

SITE PLAN
SCALE: 1:1500

ISSUE	DATE	DESCRIPTION
C	12.02.2024	DA Issue for Council Approval
B	22.01.2024	DA Issue for Council Approval
A	17.08.2023	DA Issue for Council Approval

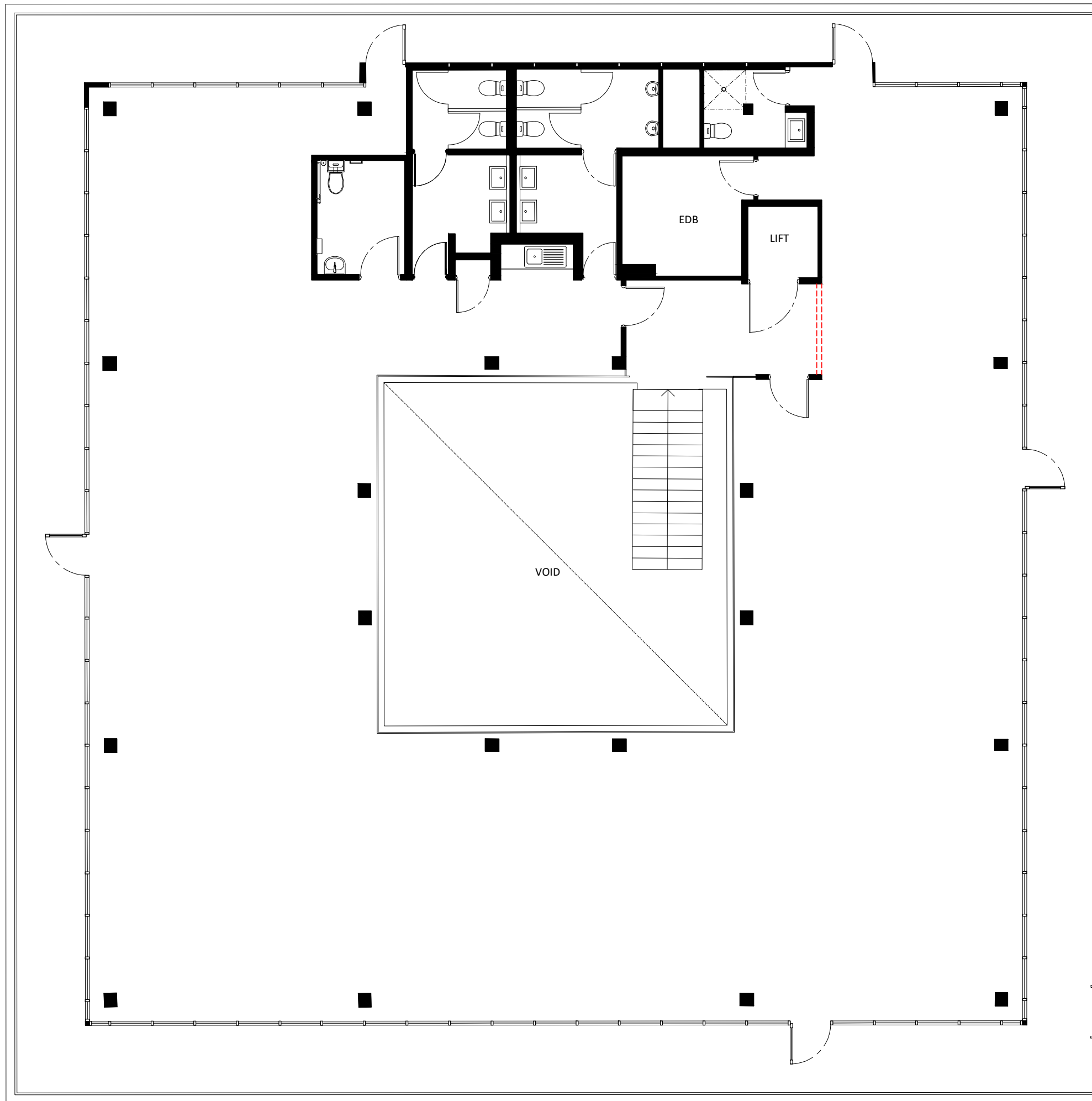
ARCHISPECTRUM
 Nominated Architect: Martin Bednarczyk | NSW ARB #8912
 Suite C5, 8 Allen St, Waterloo NSW 2017 | A.B.N. 40 966 067 144
 m: 0419 670 108 | ph: (02) 8399 2807 | e: office@archispectrum.com.au

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PROJECT:
Rumble Cromer
 Office 4, 4-10 Inman Road, Cromer, NSW

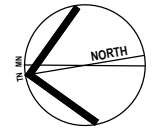
CLIENT:
Dan Collins
 Office 4, 4-10 Inman Road, Cromer, NSW

SHEET TITLE:
Site Plan



LEGEND:

- existing wall to remain
- existing wall to be demolished



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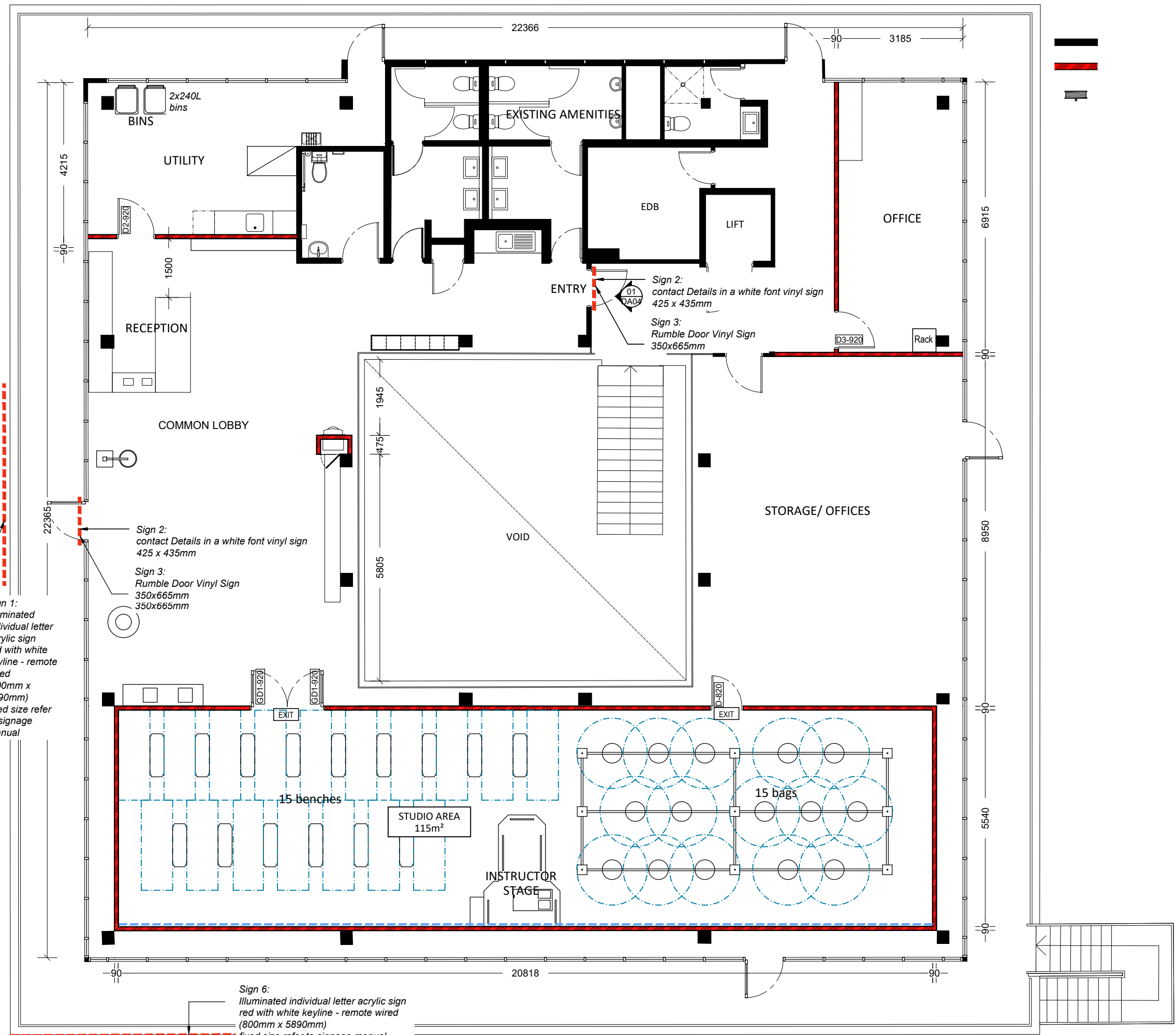
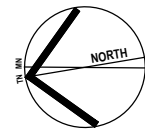
SHEET TITLE:
Existing Tenancy Plan

SCALE: 1:100 @ A3 SHEET SIZE: DWG NO: REVISION:
 DRAWN: Furqon S

A3 DA02.01 a

EXISTING TENANCY PLAN

SCALE: 1:100



Sign 1:
Illuminated individual letter acrylic sign red with white keyline - remote wired (800mm x 5890mm) fixed size refer to signage manual

Sign 2:
contact Details in a white font vinyl sign 425 x 435mm
Sign 3:
Rumble Door Vinyl Sign 350x665mm 350x665mm

Sign 2:
contact Details in a white font vinyl sign 425 x 435mm
Sign 3:
Rumble Door Vinyl Sign 350x665mm

Sign 6:
Illuminated individual letter acrylic sign red with white keyline - remote wired (800mm x 5890mm) fixed size refer to signage manual RMBB-FL-RMT-IL-R-18

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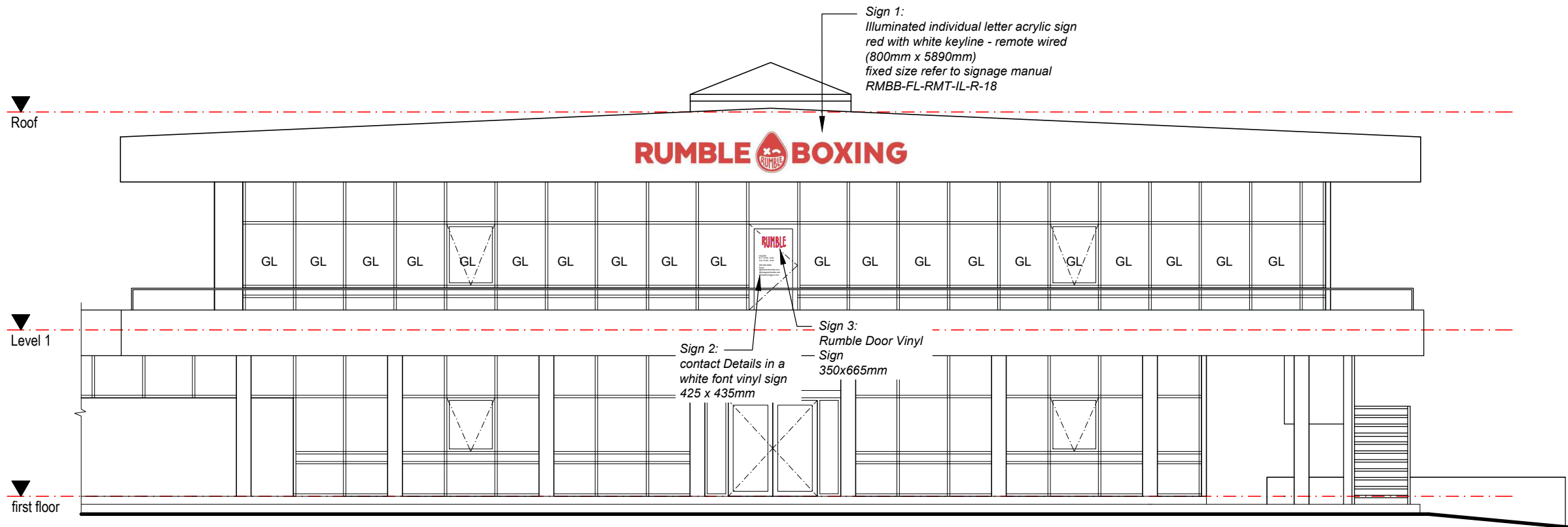
SHEET TITLE:
Proposed Tenancy Plan

SCALE: 1:100 @ A3 SHEET SIZE: DWG NO: REVISION:
 DRAWN: Furqon S

PROPOSED TENANCY PLAN

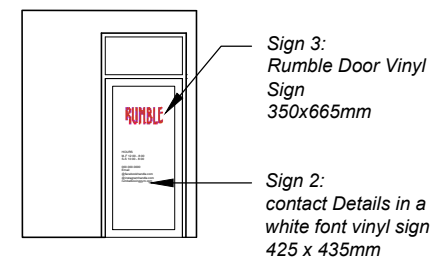
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A3 DA03.01 a



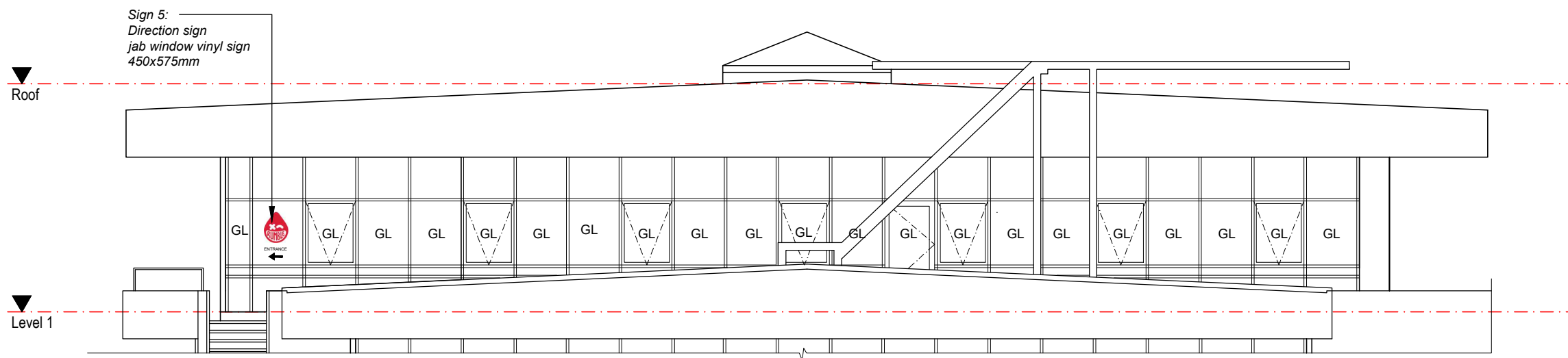
PROPOSED NORTH ELEVATION

SCALE: 1:100



ELEVATION 01

SCALE: 1:100



PROPOSED SOUTH ELEVATION

SCALE: 1:100

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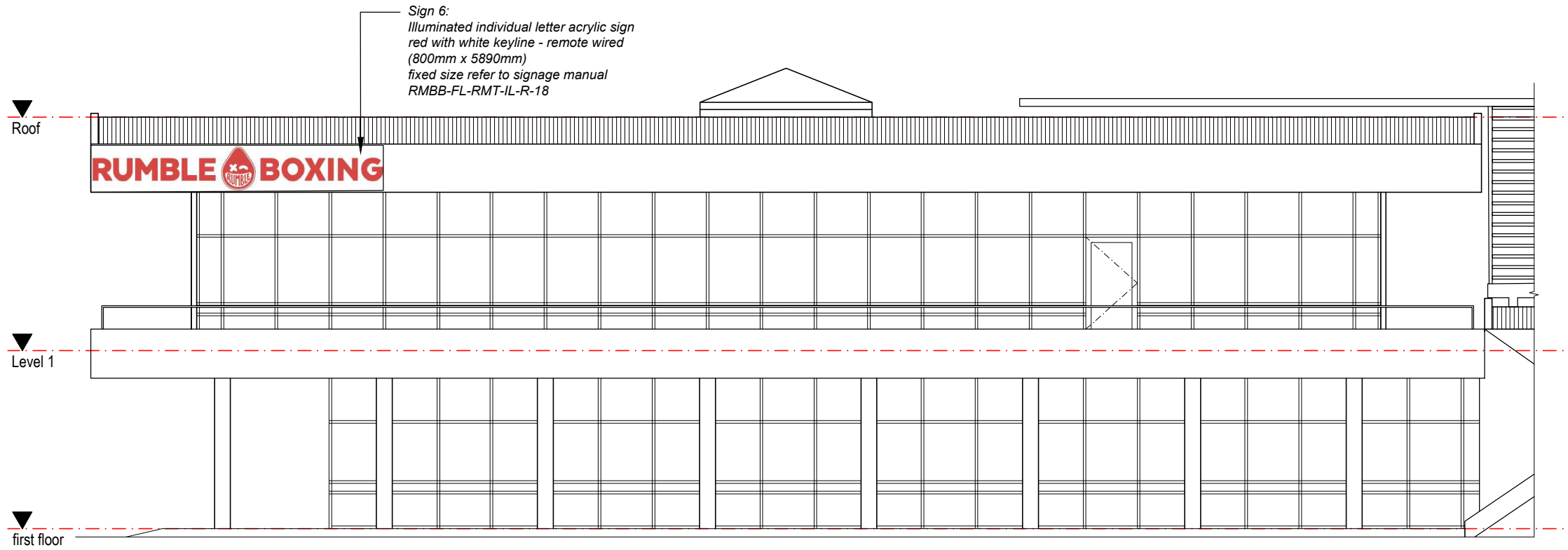
PROJECT:
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CLIENT:
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SHEET TITLE:
External Elevation & Signage Details

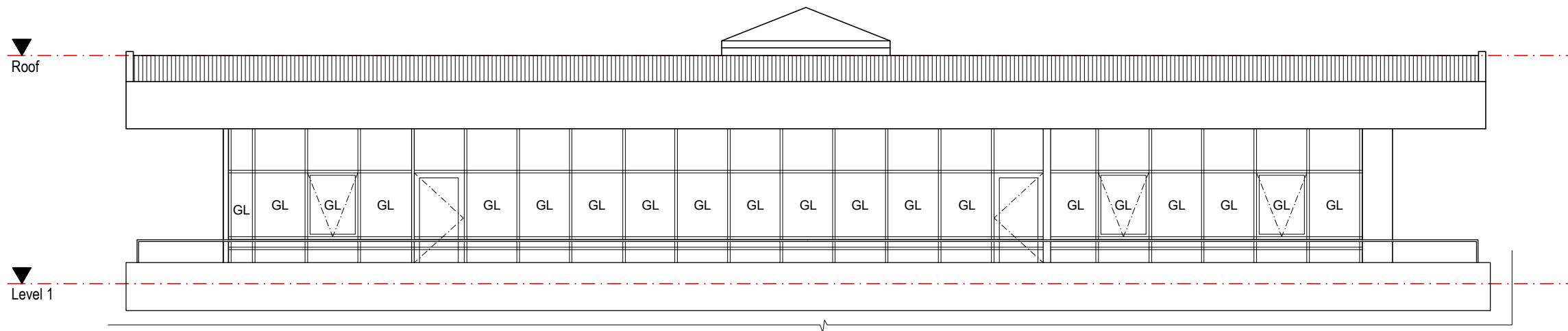
SCALE: 1:100 @ A3 SHEET SIZE: DWG NO: REVISION:
 DRAWN: Furqon S

A3 DA04.01 a



PROPOSED WEST ELEVATION

SCALE: 1:100



PROPOSED EAST ELEVATION

SCALE: 1:100

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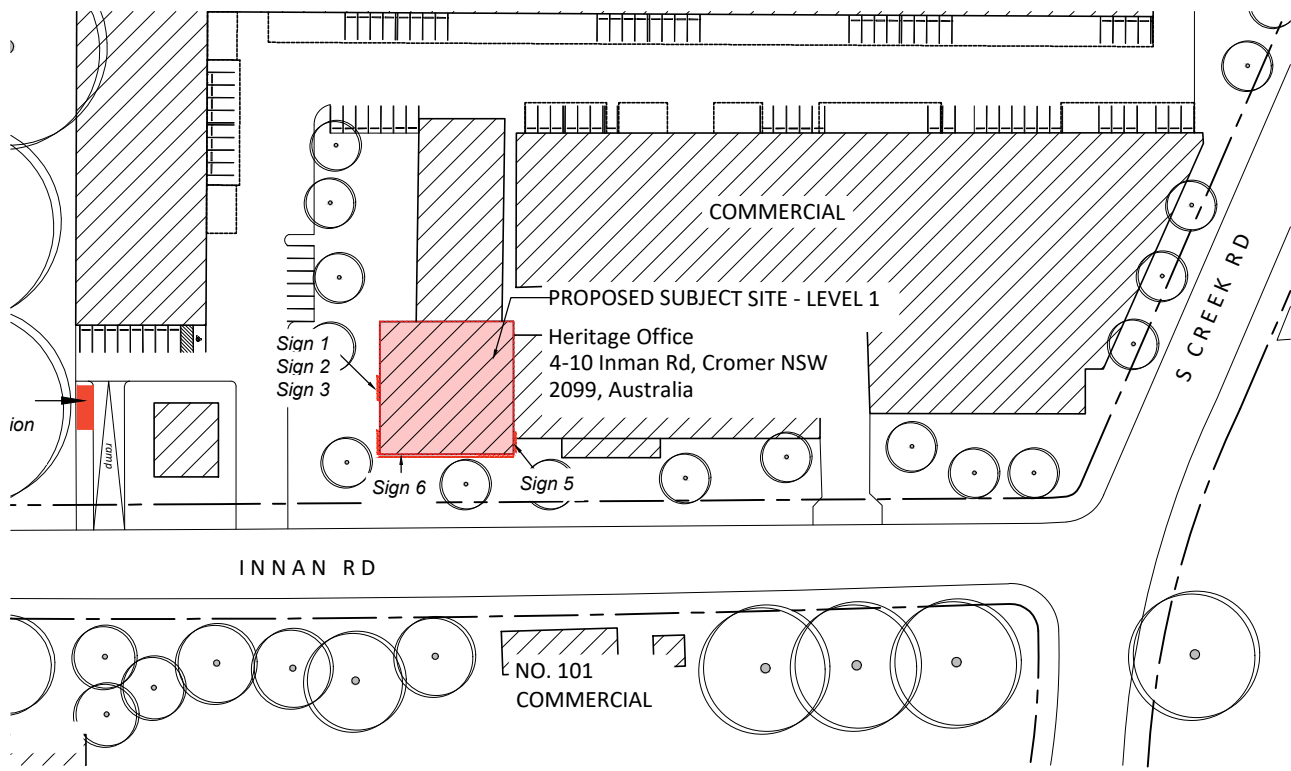
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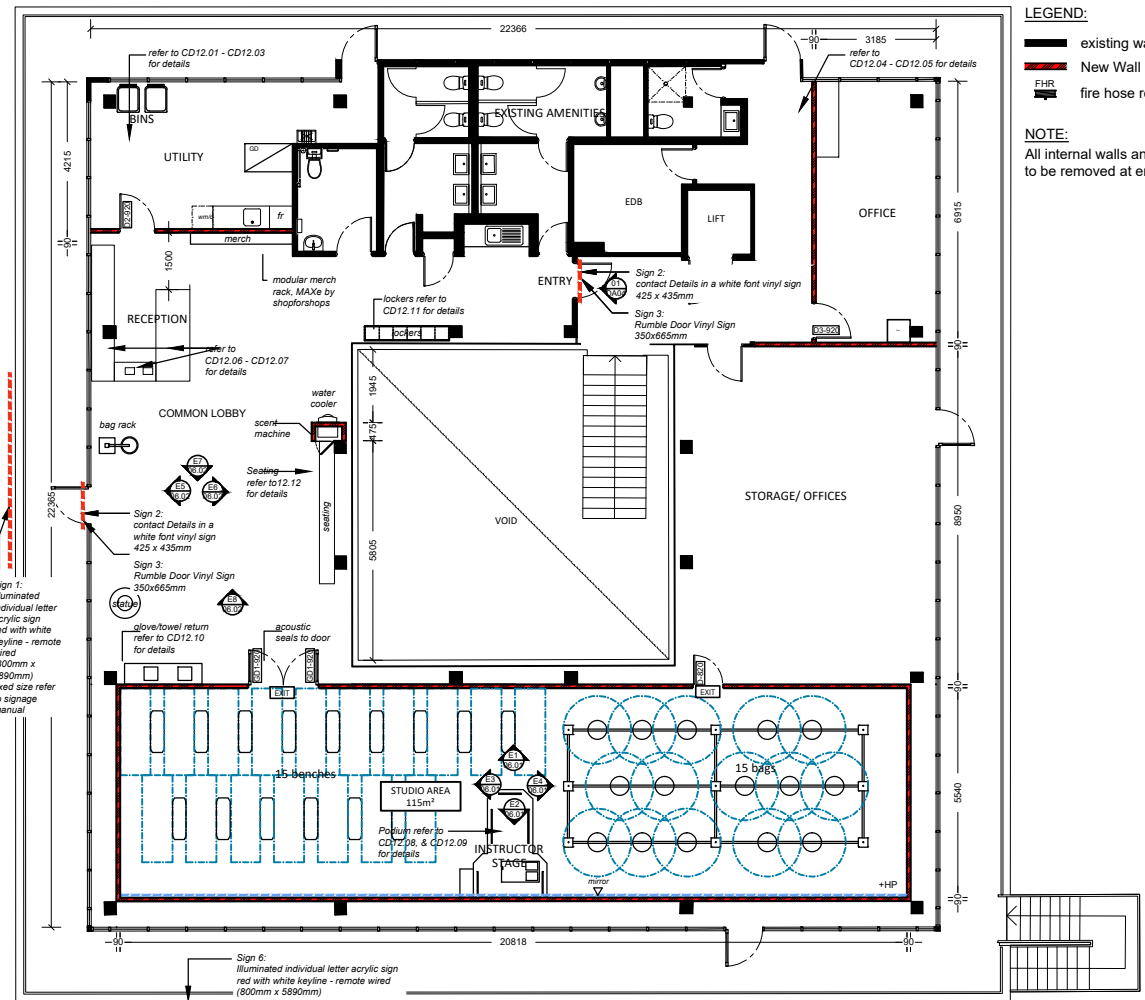
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A3 DA04.02 a



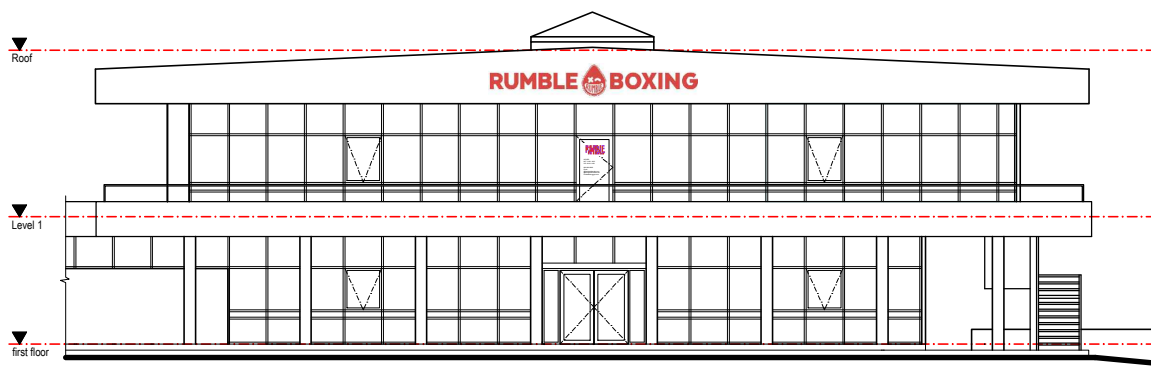
SITE PLAN

SCALE: 1:1500



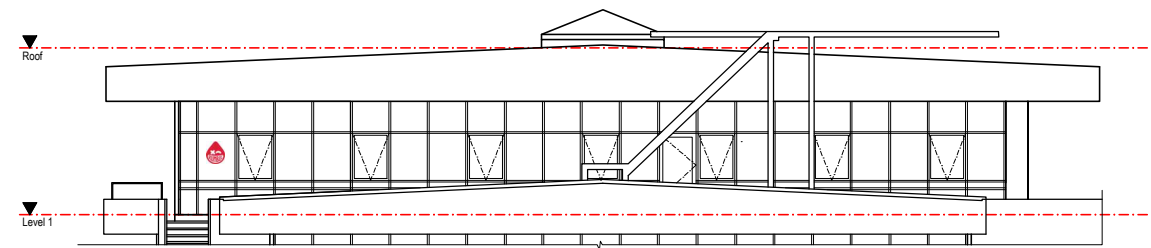
PROPOSED TENANCY PLAN

SCALE: 1:200



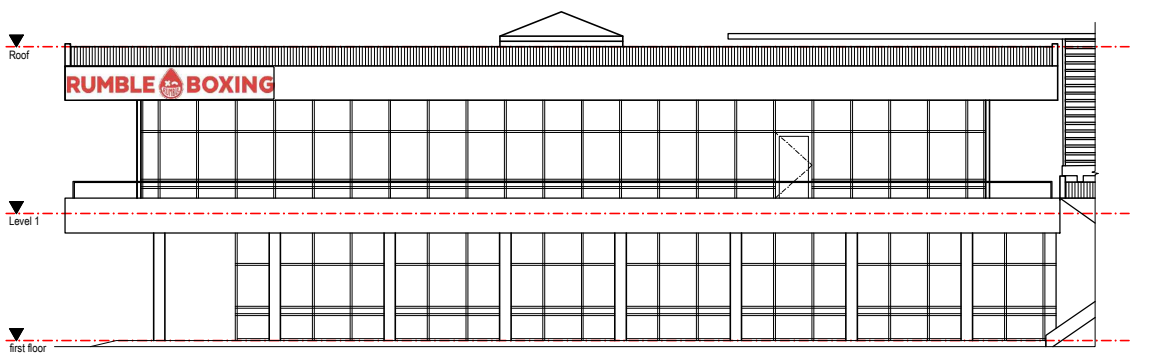
PROPOSED NORTH ELEVATION

SCALE: 1:200



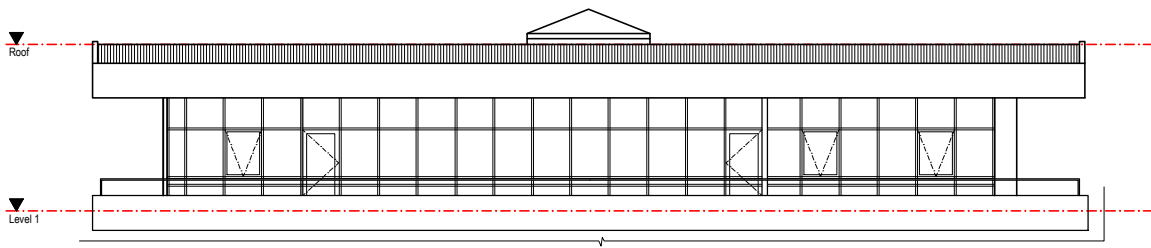
PROPOSED SOUTH ELEVATION

SCALE: 1:200



PROPOSED WEST ELEVATION

SCALE: 1:200



PROPOSED EAST ELEVATION

SCALE: 1:200

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SHEET TITLE:
Notification Drawings

SCALE: As shown @ A3
 DRAWN: Furqon S

SHEET SIZE: DWG NO: REVISION:
A3 N01 a