level
- Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors.
- Central Bollard in shared space at 800+/-50mm from entry point.
- Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit).
- Minimum headroom of 2.2M at entrances and 2.5M is required over shared space as well as dedicated spaces.
- Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
- The pavement marking shall have the appropriate slip resistance for the location. This requirement is to be added to the project specifications to ensure compliance.

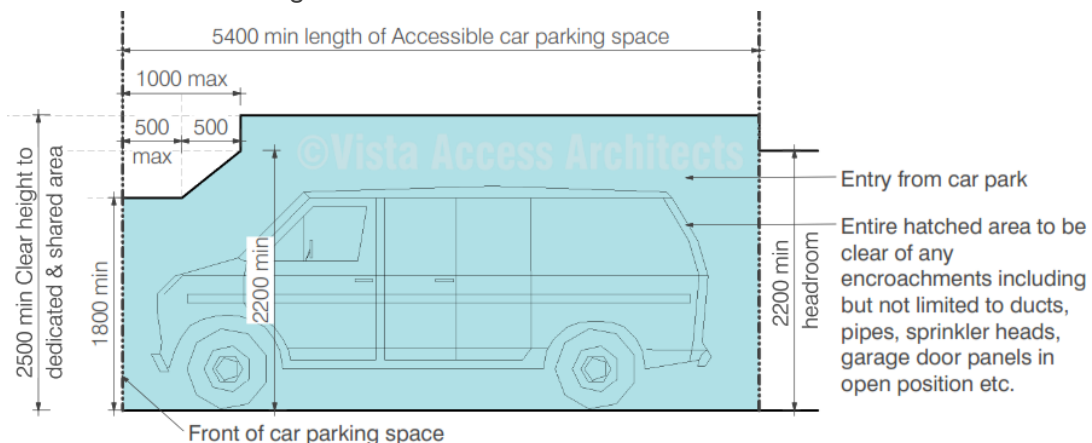
### Compliance

Complies with spatial requirements

### Comments

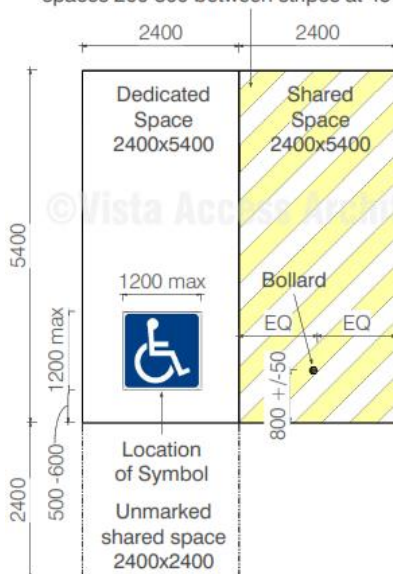
Performance solution will be required for the column within the shared zone and non-provision of bollard at CC stage of works

Details to be verified at CC stage of works.



150-200 wide yellow diagonal stripes with spaces 200-300 between stripes at 45+/- 10°

[Image description: Diagram showing spatial requirements of AS2890.6 including line marking, symbol and bollard requirements]



## BCA Part D3.6 Signage

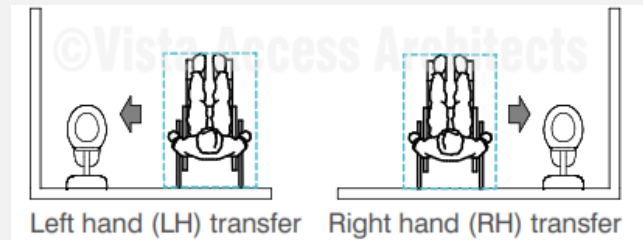
### Requirement

Braille and Tactile signage are required to identify Accessible Sanitary facilities



International sign of access is required to signage to all accessible sanitary facilities (excluding SOUs within Class 1b or Class 3) and signage is required to identify if facility is for LH (left hand transfer) or RH (right hand transfer)

[Image description: Diagram to help choose the correct signage based on LH/RH transfer]



### Compliance

Capable of compliance

### Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

### Requirement

Braille and Tactile signage are required to identify Ambulant Sanitary facilities



Place sign on ambulant toilet cubicle door.

[Image description: Image of Signage]

### Compliance

Capable of compliance

### Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

### Requirement

Braille and Tactile signage is required to identify Hearing Augmentation

### Compliance

N/A

### Comments

Hearing augmentation is not provided since there is no inbuilt amplification system identified in the development.

### Requirement

**Braille and Tactile signage is required to identify a Fire exit door** required by E4.5 by stating the 'Exit' and 'Level', followed by either the floor level number or floor level descriptor or a combination of both of the above and located on the side that faces a person seeking egress



[Image description: Image of Signage The "?" shown in image is to be replaced with the floor level where the door is located]

**Compliance** Capable of compliance

### Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

### Requirement

**Signage is required where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility.**

**Compliance** N/A

### Comments

### Requirement

**Signage is required to be as per Specification D3.6 Braille and Tactile Signs**

This includes location of signage, specifications in regard to braille and tactile characters, luminance contrast and lighting.

**Compliance** Capable of compliance

### Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

## BCA Part D3.7 Hearing Augmentation

### Requirement

**Hearing Augmentation** is only required where an inbuilt amplification system (other than emergency) is installed in a Class 9b building, or in an auditorium, conference / meeting room or a reception area where a screen is used.

**Compliance** N/A

### Comments

No areas with provision of inbuilt amplification have been identified on plans and hence no hearing augmentation requirements apply to this development.



## BCA Part D3.8 Tactile indicators (TGSIs)

### Requirement

#### TGSIs are required when approaching:

- Stairways other than fire-isolated stairways.
- Escalators / passenger conveyor / moving walk.
- Ramp (other than fire-isolated ramps / kerb or step or swimming pool ramps).
- Under an overhead obstruction of <2M if no barrier is provided.
- When accessway meets a vehicular way adjacent to a pedestrian entry (if no kerb / kerb ramp provided at the location).

Compliance is required with AS1428.4.1 including Luminance contrast and slip resistance requirements for all TGSIs.

### Compliance

Capable of compliance

### Comments

TGSI selections generally take place at CC stage of works. Selection of TGSIs as specified will lead to compliance and these selection details are to be verified at CC stage of works.

## BCA Part D3.11 Limitations on Ramps

### Requirement

#### On an accessway:

- A series of connected ramps must not have a combined vertical rise of more than 3.6M;
- And a landing for a step ramp must not overlap a landing for another step ramp or ramp.

### Compliance

N/A

### Comments

No ramps have been identified in the development

## BCA Part D3.12 Glazing on Accessways

### Requirement

#### Glazing requirements:

- Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening are required to have a glazing strip
- The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.

### Compliance

Capable of compliance

### Comments

Glazing strips are required to be provided to full length glazed areas (doors and windows) used in common use areas such as lift lobbies and common passageways in residential components and in all commercial/retail use components

Glazing strip selections generally take place at CC stage of works. Selection of glazing strips as specified above will lead to compliance and details are to be verified at CC stage of works.

## BCA Part F Accessible Sanitary Facilities

### BCA F2.4 Accessible Sanitary facilities

#### Requirement

**Accessible unisex toilet** is to be provided in accessible part of building such that;

- It can be entered without crossing an area reserved for 1 sex only
- Where male and female sanitary facilities are provided at different locations, Accessible unisex toilet is only required at one of the locations
- Even distribution of LH and RH facilities
- An accessible facility is not required on a level with no lift / ramp access.

**Compliance** Complies

#### Comments

2 unisex accessible toilets have been provided in the development

### BCA F2.4(a) Accessible unisex sanitary compartments

#### Requirement

##### Class 2

At least 1 unisex Accessible toilet when sanitary compartments are provided in common areas.

**Compliance** Complies with spatial requirements

#### Comments

The following common use sanitary facilities have been provided

Location	Unisex Accessible toilets			
	LH	LH + Shower	RH	RH + Shower
Unisex accessible toilet on Roof top Level	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

#### Requirement

##### Class 5, 6

- 1 unisex Accessible toilet on every storey containing sanitary compartments. Where more than 1 bank of sanitary compartments on a level, at 50% of banks

**Compliance** Complies with spatial requirements

#### Comments

Location	Unisex Accessible toilets			
	LH	LH + Shower	RH	RH + Shower
Unisex accessible toilet on Upper Ground Level	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The following common use sanitary facilities have been provided

## BCA F2.4(b) Requirements for Accessible unisex showers

### Requirement

#### Class 2

At least 1 unisex Accessible shower when showers are provided in common areas.

**Compliance** N/A

### Comments

No common use shower facilities have been identified on the plans

### Requirement

#### Class 5, 6 (excluding ward area of 9a health-care)

When BCA requires provision of 1 or more showers, then 1 for every 10 showers.

**Compliance** N/A

### Comments

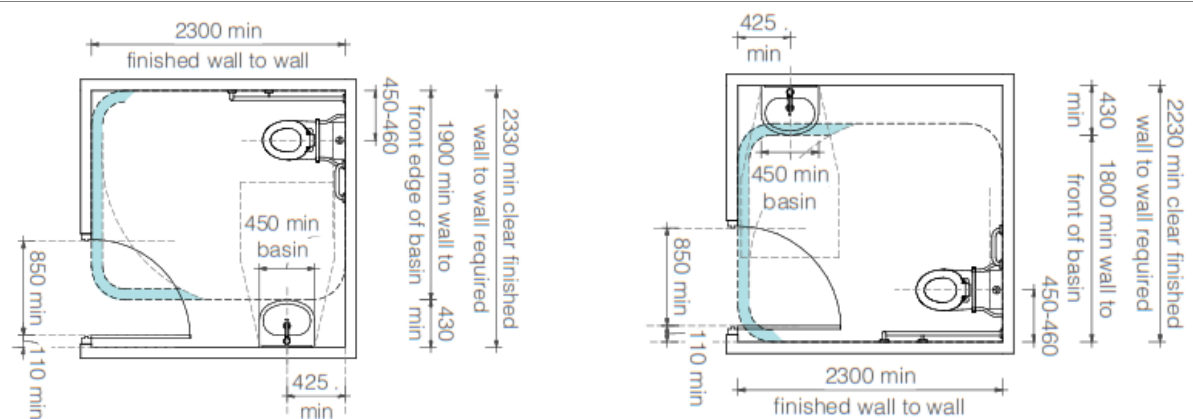
No common use shower facilities have been identified on the plans.

### Requirement

**Accessible unisex toilet is to be designed in accordance with AS1428.1-2009**

**Compliance** Complies with spatial requirements

### Comments



Detailed features of the Accessible unisex toilet will be assessed at the CC stage of works.

## Requirement

Showers for Accessible use are to be designed in accordance with AS1428.1

**Compliance** N/A

## Comments

No accessible shower facilities have been identified on the plans

## Requirement

Ambulant use male / female toilets are to be provided if an additional toilet to the Accessible unisex toilet is provided

**Compliance** Complies

## Comments

The following Ambulant facilities have been provided  
2 ambulant toilets have been provided in the development.

Location	Ambulant toilets		
	Male ambulant	Female ambulant	Unisex Ambulant
On Upper Ground Level	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

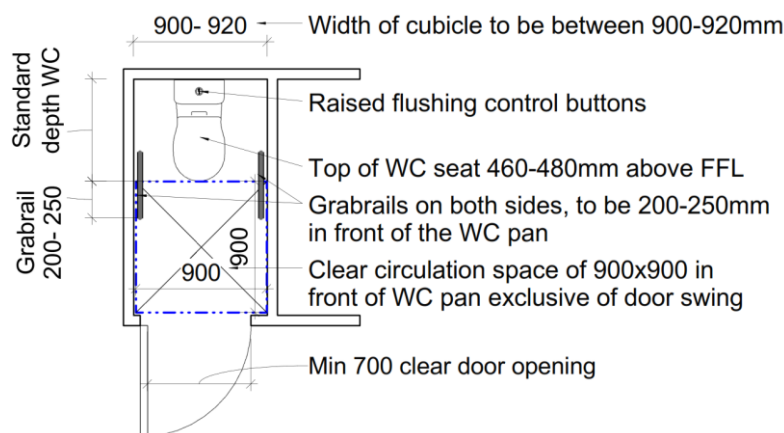
## Requirement

Ambulant use toilets are to be designed in accordance with AS1428.1-2009

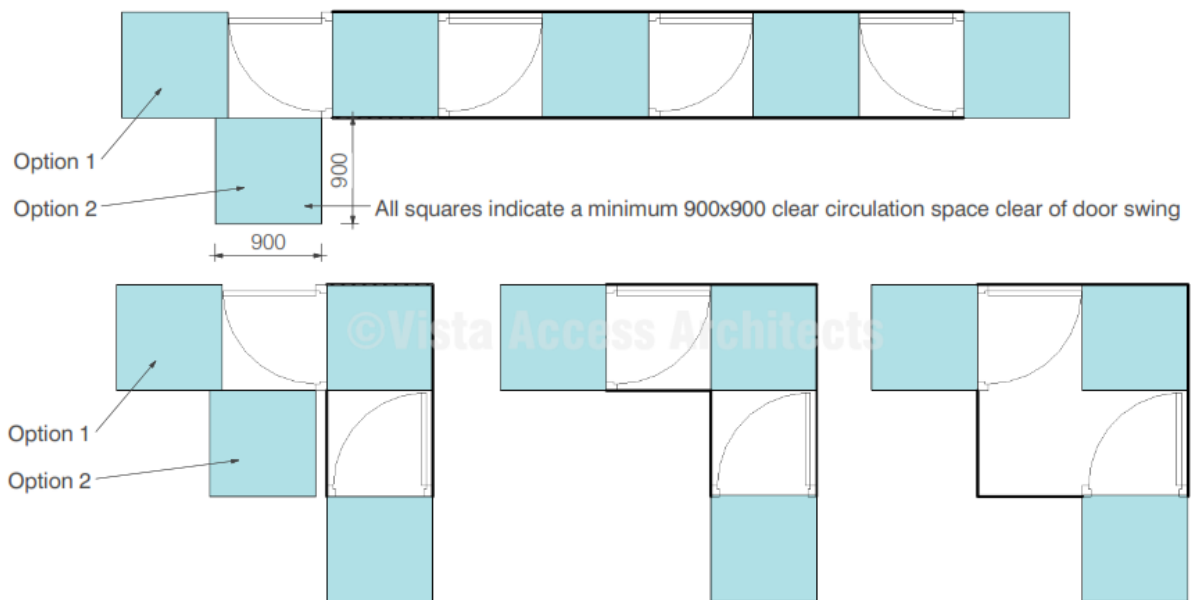
**Compliance** Complies with spatial requirements

## Comments

Detailed features of the Ambulant use toilets will be assessed at the CC stage of works.



[Image description: Diagram showing requirements for circulation spaces for fixtures in an Ambulant toilet as per AS1428.1]



[Image description: Diagram showing requirements for circulation spaces for airlocks leading to Ambulant toilet as per AS1428.1]

## BCA Part E Lift Installations

### BCA E3.2 Stretcher facility in lifts

#### Requirement

A **Stretcher lift** is to be provided if a passenger lift is installed to serve any storey with an effective height of 12M. The space requirement is 600mm wide x 2000mm deep x 1400mm high above the floor level. Confirm this requirement with your BCA consultant.

#### Compliance

For information only

#### Comments

Contact BCA consultant in regard to applicable requirements.

## BCA E3.6 Passenger lift

#### Requirement

In an accessible building, **Every Passenger Lift** (excluding electric passenger lift, electrohydraulic passenger lift, inclined lift) must be subject to limitations on use and must comply with **Tables E3.6a and E3.6b**

#### Compliance

Complies with spatial requirements

#### Comments

A **certificate of compliance from the lift supplier**, stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations will be required at the CC stage of works

## BCA E3.6 Table E3.6a Limitations on use of types of passenger lifts

### Requirement

**Limitations on use of Stairway platform lifts.** They must-

- Only serve an area accommodating maximum 100 persons
- Not serve high traffic public areas like cinema, auditorium, transport interchange, shopping centre, etc.
- Not be used where it is possible to install another type of lift
- Not connect more than 2 storeys
- Not serve more than 2 consecutive storeys where more than 1 stairway lift is provided.
- Not encroach on the minimum required width of the stairway when in folded position
- Lift floor dimensions for Stairway platform lift- 810mm wide x 1200mm deep.

**Limitations on use of Low-rise platform lift**

- Must not travel more than 1M

**Limitations on use of Low-rise, low-speed constant pressure lift**

- If enclosed, must not travel more than 4M
- If unenclosed, must not travel more than 2M
- Must not be used in high traffic public use areas in buildings such as theatres, cinema, auditorium, transport interchange, shopping complex, etc.

**Limitations on use of small sized, low-speed automatic lift**

- Must not travel more than 12M

### Compliance

Complies with spatial requirements

### Comments

A wheelchair low-rise, low-speed lift has been provided on Lower and Upper Ground floor level.

**Note:** Automated doors are required to platform lifts as the latch side space may not be possible to provide to the gate/door of the platform lift.

A certificate of compliance from the lift supplier will be required stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations.

## BCA E3.6 Table E3.6b -Application of features to passenger lifts

### Requirement

**Handrail requirements for passenger lifts.** Apart from stairway platform lift and low-rise lifts, a handrail is required as per AS1735.12:

- 600mm minimum handrail not more than 500mm from control panel
- Top of handrail between 850-950mm above FFL
- Diameter of handrails to be between 30-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc

**Lift floor dimensions** (excluding stairway platform lift)

- Lifts traveling **12M** or under, floor size, **1100mm wide x 1400mm deep**

Lifts travelling **more than 12M**, floor size **1400mm wide x 1600mm deep**

Minimum **Door opening size** complying with AS1735.12, not less than 900mm clear (excluding stairway platform lift).

All lifts with a power operated door are required to have a **Passenger protection system** complying with AS1735.12.



**Lift landing doors** to be provided at upper landing (excluding stairway platform lift).

**Lift car and landing control buttons complying with AS1735.12**

Some of the requirements listed below. Refer to AS1735.12 for further details.

**For internal control panel:**

- If width or depth of car is less than 1400mm, 2 control panels to be provided, one to the left and one to the right of the person entering the car
- Tactile symbol and Braille equivalent to be provided
- Buttons to be located between 900-1100mm above FFL
- All buttons to be 300mm from corner (near entry) and 400mm of all other corners

**For external control panel:**

To be located between 900-1100mm above FFL and not less than 500mm from internal corners unless otherwise permitted by AS1735.12

**Lighting** (for all enclosed lift cars) to be provided in accordance with AS1735.12 and AS1680. Minimum illuminance of 100 lx is required at the level of the car floor and average of 50 lx is required on the control panel surface.

**To all lifts serving more than 2 levels**

- Automatic audible information to identify level when car stops
  - Audible and visual indication at landing to indicate arrival of lift car
- Audible information and indication to be provided between 20-80 dB(A) at a maximum frequency of 1500Hz

**Emergency hands free communication** (excluding stairway platform lift) – provide a button that alerts a call centre and a light that the call has been received.

**Compliance**

Capable of compliance

**Comments**

**A certificate of compliance from the lift supplier**, stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations will be required at the CC stage of works

## AS4299.1995- Adaptable Housing

Appendix A of AS4299 schedule is a list of features to be incorporated into a housing unit for it to be termed an 'Adaptable House'.

### There are 3 Classification levels for Adaptable Housing

**Adaptable Class C** in which all essential features are to be incorporated.

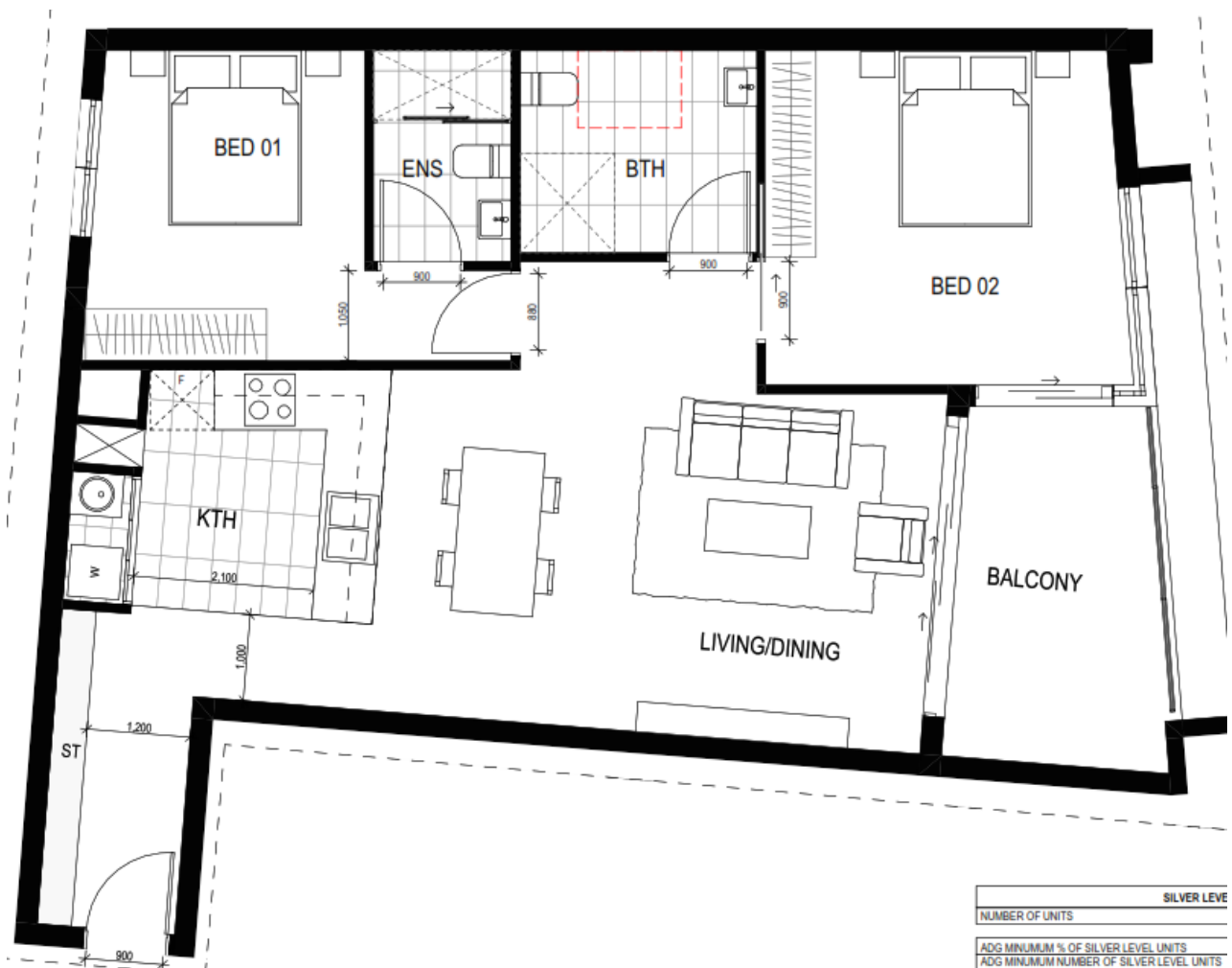
**Adaptable Class B** in which all Class C and 50% of 64 available desirable features are to be incorporated

**Adaptable Class A** in which all 119 essential and all desirable features are to be incorporated.

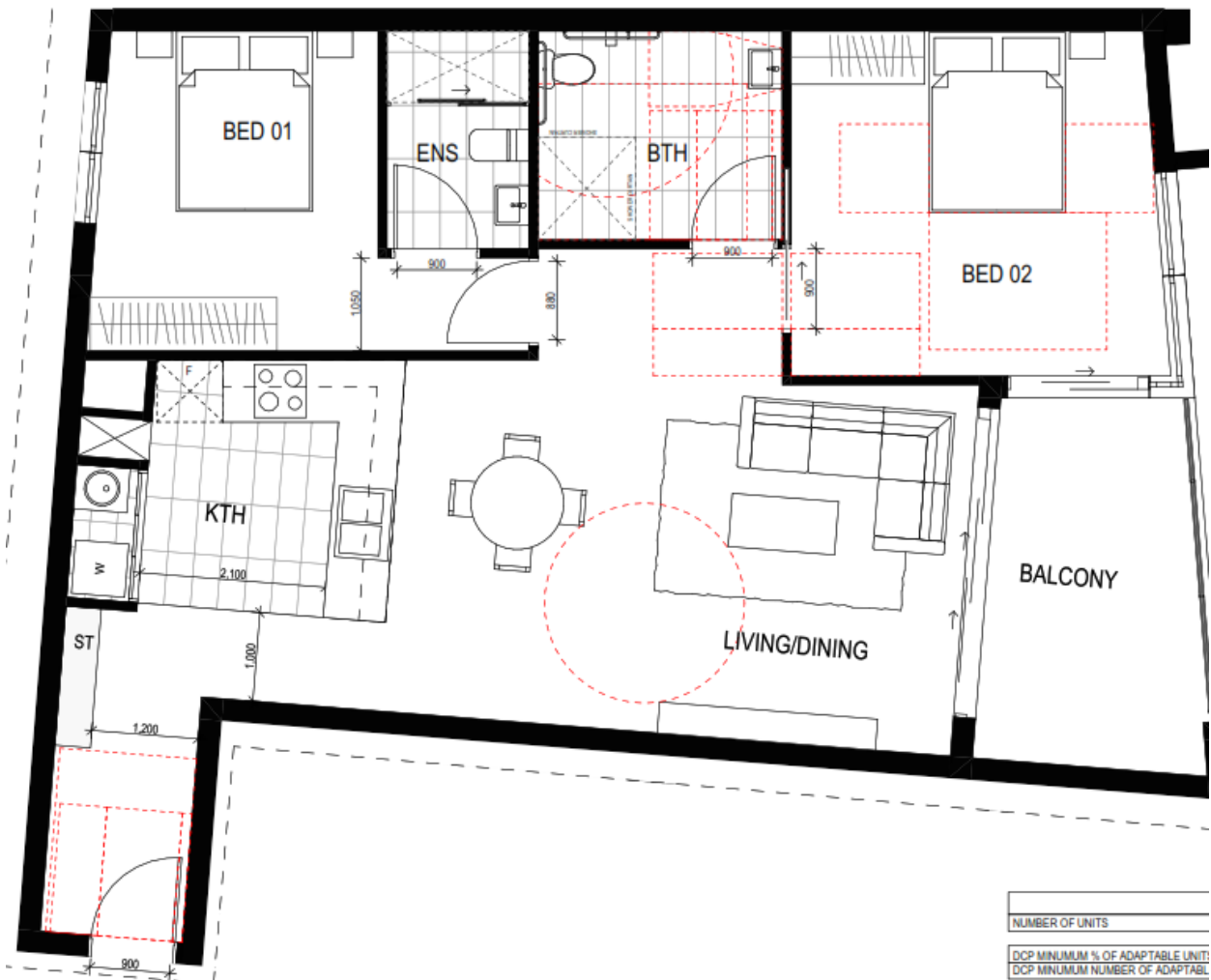
2 Adaptable units are required by the Council's DCP to a **Class C** level.

The units designated as adaptable are unit numbers 103 and 203.

### Pre-adaptation layout



## Post-adaptation layout



By incorporating the essential requirements listed Checklist below in the Specifications, the nominated Adaptable units can achieve full compliance with Adaptable House Class C

## AS4299.1995 - Class C – Essential requirements

R☑ = Required;

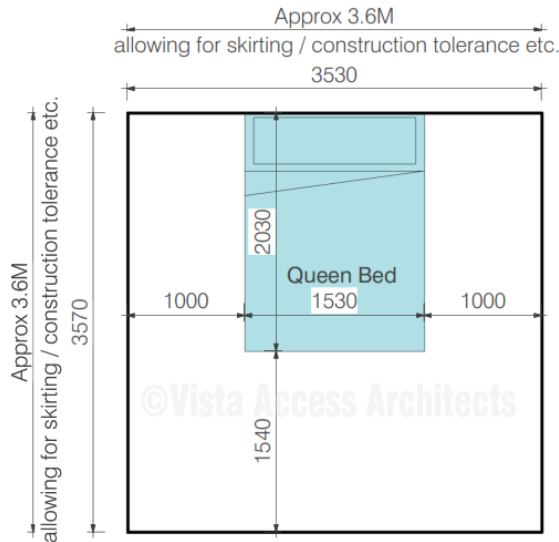
C☑ = Capable of compliance at **by adding the requirement to the project specifications** or in some cases capable of compliance at post adaptation stage (where noted in comments).

	Clause No	Requirements as per AS4299	R	C	Comments
<b>Drawings</b>					
1	2.3	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages	☑	☑	
<b>Siting</b>					
3	3.3.2	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS 1428.1	☑	☑	Access is provided from street by means of an AS1428.1 compliant ramp / walkway and from accessible parking space by means of a lift.

	Clause No	Requirements as per AS4299	R	C	Comments
					Details to be verified at the CC stage
	<b>Letter boxes</b>				
11	3.8	Letterboxes to be on hard standing area connected to accessible pathway	✓	✓	Letterboxes for all Adaptable units to be between 900mm to 1100mm above FFL and min 500mm from any internal corner. Details to be verified at the CC stage
	<b>Parking</b>				
14	3.7.2	Car parking space or garage min. area 6.0Mx 3.8M or a hard surfaced level outside of 5.4Mx3.8M is provided as a sheltered car park or can be provided in the future	✓	✓	Can also be provided as per AS2890.6, which is permissible. Details to be verified at the CC stage
	<b>Accessible Entry</b>				
20	4.3.1	Accessible entry	✓	✓	Refer to door circulation requirements noted earlier in the report. Details to be verified at the CC stage
22	4.3.2	Accessible entry to be level (i.e. maximum of 1:40 slope)	✓	✓	
23	4.3.2	Threshold to be low-level	✓	✓	
24	4.3.2	Landing to enable wheelchair manoeuvrability	✓	✓	
25	4.3.1	Accessible entry door to have 850mm min. clearance	✓	✓	Usually achieved by 920mm door leaf. Door circulation spaces to be as per AS1428.1
27	4.3.4	Door lever handles and hardware to AS1428.1	✓	✓	Details to be verified at the CC stage
	<b>Interior: General</b>				
32	4.3.3	Internal doors to have 820mm minimum clearance	✓	✓	Provide an 850mm clear opening door to the adaptable bathroom and 1 main bedroom. Rest to have 820mm clear opening.
33	4.3.7	Internal corridors min. width of 1000mm	✓	✓	
34	4.3.7	Provision for compliance with AS1428.1 for door approaches	✓	✓	Can be compliant post adapt, with easily removable cabinetry.
	<b>Living room and dining room</b>				
36	4.7.1	Circulation space of min. 2250mm diameter.	✓	✓	

	Clause No	Requirements as per AS4299	R	C	Comments
38	4.7.4	Telephone adjacent to GPO	✓	✓	Details to be verified at the CC stage
41	4.10	Potential illumination level minimum 300 lux	✓	✓	Details to be verified at the CC stage
<b>Kitchen</b>					
42	4.5.2	Minimum width 2.7M, (1550mm clear between benches)	✓	✓	Can be compliant post adaptation.
43	4.5.1	Provision for circulation at doors to comply with AS1428.1	✓	✓	N/A, No door provided to kitchen.
44	4.5.5	Provision for benches to include at least one work surface of 800mm length, adjustable in height from 750mm to 850mm or replaceable.	✓	✓	Can be compliant post adaptation.
45	4.5.5	Refrigerator adjacent to work surface	✓	✓	Can be compliant post adaptation.
46	4.5.6	Kitchen sink adjustable to heights from 750mm to 850 mm or replaceable	✓	✓	Can be compliant post adaptation.
47	4.5.6	Kitchen sink bowl maximum 150mm deep	✓	✓	Can be compliant post adaptation.
48	4.5.6 e	Tap set capstan or lever handles or lever mixer	✓	✓	Can be compliant post adaptation.
49	4.5.6 e	Tap set located within 300mm of front of sink	✓	✓	Can be compliant post adaptation.
51	4.5.7	Cooktops to include either front or side controls with raised cross bars.	✓	✓	Can be compliant post adaptation.
52	4.5.7	Cooktops to include isolating switch	✓	✓	Can be compliant post adaptation.
53	4.5.7	Work surface minimum 800 mm length, adjacent to cook top at same height	✓	✓	Can be compliant post adaptation.
54	4.5.8	Oven located adjacent to an adjustable height or replaceable work surface. It is recommended that a side door opening wall oven is provided with the clear work surface to be on the opposite side of the hinge.	✓	✓	Can be compliant post adaptation.
59	4.5.11	GPOs to comply with AS1428.1. At least one double GPO within 300mm of front of work surface.	✓	✓	Can be compliant post adaptation.
60	4.5.11	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position.	✓	✓	Can be compliant post adaptation.
61	4.5.4	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage.
<b>Main bedroom</b>					

Clause No	Requirements as per AS4299	R	C	Comments
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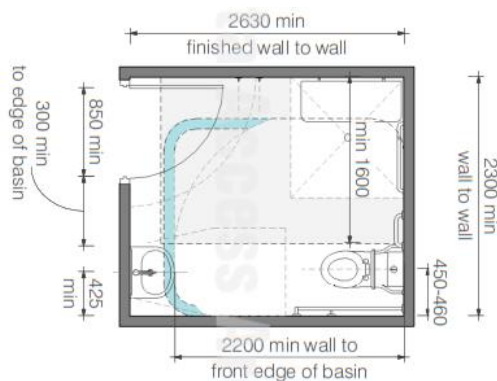


[Image description: Diagram showing circulation spaces around a queen bed as per AS4299]

62	4.6.1	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS1428.2	✓	✓	A space of 1.54Mx2.07M at the base or one side of the bed is considered to be compliant.
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#### Main Adaptable bathroom

75	4.4.1	Provision for bathroom area to comply with AS1428.1	✓	✓	A bathroom with minimum space of 2Mx 2.95M or 2.3Mx2.7M or 2.4Mx2.45M is required.
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[Image description: Diagram shows Post Adaptation bathroom layout and location of wall reinforcements in pre-adaptation locations with reference to post adaptation layout]  
Noted dimensions on the above diagrams are approximate and depend on selected features such as size of the basin.

76	4.4.2	Slip-resistant floor surface as per AS3661 and AS 4586	✓	✓	Details to be verified at the CC stage
77	4.4.4 f	Shower recess - no hob. Minimum size 1160x1100mm to comply with AS1428.1	✓	✓	Details to be verified at the CC stage
78	4.4.4 f	Shower area waterproofed to AS3740 with floor to fall to waste	✓	✓	Details to be verified at the CC stage
79	4.4.4 f	Recessed soap holder	✓	✓	If recessed is not provided a heavy duty load bearing soap holder will be required.
80	4.4.4 f	Shower taps positioned for easy reach to access side of shower sliding track.	✓	✓	Details to be verified at the CC stage

Clause No	Requirements as per AS4299	R	C	Comments
82	4.4.4 h Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook plumbing and wall-strengthening provision (unless brick walls provided)	✓	✓	Reinforcement to wall to take the grabrails has to be provided as per requirements of AS4299
83	4.4.4 h Provision for grabrail in shower to comply with AS1428.1	✓	✓	Details to be verified at the CC stage
<p>[Image description: Diagram showing wall reinforcement requirements for the Adaptable unit for WC and Shower, in post adaptive position]</p>				
86	4.4.4 c Tap sets to be capstan or lever handles with single outlet	✓	✓	Details to be verified at the CC stage.
88	4.4.4 g Provision for washbasin with clearances to comply with AS1428.1	✓	✓	Min of 425mm is required from the side wall to the centre line of the basin. Basin is required to be at least 300mm away from door swing.
90	4.4.4 d Double GPO bedside mirror	✓	✓	Details to be verified at the CC stage.
<b>Toilet</b>				
92	4.4.3 Provision of either 'visitable toilet' or accessible toilet	✓	✓	Visitable is provided. Accessible can be provided post-adaptation.
93	4.4.1 Provision to comply with AS 1428.1	✓	✓	
94	4.4.3 Location of WC pan at correct distance from fixed walls	✓	✓	450mm – 460mm is required from the side wall to the centre line of the WC pan. Details to be verified at the CC stage.



	Clause No	Requirements as per AS4299	R	C	Comments
95	4.4.4 h	Provision for grabrail zone.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Reinforcement to wall to take the grabrails has to be provided as per requirements of AS4299 unless brick walls have been provided. Details to be verified at the CC stage.
96	4.4.2	Slip-resistant floor surface as per AS3661 and AS 4586	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Details to be verified at the CC stage.
<b>Laundry</b>					
98	4.8	Circulation at doors to comply with AS1428.1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N/A cupboard style laundry is proposed.
99	4.8	Provision for adequate circulation space in front of or besides appliances (minimum 1550mm depth)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Details to be verified at the CC stage.
100	4.8 e	Provision for automatic washing machine	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Details to be verified at the CC stage.
102	4.8 a	Where clothes line is provided, an accessible path of travel to this	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Details to be verified at the CC stage.
105	4.8 g	Double GPO	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Details to be verified at the CC stage.
108	4.9.1	Slip-resistant floor surface as per AS3661 and AS 4586	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Details to be verified at the CC stage.
<b>Door locks</b>					
110	4.3.4	Door hardware operable with one hand, located 900-1100mm above floor	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Details to be verified at the CC stage.

## Requirement

- Where the location of fixtures such as WC pans, wash basins, sinks, laundry fixtures and any other fixtures are to be relocated post-adaptation to comply with AS1428.1, then the service pipes (waste and water supply pipes) have to be laid in the correct AS1428.1 specified position at pre-adaptation itself and the services to be capped off for future use.

### General recommendations (Advisory only / not mandatory)

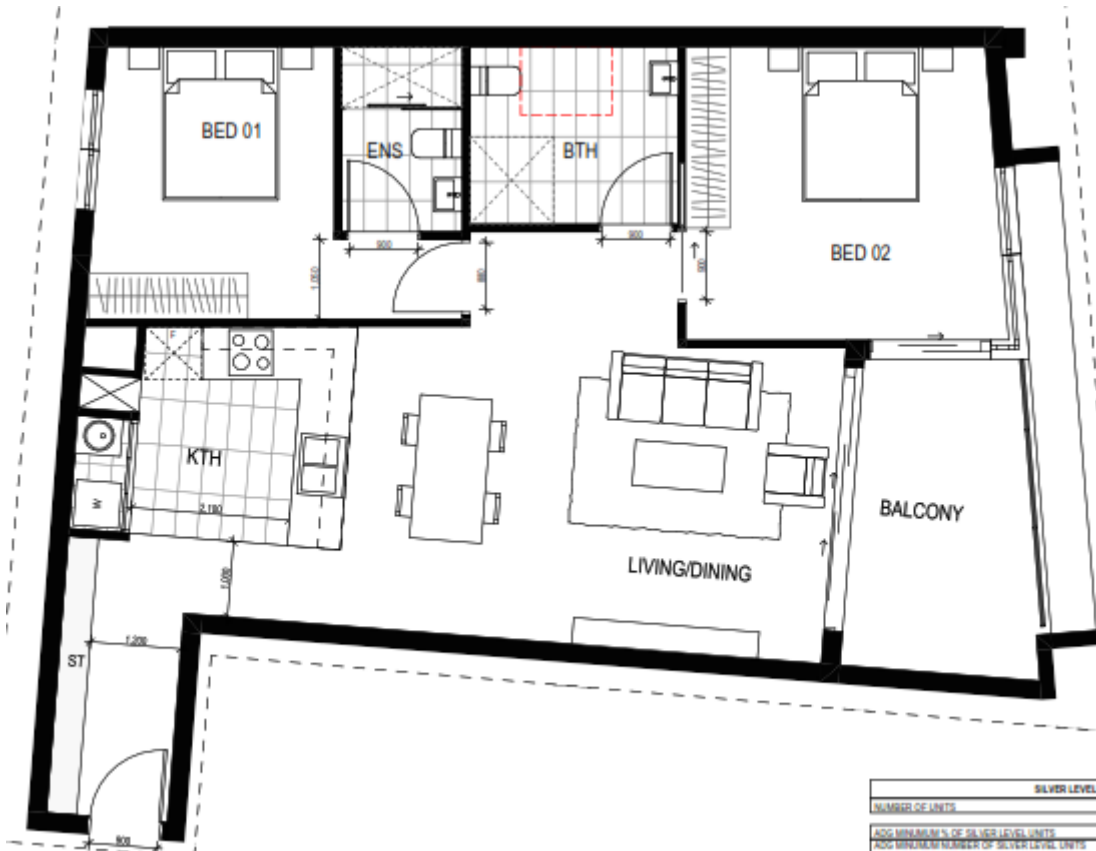
- It is recommended that where balconies / outdoor areas have been provided to Adaptable units, provide the sliding doors such that the floor tracks are recessed, so level access can be provided to the balcony / outdoor areas from inside the unit.
- Sliding doors in the living areas leading to outdoor areas are to be such that opening of the door is able to provide a clear opening space of 850mm with a latch side space of 530mm.
- If the balcony is to be brought up to the same level as the unit at post-adaptation by means of decking etc. then ensure that the minimum handrail height requirements required under the BCA are complied with, considering the raised height of the balcony.
- Consideration to be given to recess the slab to the wet areas so that there is no level difference once the floor finishes are applied (i.e. flush transition from carpeted area to tiles area).

## SEPP 65 – Part 4Q1

Compliance assessment with Objective 4Q1 that requires 20% of the units to incorporate the features of the **Livable Housing Guidelines Silver level**.

Total number of residential units in the development = 20% of 8 = 1.6 = 2 required Livable units.

Since 2 of the units (103, 203) already comply with the Adaptable unit requirements, these units are also capable of satisfying the intent of Silver level of Livable Housing Guidelines as noted in the table below.



By incorporating the requirements of the below Checklist in the Specifications of the project, the nominated Livable units can achieve full compliance with Livable Housing Guidelines- Silver Level

Note that in this case the adaptable units are also be counted as Livable / LHA Silver level unit in which case the below requirements apply in addition to the AS4299 requirements.

**All details to be verified at the CC stage**

Design Element	Requirements (All dimensions noted are required to be clear of finishes as required under AS1428.1)	Compliance / Comments
<b>1</b> Dwelling Access	<ul style="list-style-type: none"> <li>a. Provide a safe and continuous 1M clear width pathway from front site boundary to an entry door to the dwelling.</li> <li>b. Path including any ramps and walkways to have no steps, even firm, slip-resistant surface, max 1:40 crossfall, max slope of 1:14 with landings of 1.2M every 9M and landings every 15M for 1:20 walkways. 1M clear width of ramps are required.</li> </ul>	Complies Details to be verified at CC stage of works.

	<p>c. Pathway may be provided via an associated car parking in which case the car parking space to be</p> <ul style="list-style-type: none"> <li>▪ 3200 (width) x5400 (length),</li> <li>▪ even, firm and slip resistant, level surface of 1:40 max grade and 1:33 max grade for bitumen</li> </ul> <p>d. Step ramp may be provided at an entrance doorway. The step ramp to be max 190mm height, max 1:10 grade, max 1900mm length.</p> <p>e. Level landings of 1200mm are required exclusive of the swing of the door or gate and to be provided at the head and foot of the ramp.</p>	<p>N/A Access is provided from the site boundary.</p> <p>N/A</p> <p>N/A</p>
<p><b>2</b> Dwelling entry</p>	<p>a. Dwelling Entry should provide an entrance door with</p> <ul style="list-style-type: none"> <li>i. min clear opening width of door to be 820mm</li> <li>ii. Step free threshold of max 5mm with rounded or beveled lip</li> <li>iii. reasonable shelter from the weather</li> </ul> <p>b. Level landing of 1200x1200mm at step-free entrance door on the arrival / external side of the entrance door.</p> <p>c. Max permissible threshold is less than 56mm where provided with a 1:8 grade threshold ramp.</p> <p>d. Entrance to be connected to a pathway (specified under Element 1) Note: The entrance to incorporate waterproofing and termite management requirements as specified in the NCC</p>	<p>Complies Details to be verified at CC stage of works.</p> <p>Complies Details to be verified at CC stage of works.</p> <p>N/A</p> <p>Complies Details to be verified at CC stage of works.</p>
<p><b>3</b> Internal doors and corridors</p>	<p>a. Doors to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartments to be</p> <ul style="list-style-type: none"> <li>i. 820mm clear opening and</li> <li>ii. provided with a level threshold of max 5mm between abutting surfaces with rounded or beveled lip</li> </ul> <p>b. Internal corridors and passageways to doorway to be min 1M clear (measured from skirting to skirting)</p>	<p>Complies Details to be verified at CC stage of works.</p> <p>Complies Details to be verified at CC stage of works.</p>
<p><b>4</b> Toilet</p>	<p>a. One Toilet to be provided on the ground or entry level that provides,</p> <ul style="list-style-type: none"> <li>i. Min 900mm between walls or amenities</li> <li>ii. Min 1200mm clear space in forward of the WC pan exclusive of door swing.</li> <li>iii. The toilet pan to be positioned in the corner of a room to enable handrails</li> </ul>	<p>Complies Details to be verified at CC stage of works.</p>
<p><b>5</b> Shower</p>	<p>a. One bathroom should feature a slip resistant, hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date.</p> <p>b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date.</p>	<p>Complies Details to be verified at CC stage of works.</p>

For hobless specification please see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6

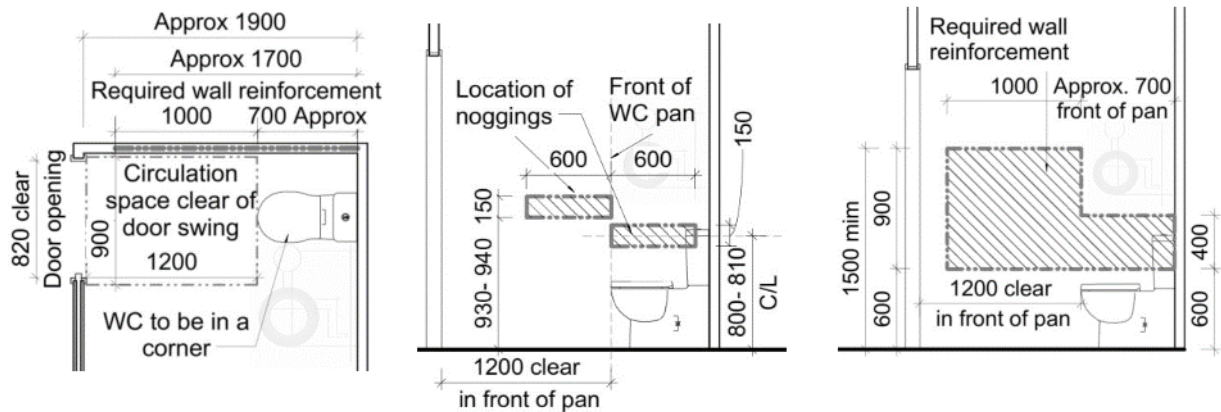
# 6

## Reinforcement of bathroom & toilet walls

- a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.
- (b), (c) and (d) the walls around toilet, bath and shower to be via:
  - i. Noggins with a thickness of at least 25mm
  - ii. Sheeting with a thickness of at least 12mm

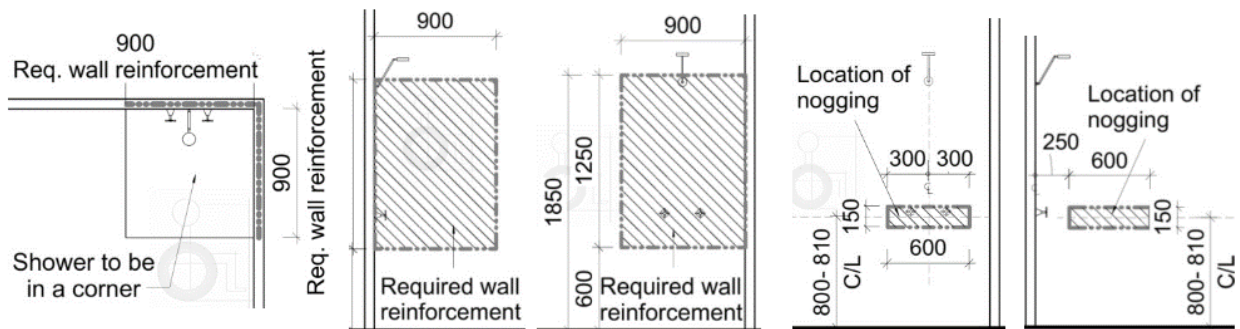
Complies  
Details to be  
verified at CC  
stage of  
works.

Refer to diagrams provided in the Livable Housing Guideline document.

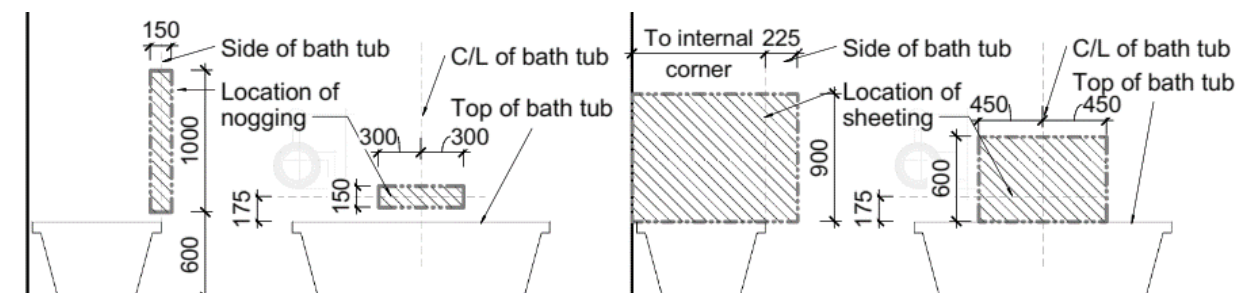


[Image description: Diagram shows wall reinforcements options of noggins or sheeting for a toilet]

**Note:** In a standalone toilet, the wall reinforcements are required to both sides. Any door openings/ door frames are required to be clear of the required wall reinforcements. If wall with cavity slider is used for wall reinforcements, then allow for additional thickness for the wall.



[Image description: Diagram shows wall reinforcements options of noggins or sheeting for a shower]



[Image description: Diagram shows wall reinforcements options of noggins or sheeting for a bathtub]

# 7

## Internal Stairways

Stairways in dwellings must feature:

- a continuous handrail on one side of the stairway where there is a rise of more than 1m.a minimum clear width of 1000mm

N/A  
No internal stairway in units.



# Statement of Experience

Vista Access Architects specialises in access consultancy services, including, Access requirements and Access Performance Solutions under the NCC, NDIS SDA Certifications, Livable Housing Certifications and Changing Places Certifications.



## Farah Madon - Director

**ACAA Accredited Access Consultant**  
**NDIS Accredited SDA Assessor**  
**Livable Housing Assessor**  
**Changing Places Assessor**

- Accredited member of the Association of Consultants in Access Australia (ACAA) - 281
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor SDA00001
- Architect registered with the NSW Architect's Registration Board - Registration 6940
- Member of Australian Institute of Architects (RAIA), A+ Practice Member 49397
- Registered Assessor of Livable Housing Australia - Registration 10032
- Global Alliance on Accessible Technologies and Environments (GAATES) - BE-02-021-20
- Registered Assessor of Changing Places Australia - Registration CP006

### Farah's Educational Profile and Qualifications include:

- Bachelor of Architecture Degree with Honours (B.Arch.)
- International Certification of Accessibility Consultants – Built Environment (ICAC-BE) Program, Level 2 Advanced Accessibility Consultant
- Diploma of Access Consulting

Farah has 20 years of experience of working in the field of Architecture and Access.

Farah is the lead author of the NDIS SDA Design Standard. She has been invited on multiple occasions as an expert witness for Access related matters in the NSW Land and Environment Court.

### Farah currently participates on the following key committees concerning access for people with disabilities, on an honorary basis:

- Member of Standards Australia's ME-064 Committee responsible for the AS4299 and AS1428 suite of standards.
- Vice President of Association of Consultants in Access Australia (ACAA)
- Community Representative Member of the Penrith City Council's Access Committee
- Member of Australian Institute of Architect's National Enabling Architecture Committee (NEAC)
- Management Committee member of NSW Network of Access Consultants
- Director of Livable Housing Australia (LHA)
- Member of Changing Places Australia Technical Advisory Team

### Some Recent Awards presented to Farah include:

- 2021 Australian Access Awards Winner for the Educational App of the Year - SDA Tools
- 2021 Excellence in Inclusion - Altitude Awards - Winner
- 2021 Western Sydney Executive Woman of the Year - Finalist
- 2019 Penrith Citizen of the Year
- 2019 Access Inclusion Award
- 2019 Australian Access Awards Educational App of the Year - LRV Contrast App - Finalist





## Vanessa Griffin

ACAA Accredited Access Consultant  
NDIS Accredited SDA Assessor  
Livable Housing Assessor  
Changing Places Assessor

- Accredited member of the Association of Consultants in Access Australia (ACAA) - 500
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor SDA00009
- Registered Assessor of Livable Housing Australia - Registration 20035
- Registered Assessor of Changing Places Australia Registration CP010

### Vanessa's Educational Profile and Qualifications include:

- Diploma of Surveying and Diploma of Health and Building Surveying, Sydney Institute of Technology
- Certificate IV in Access Consulting



## Jenny Desai

ACAA Accredited Access Consultant  
NDIS Accredited SDA Assessor  
Livable Housing Assessor

- Accredited member of the Association of Consultants in Access Australia (ACAA) - 572
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor SDA00043
- Registered Assessor of Livable Housing Australia - Registration 20242

### Jenny's Educational Profile and Qualifications include:

- Master of Design (M.Des) from University of Technology, Sydney
- Certificate IV in Access Consulting



## Art Phonsawat

ACAA Associate Access Consultant

- Associate member of the Association of Consultants in Access Australia (ACAA) - 695

### Art's Educational Profile and Qualifications include:

- Advanced Diploma in Interior design, Sydney
- Certificate IV in Access Consulting

