

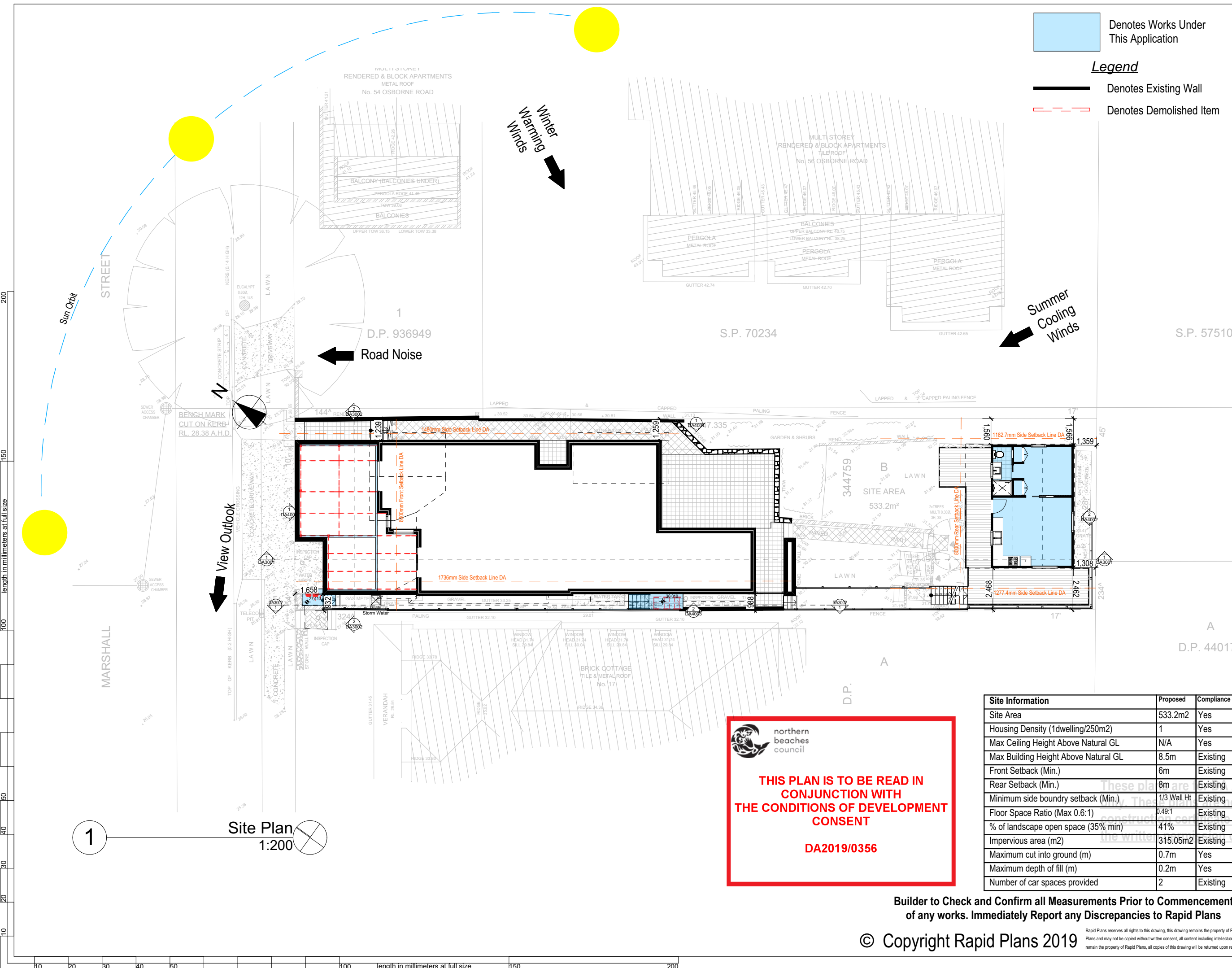
NOTES
 19 Marshall Street, Manly is zoned R1 General Residential.
 New Works to be constructed shown in Shaded/Blue. 19 Marshall Street, Manly is not considered a heritage item.

Construction
 Concrete & Timber
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
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Certifying
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Legend

- Denotes Works Under This Application
- Denotes Existing Wall
- Denotes Demolished Item



length in millimeters at full size

1 Site Plan 1:200

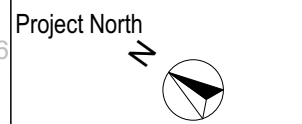
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0356

Site Information	Proposed	Compliance
Site Area	533.2m ²	Yes
Housing Density (1dwelling/250m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m ²)	315.05m ²	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Client: Paul Jacobsohn
 Project Name: Alterations & Additions/Change of Use
 19 Marshall Street, Manly 2095

Lot B D.P. 344759

Drawing Title: Site Plans - Site Plan

Scale: A3 as noted	Date: 5-4-2019
Status: DA	Checked By: GBJ
Project No: RP0119JAC	Drawing No: DA1003

Denotes New Works

Wall Legend

Denotes Existing Wall

Denotes Demolished Item

NOTES

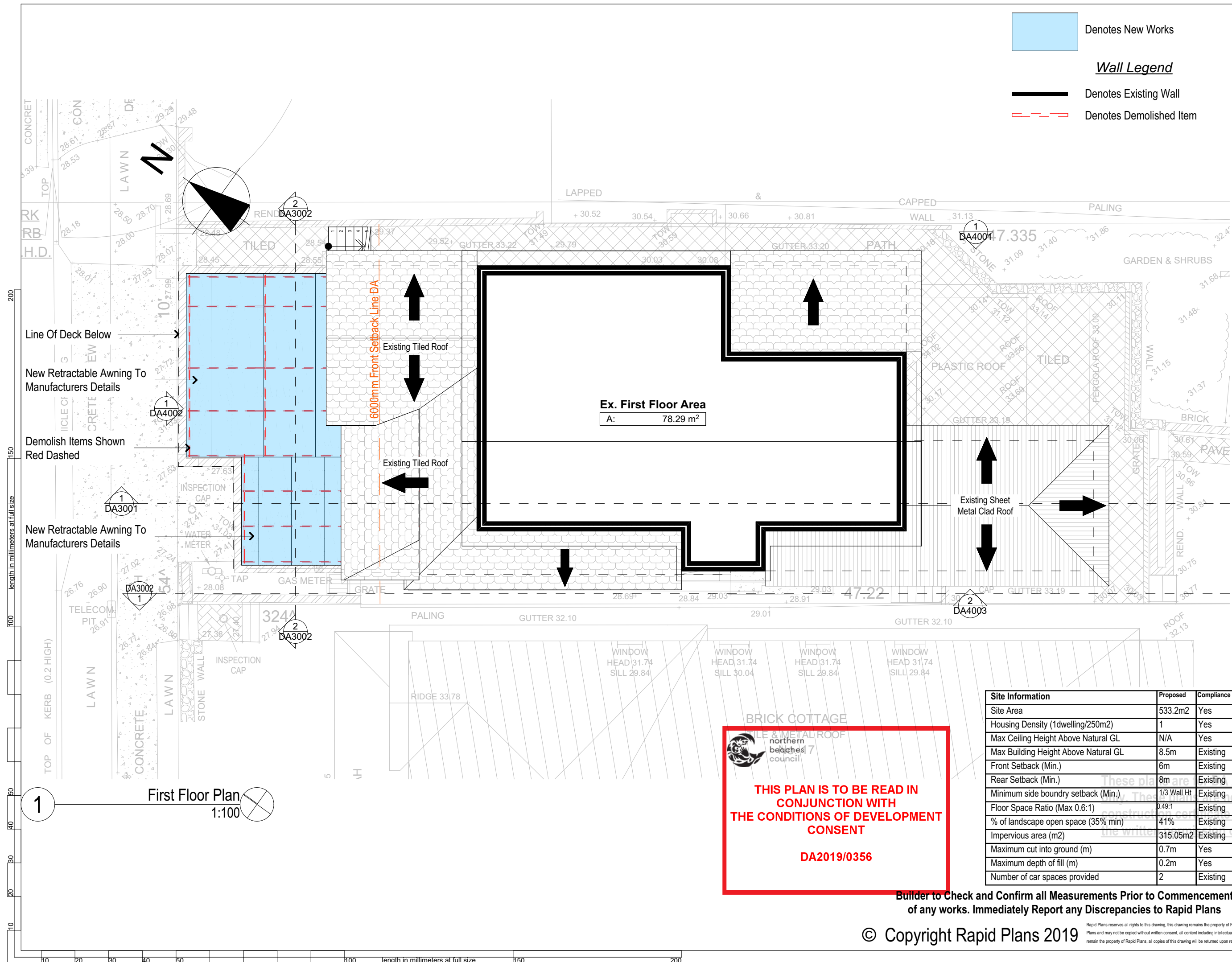
19 Marshall Street, Manly is zoned R1 General Residential.
 New Works to be constructed shown in Shaded/Blue.
 19 Marshall Street, Manly is not considered a heritage item.

Construction

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Ex. First Floor Area
 A: 78.29 m²

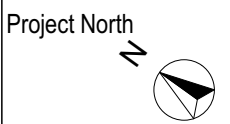
1 First Floor Plan 1:100

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0356

Site Information	Proposed	Compliance
Site Area	533.2m ²	Yes
Housing Density (1dwelling/250m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m ²)	315.05m ²	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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Client: Paul Jacobsohn
 Project Name: Alterations & Additions/Change of Use
 19 Marshall Street, Manly 2095

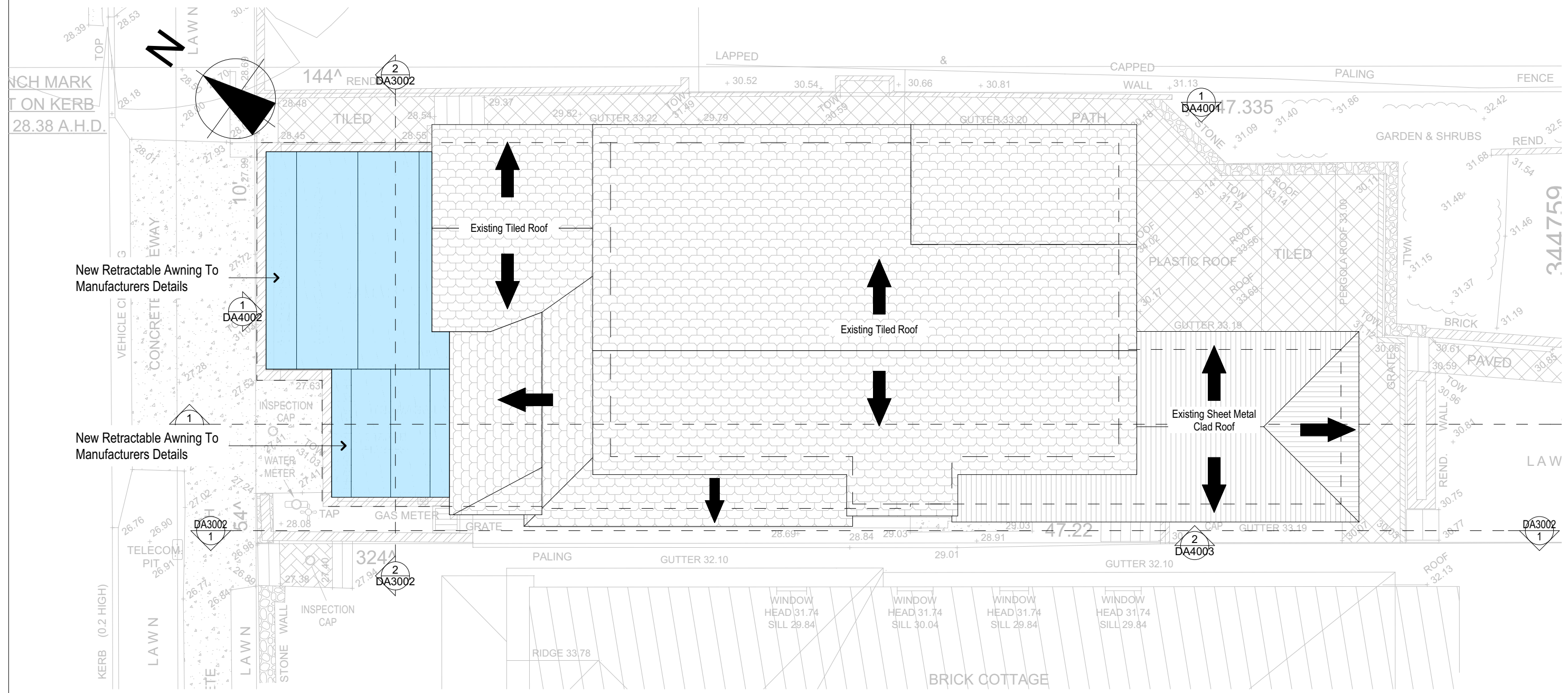
Lot B D.P. 344759
 Drawing Title: Plans - First Floor Plan
 First Floor Plan

Scale: A3 as noted Date: 5-4-2019
 Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA2004

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Denotes Works Under This Application



Adjoins Sheet DA2006

1 Roof Plan 1:100

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES
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northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

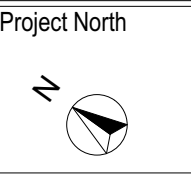
DA2019/0356

Construction
Concrete & Timber
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1

Site Information	Proposed	Compliance
Site Area	533.2m ²	Yes
Housing Density (1dwelling/250m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m ²)	315.05m ²	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing



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Client:
Paul Jacobsohn

Client
Paul Jacobsohn
Project Name
Alterations & Additions/Change of Use
19 Marshall Street, Manly
2095

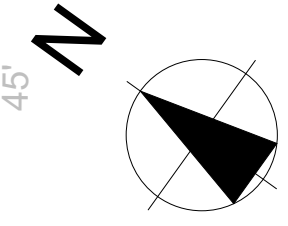
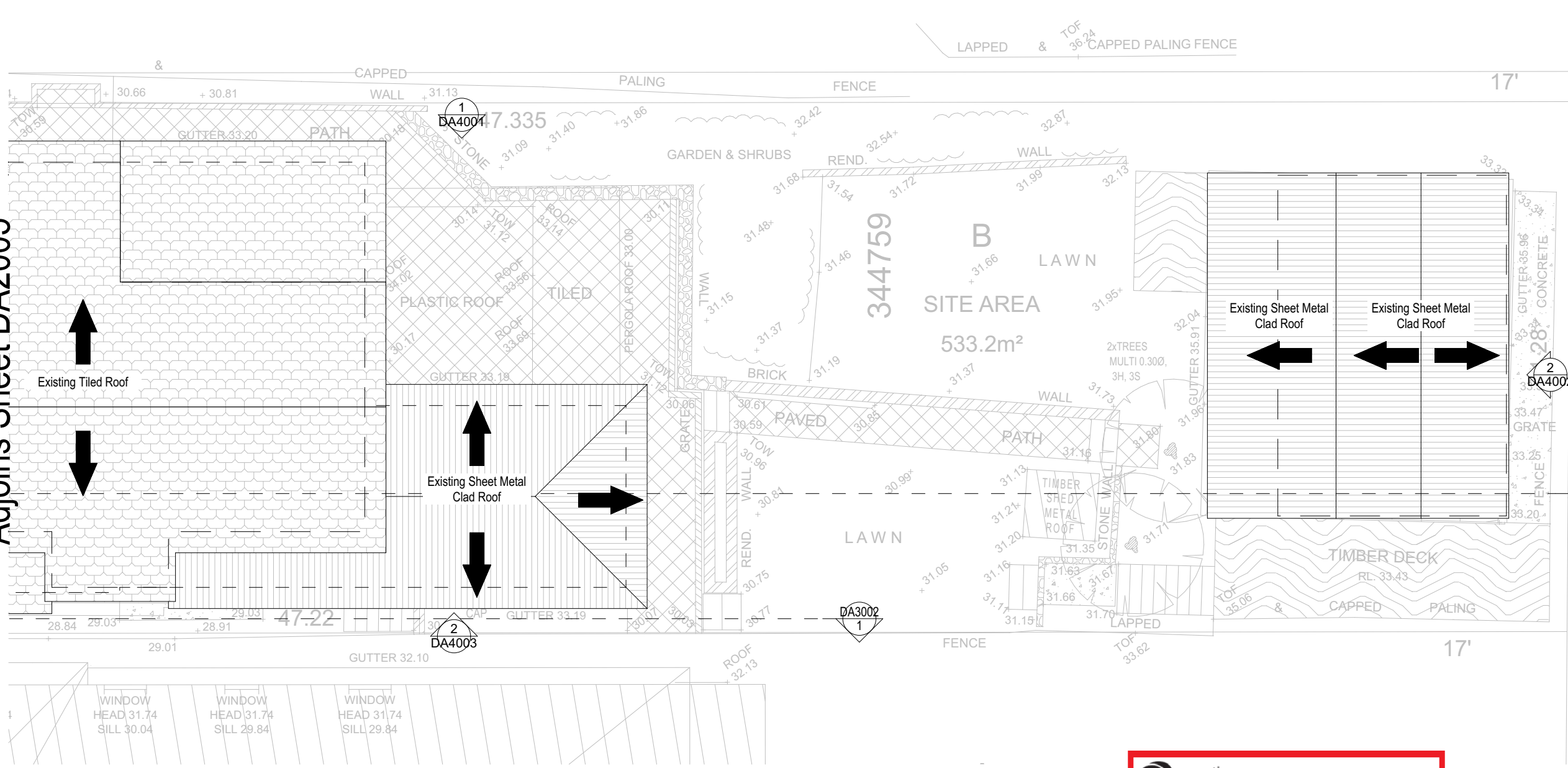
Lot B D.P. 344759
Drawing Title:
Plans - Roof Plan Primary
Dwelling
Roof Plan

Scale: A3 as noted
Status: DA
Project No.
RP0119JAC

Date: 5-4-2019
Checked By: GBJ
Drawing No.
DA2005

Denotes Works Under This Application

Adjoins Sheet DA2005



1 Roof Plan 1:100



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0356

Site Information	Proposed	Compliance
Site Area	533.2m2	Yes
Housing Density (1dwelling/250m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m2)	315.05m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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NOTES
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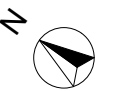
Construction
 Concrete & Timber
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Project North



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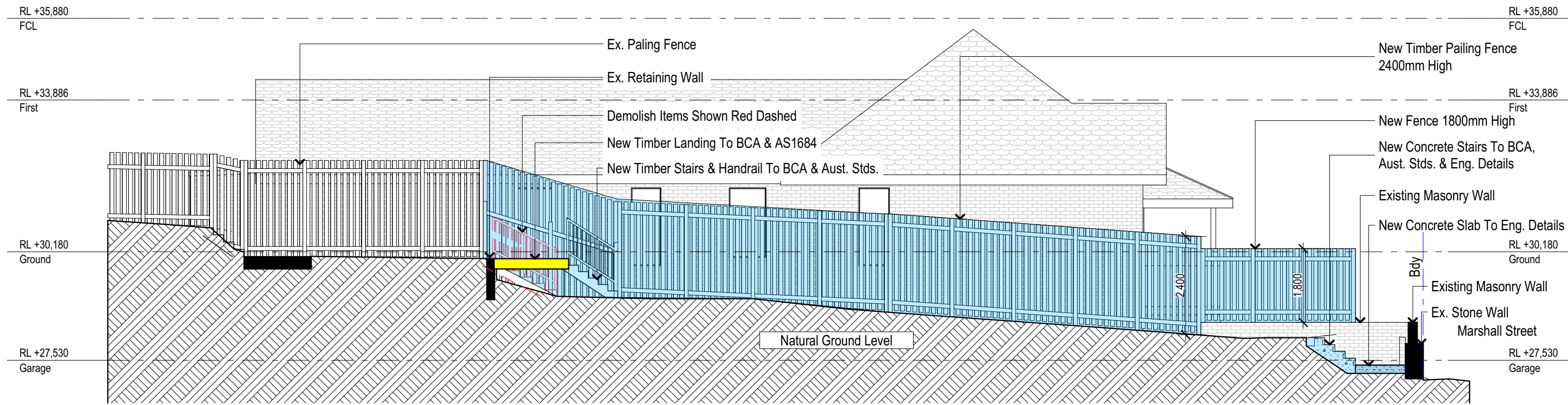
Client:
 Paul Jacobsohn

Client:
 Paul Jacobsohn
 Project Name:
 Alterations & Additions/Change of Use
 19 Marshall Street, Manly
 2095

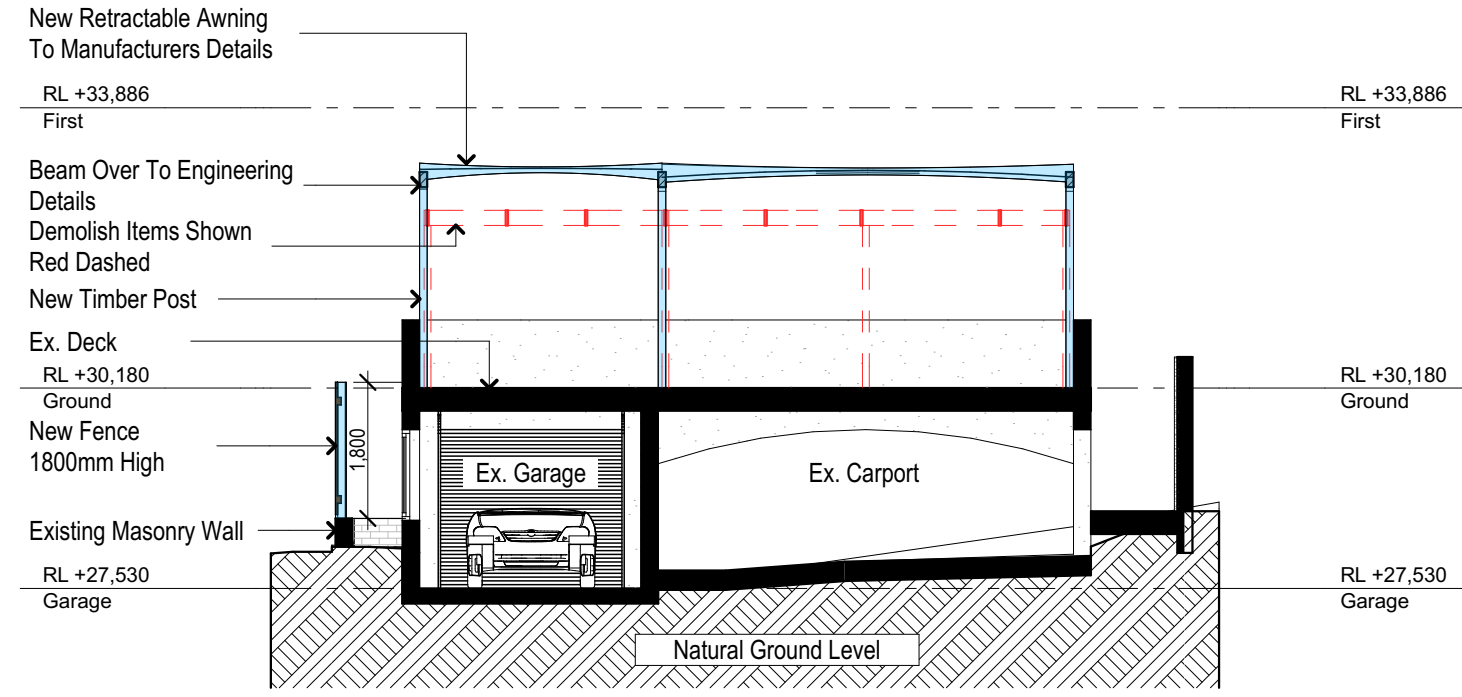
Lot B D.P. 344759
 Drawing Title:
 Plans - Roof Plan Secondary Dwelling
 Roof Plan

Scale: A3 as noted
 Status: DA
 Project No.
 RP0119JAC

Date: 5-4-2019
 Checked By: GBJ
 Drawing No.
DA2006



1 Section 3
1:100



2 Section 2
1:100

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0356

Site Information	Proposed	Compliance
Site Area	533.2m ²	Yes
Housing Density (1dwelling/250m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m ²)	315.05m ²	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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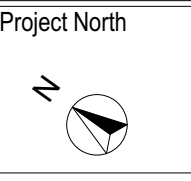
NOTES
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Construction
Concrete & Timber
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Client:
Paul Jacobsohn

Client
Paul Jacobsohn
Project Name
Alterations & Additions/Change of Use
19 Marshall Street, Manly
2095

Lot B D.P.344759
Drawing Title:
Sections - Section 2
Section 3, Section 2

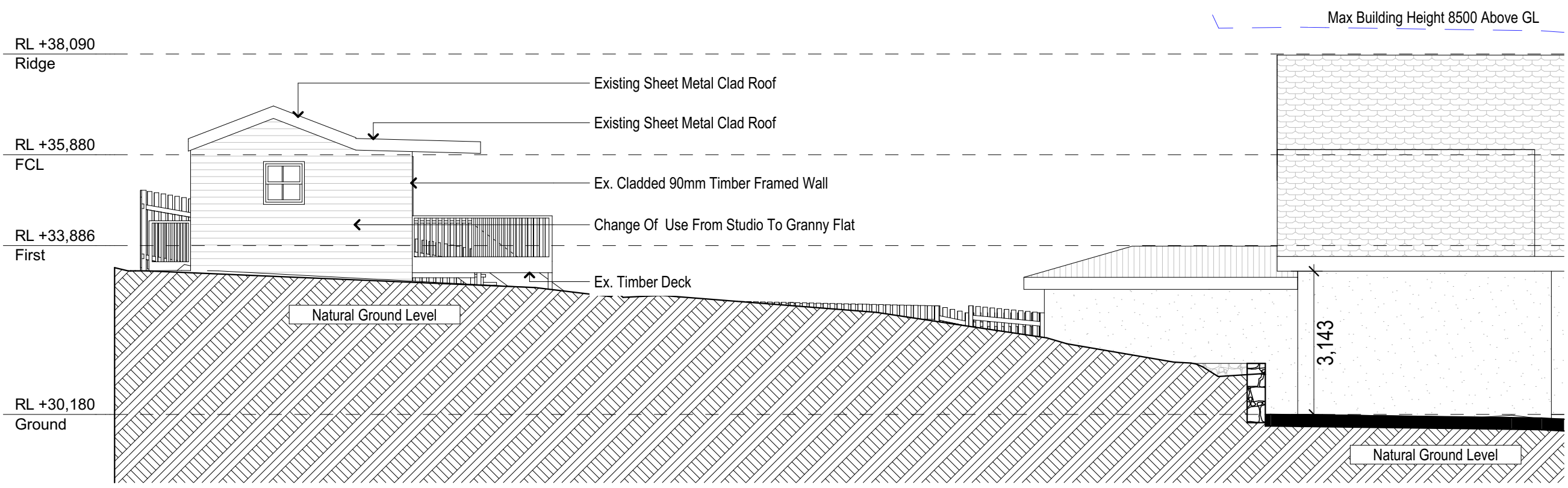
Scale: A3 as noted
Status: DA
Project No.
RP0119JAC

Date: 5-4-2019
Checked By: GBJ
Drawing No.
DA3002

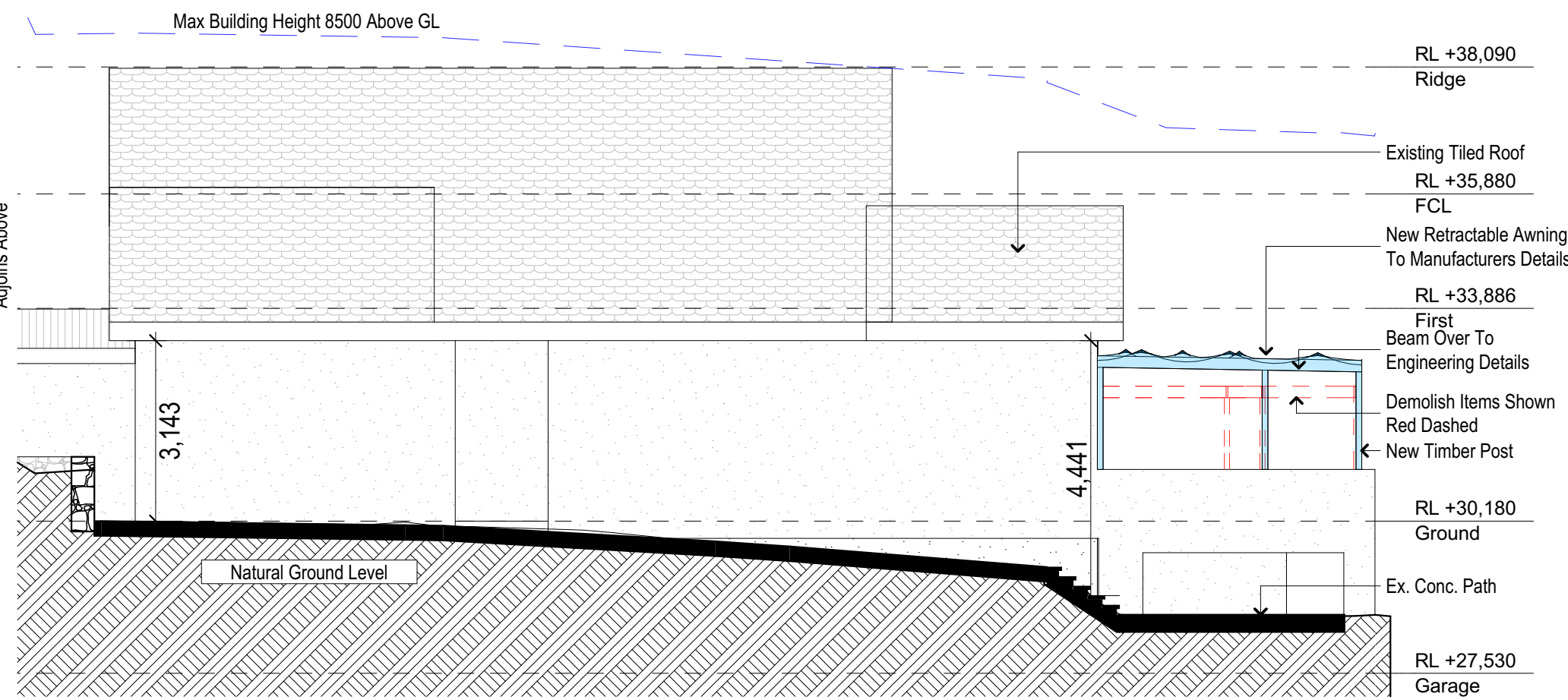
NOTES
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Construction
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1 East 1:100



2 East 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0356

Denotes Works Under This Application

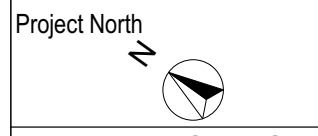
Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	533.2m ²	Yes
Housing Density (1dwelling/250m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m ²)	315.05m ²	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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Client: Paul Jacobsohn
Project Name: Alterations & Additions/Change of Use
19 Marshall Street, Manly 2095

Lot B D.P. 344759

Drawing Title: Elevations - Elevations 1 East

Scale: A3 as noted Date: 5-4-2019
Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA4001

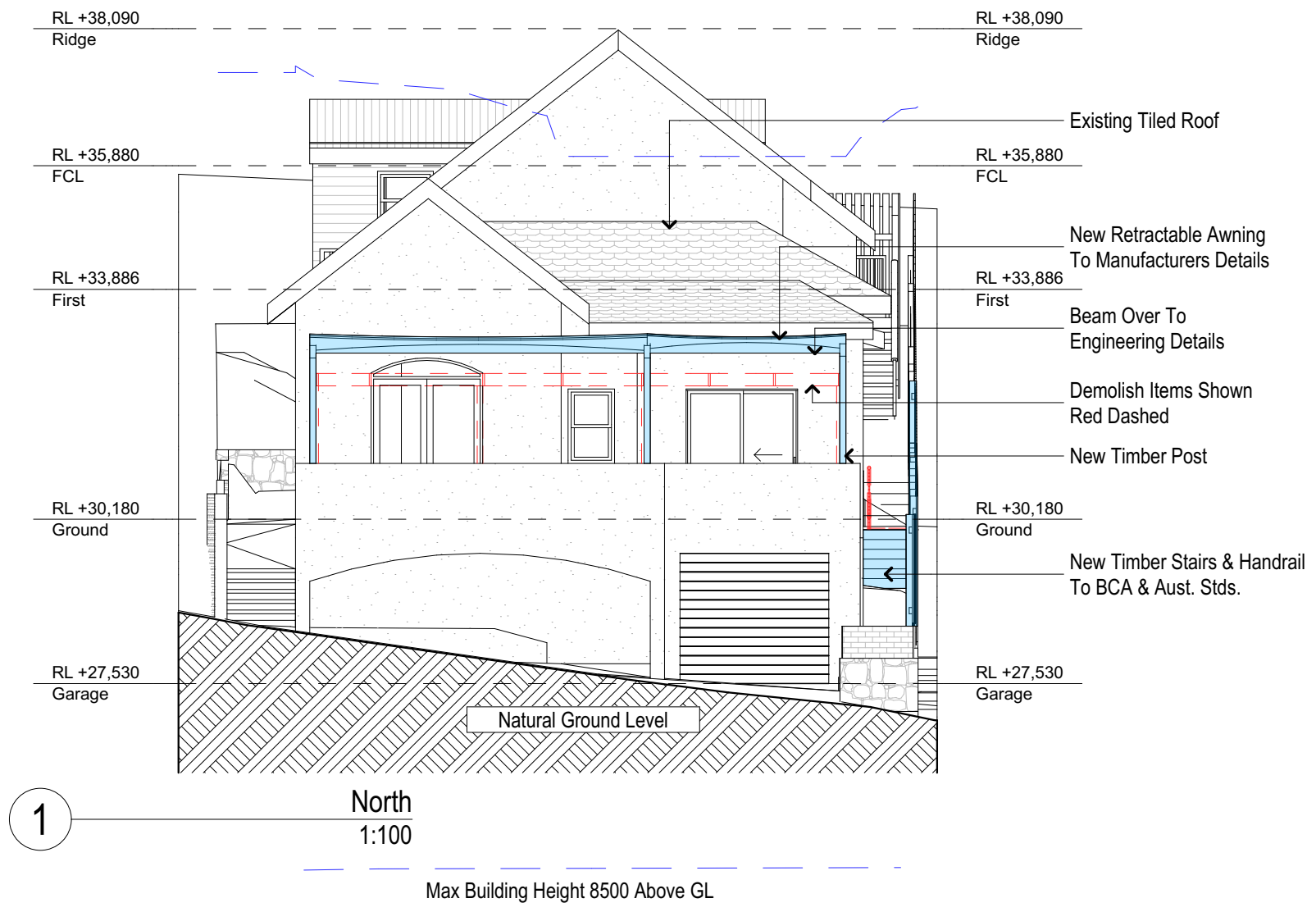
length in millimeters at full size

10 20 30 40 50 100 150 200

NOTES
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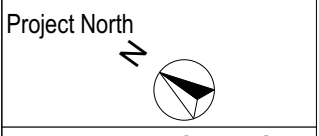
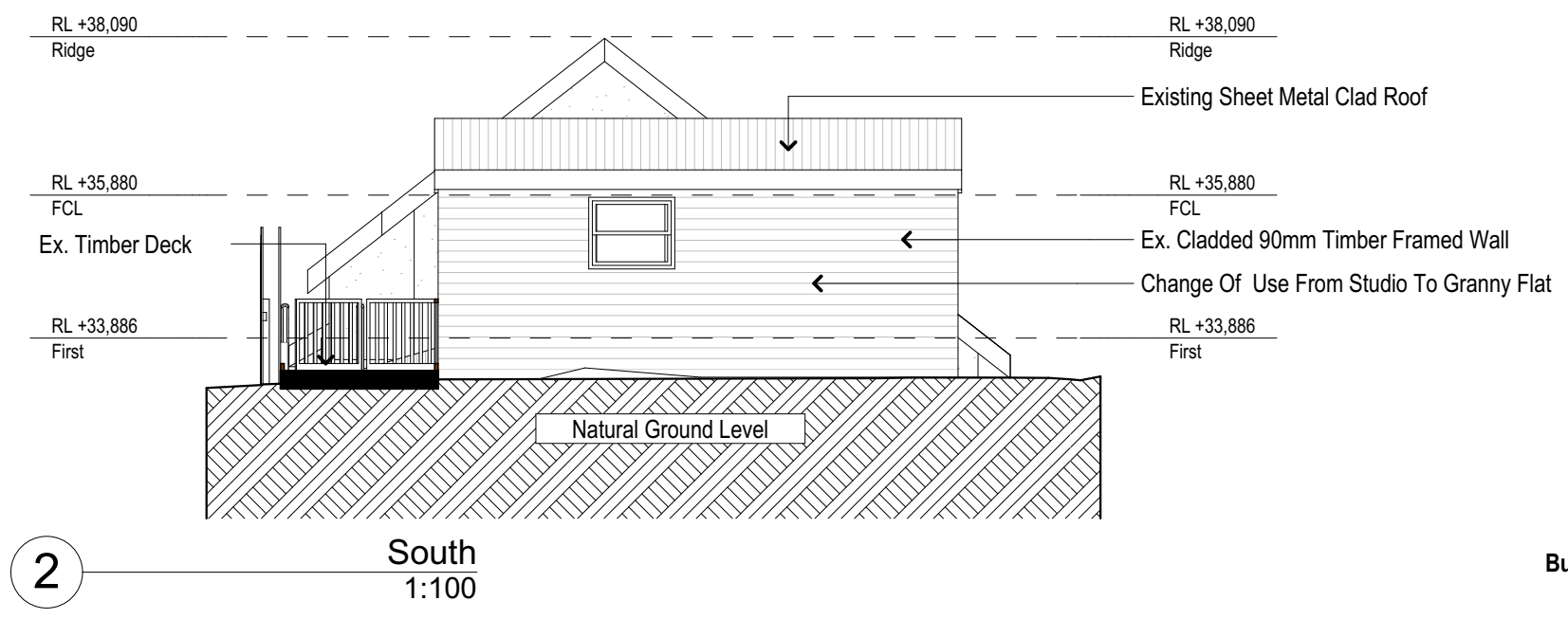
Construction
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DA2019/0356

Denotes Works Under This Application
 Denotes Demolished Item



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Client: Paul Jacobsohn
 Project Name: Alterations & Additions/Change of Use
 19 Marshall Street, Manly 2095
 Lot B D.P. 344759

Site Information	Proposed	Compliance
Site Area	533.2m ²	Yes
Housing Density (1dwelling/250m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m ²)	315.05m ²	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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Drawing Title: Elevations - Elevations 1
 North, South
 Scale: A3 as noted Date: 10-4-2019
 Status: DA Checked By: GBJ
 Project No: RP0119JAC Drawing No: DA4002

length in millimeters at full size

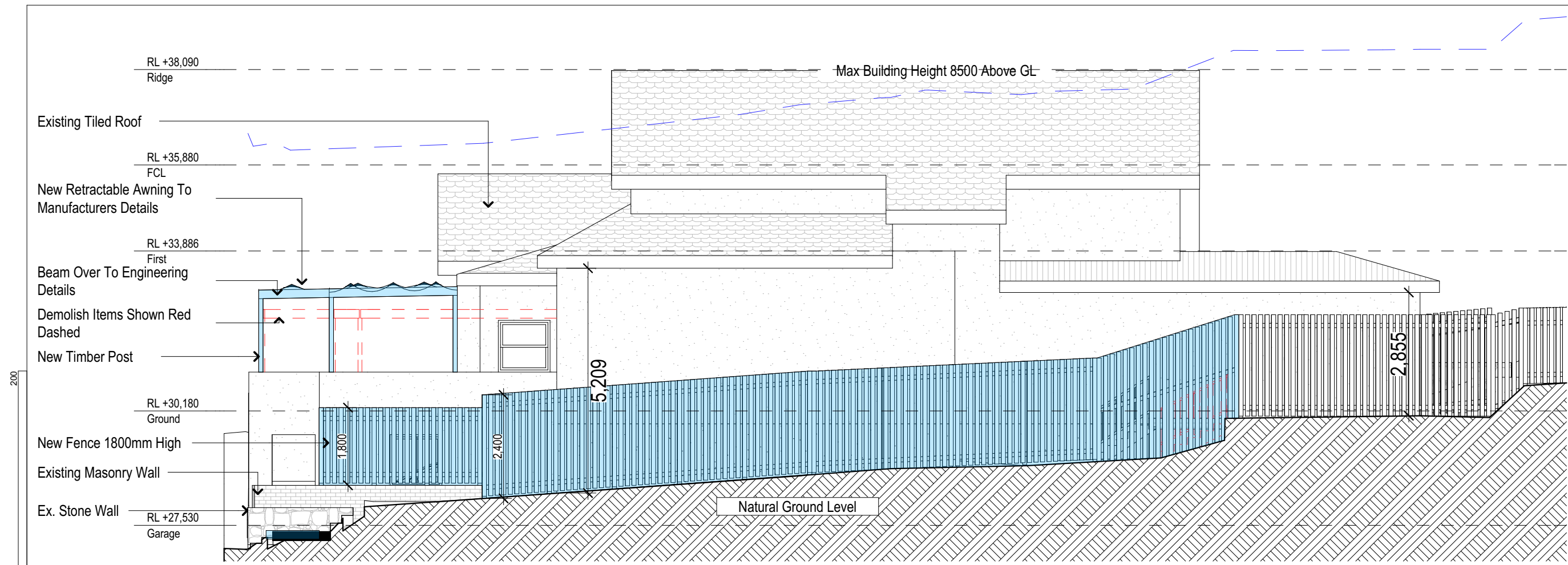
10 20 30 40 50 100 150 200 length in millimeters at full size

NOTES
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 New Works to be constructed shown in Shaded/Blue. 19 Marshall Street, Manly is not considered a heritage item.

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Adjoins Below



2 West 1:100

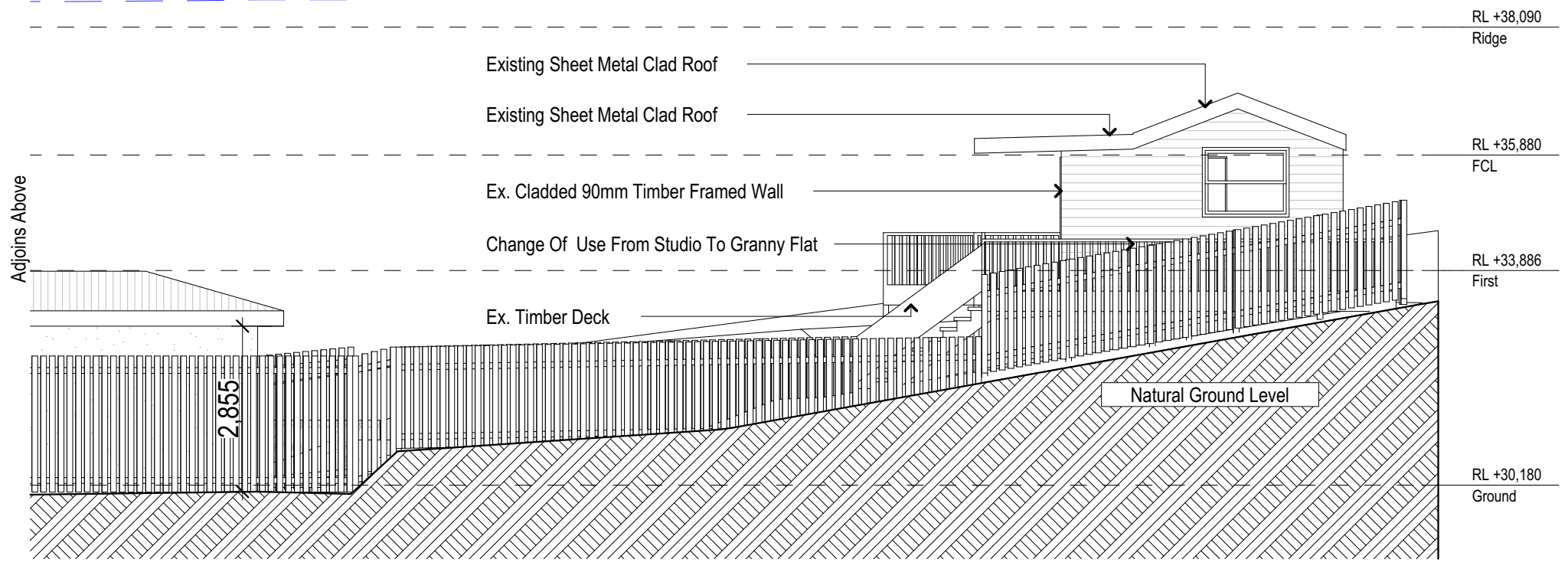
length in millimeters at full size

Adjoins Above

length in millimeters at full size

2 West 1:100

length in millimeters at full size



2 West 1:100

length in millimeters at full size

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0356 Denotes Works Under This Application

--- Denotes Demolished Item

Project North

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Client: Paul Jacobsohn
 Project Name: Alterations & Additions/Change of Use
 19 Marshall Street, Manly 2095
 Lot B D.P. 344759

Drawing Title: Elevations - Elevations 2
 West

Scale: A3 as noted Date: 5-4-2019
 Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA4003

Site Information	Proposed	Compliance
Site Area	533.2m ²	Yes
Housing Density (1dwelling/250m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m ²)	315.05m ²	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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Denotes Concrete Stairs (Typical).
Owner To Confirm Type & Colour



Denotes Timber Deck (Typical).
Owner To Confirm Type & Colour



Denotes Timber Stairs (Typical).
Owner To Confirm Type & Colour



Denotes Retractable Awning (Typical).
Owner To Confirm Type & Colour



Denotes Timber Fence (Typical).
Owner To Confirm Type & Colour



northern
beaches
council

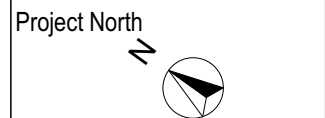
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0356

NOTES
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Construction
Concrete & Timber
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Paul Jacobsohn
Project Name: Alterations & Additions/Change of Use
19 Marshall Street, Manly
2095
Lot B D.P. 344759

Drawing Title:
Sunstudy - Material & Colour Sample Board

Scale: A3 as noted Date: 5-4-2019

Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA5001

Site Information	Proposed	Compliance
Site Area	533.2m2	Yes
Housing Density (1dwelling/250m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m2)	315.05m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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200
150
100
50
40
30
20
10

10 20 30 40 50 100 150 200 length in millimeters at full size