

STATEMENT OF ENVIRONMENTAL EFFECTS

Submission to Northern Beaches Council

ALTERATIONS AND ADDITIONS TO EXSITING DWELLING HOUSE

at



14 Garraween Ave North Balgowlah

JULY 2019

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1. Summary

Land to be developed (Address):	Lot 102 DP 13871, 14 Garraween Avenue, NORTH BALGOWLAH, NSW 2093
Proposed Development:	Alterations and Additions to an existing dwelling house
Zoning:	R2: Low Density Residential
Development Permissible:	Yes
Existing Use Rights:	No
Consent Authority:	Northern Beaches Council
Owner:	Sasha & Aimee Slavkovski

2. Introduction

This Statement of Environmental Effects assesses against the applicable planning controls for the site, including the relevant provisions of:

- Environmental Planning and Assessment Act 1979 (EPAA);
- Environmental Planning and Assessment Regulation 2000 (EPAR);
- Warringah Local Environmental Plan 2011 (WLEP);
- Warringah Development Control Plan 2011(WDCP);
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 (BASIX);

in support of the development application for the proposed alteration and addition to an existing dwelling house at **14 Garraween Avenue North Balgowlah**.

The proposed development is a visually modernised improvement of the existing dwelling house, with improved integration with the landform and provides continued consistency with surrounding developments. Upon completion of the assessment against all aforementioned documents, it is concluded that the development satisfies, otherwise comes within the 'four corners' of the relevant development standards.



Arial Photograph (from SIX Maps)

3. Site & Locality Description

- The subject allotment is known as No. 14 Garraween Avenue North Balgowlah, and it's located on a quiet street with village shops just around the corner.
- The site is located on the western side of Garraween Avenue. A single storey white weatherboard cottage currently occupies the site with no garage space.
- The property is located within land zoned for R2: Low-Density Residential pursuant to the WLEP. Dwelling houses are permissible on R2 zone.
- The site enjoys close proximity to beaches, parks and city transport, with level walks to the coveted schools of Farmhouse Montessori and North Balgowlah Primary.
- The site comprises of one lot, legally described as Lot 102 DP 13871.
- The site is a regular shape lot and has a total area of 467.3sqm.
- The property has a street frontage of 12.27 m and depth of 38.1m.
- Surrounding developments consist of similar detached one to two-storey dwelling houses, of varying ages.



Existing Dwelling House - View from Street

4. Proposed Development In Detail

The development proposal includes alteration and addition, as follows:

Ground Floor

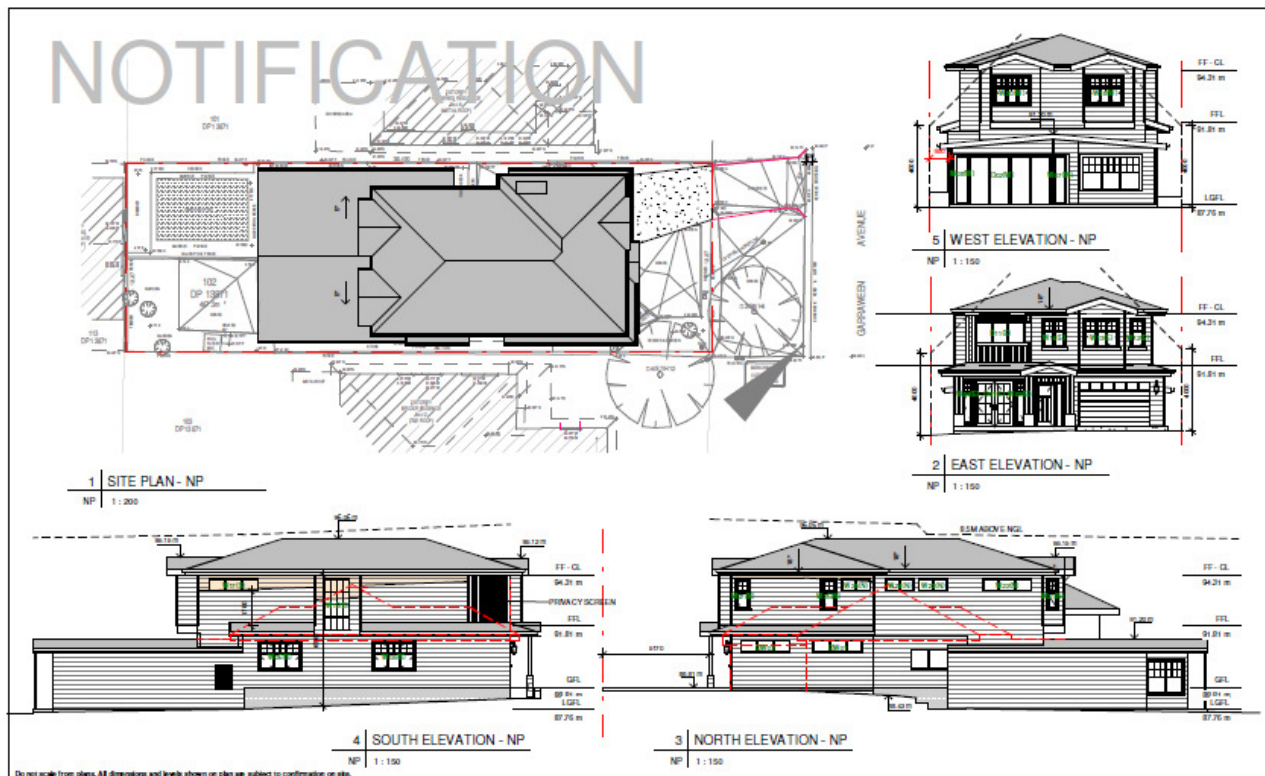
- demolition of the existing porch, part of the family room, bedroom 3 and a bathroom;
- partial demolition of the existing roof;
- demolition of paving and decking at the front;
- addition of a new garage, family room and stairs;
- replacement of rear doors and windows;

First Floor

- addition of a new first floor which includes a master bedroom, master retreat, ensuite, two other bedrooms, and a bathroom;
- a new roof over the first-floor addition;

to an existing single-storey dwelling house.

Please refer to the full set of plans for further details.



Notification Plan of Proposed Development

5. Site History

A search of Council's records has revealed the following relevant development applications:

- Development application DA1999/2680 for the demolition of garage/addition family room was approved by Council on the 14/01/2000.
- Modification application MOD1999/2680/1 for change of roof line: was approved by Council on the 07/04/2003.
- Development application A2015/0805 for Removal/Pruning of 1-2 Trees was approved by Council on the 27/08/2015.
- Complying Development Certificate CDC2015/0458 1 for Construction of an in-ground swimming pool: was approved by Private PCA on the 10/09/2015.
- Section 455 Modifications Mod2015/0255 for Construction of an in-ground swimming pool: Modification A: Relocate pool filter box was approved by Private PCA on the 06/11/2015.

6. Compliance Assessment

All, Environmental Planning Instruments (SEPPs, REPs and LEPs), Development Controls Plans and Council Policies have been considered in the merit assessment of this proposal.

In this regard, whilst all provisions of each Environmental Planning Instruments (SEPPs, REPs and LEPs), Development Controls Plans and Council Policies have been considered in the assessment, many provisions contained within the document are not relevant or are enacting, definitions and operational provisions which the proposal is considered to be acceptable against.

As such, an assessment is provided against the controls relevant to the merit consideration of the application hereunder:

Warringah Local Environmental Plan 2011 (WLEP)

Clause	Relevant Requirements	Proposed	Compliance with Requirements? Comments
4.3 Height of Buildings	Maximum building height is 8.5m	Maximum building height is 8.2m	Yes.
5.10 Heritage conservation Sub clause: (5) Heritage assessment	(c) on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or	The proposed development is located in the vicinity, but not close vicinity of the local heritage item: House, 23 Warringah Street, North Balgowlah Lot 35, DP 13871 (Item I105)	Yes. Comments: The site is located approximately 205m from the actual location of the local heritage item. The proposed development will not be visible from the heritage item, as the existing trees along the road obstruct the view. Therefore, proposed development does not adversely affect the heritage value of this local heritage item. As such, a heritage management document is not prepared.

	heritage conservation area concerned.		
6.4 Development on sloping land	<p>The objectives of this clause are as follows:</p> <p>(a) to avoid significant adverse impacts on development and on properties in the vicinity of development sites resulting from landslides originating either on or near sloping land,</p> <p>(b) to ensure the impacts of storm water runoff from development on or near sloping land are minimised so as to not adversely affect the stability of the subject and surrounding land,</p> <p>(c) to ensure subsurface flows are not adversely affected by development so as to not impact on the stability of existing or adjoining land.</p> <p>(2) This clause applies to land shown as Area A, Area B, Area C,</p>	The site is in Area A - Slope <5°	<p>Yes.</p> <p>Comments:</p> <p>The development does not propose earthworks. The development does not increase the hard surface area. In fact, it reduces the hard surface by 23.5 sqm. The development will maintain the existing stormwater runoff system.</p>

	Area D and Area E on the Landslip Risk Map.		
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Warringah Development Control Plan 2011(WDCP);

Control	Relevant Requirements	Proposed	Compliance with Requirements and comments
B1 Wall Heights	Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	Maximum proposed wall height 6.366m.	Yes.
B3 Side Boundary Envelope	Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of: <ul style="list-style-type: none"> • 4 metres, or • 5 metres as identified on the map. 	Northern Boundary set back is 0.95m. Southern Boundary set back is 1.2m.	No. Comments: The proposed development complies with side boundary setback requirements. For the most part, the development sits within the boundary envelope. However, the proposed development, uppermost corners of the first-floor addition, protrudes beyond the building envelope. The non-compliances are minor. The proposed development sits on a narrow site, and it maintains the existing boundary setbacks. The additional floor area provides much-needed amenities for the occupiers of the dwelling. The development also meets the expected outcomes such as development does not become visually dominant by virtue

			of its height and bulk, ensure adequate light, solar access (refer to shadow diagrams) and privacy by providing spatial separation between buildings, and responds to the topography of the site, of the control.
B5 Side Boundary Setbacks	0.9m from side boundaries	Northern Boundary set back 0.95m. Southern Boundary set back 1.2m.	Yes.
B7 Front Boundary Setbacks	Minimum 6.5m setback to road frontages	Front boundary setback is 5.0m from southern end of the site and 6.2m from the northern end of the site.	No. Comments: The existing development does not comply with the front boundary setbacks requirements. The proposed development partially maintains the existing front setbacks (6.2m). Further departure is created from the proposed articulation area. The articulation area is provided to comply with BASIX requirements. This also provides aesthetically pleasing building frontage. The minor partial departure from the existing front setbacks does not prevent the development meeting the expected outcomes of the control, as it maintains the sense of openness, visual quality. The departure does not affect the views enjoyed by the adjoining dwellings.
B9 Rear Boundary Setbacks	Minimum 6.0m setback to rear boundaries	Rear boundary setback is 9.59m.	Yes.
C3 Parking Facilities	2 spaces per dwelling	Single garage space is provided.	No. Comments: The existing dwelling house does not provide off-street parking facilities. The proposed development makes provision for a new single garage. The narrow width and depth of the site

			constrain the provision of two parking spaces on site. In addition a second car can be parked on the proposed new driveway, if required. Proposed single garage space is a considerable improvement when compared to the nil off-street parking facility currently provided with the dwelling house.
C4 Stormwater		The development will maintain existing stormwater runoff system.	Yes. Comments: The total site area is less than 450sqm, and the proposed development does not create additional hard impervious area. Therefore, per the Council's Water Management Policy, the development complies with stormwater requirements.
C5 Erosion and Sedimentation	Any erosion and sedimentation is to be managed at the source.	Appropriate erosion and sedimentation management measures will be installed during construction, if required.	Yes.
C8 Demolition and Construction	A waste management plan required.	A waste management plan is provided.	Yes. Comments: Please refer to the demolition plan and waste management plan.
C9 Waste Management	A waste management plan required.	A waste management plan is provided.	Yes.
D1 Landscaped Open Space and Bushland Setting	Require minimum 40% of the site to be landscaped open space.	30% landscaped open space is provided.	No. Comments: The existing dwelling includes only 30% of the site area as landscaped open space. The proposed development improves the landscaped area by 0.5sqm. The development does not

			affect any wildlife habitats and does not propose the removal of any existing trees. Even though the proposed development does not meet the requirements, it does not reduce the existing landscaped open space area. A continued departure from the control is, in our view, justified.
D2 Private Open Space	A total of 60m2 with minimum dimensions of 5 metres	A total of 64.5sqm private open space is provided.	Yes. Comments: Proposed private open space is directly accessible from the living area, located at the rear. The private open space receives sufficient solar access and privacy.
D3 Noise	Locate noise sensitive rooms such as bedrooms and private open space away from noise sources	Most bedrooms are located in the proposed first-floor level.	Yes.
D6 Access to Sunlight	At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.	The provided shadow diagrams confirm that the private open spaces of the proposed development and the adjoining dwellings receive a minimum of 3 hours of sunlight between 9 am and 3 pm on June 21.	Yes.
D7 Views	Development shall provide for the reasonable sharing	Development maintains reasonable	Yes.

	of views.	sharing of views.	
D8 Privacy	<p>1. Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.</p> <p>2. Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.</p> <p>3. The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass. 4. The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.</p>	The building design includes appropriate measurements to assure the privacy of the occupants and the neighbours.	<p>Yes.</p> <p>Comments:</p> <p>No additional windows proposed on the ground floor level of the southern elevation. Thus, the proposed development maintains the existing privacy level at the ground level from southern elevation. The adjoining dwelling house to the south is a single storey dwelling house. Therefore, windows on the proposed first floor of the southern elevation do not create direct or close views into the windows of the adjoining dwelling house. Furthermore, a privacy screen is proposed on the first-floor balcony on the southern elevation as a privacy measure.</p> <p>Apart from existing windows, all additional windows on northern elevation are highlight windows. Therefore, no direct view into the windows of the adjoining dwelling house on the northern boundary. West elevation includes new windows, replacing existing windows. The immediate neighbour at the west elevation is North Balgowlah community centre. Existing landscaping creates a privacy screen and provides privacy for the neighbours at the rear and the occupants of the dwelling house.</p> <p>The careful, position of the windows of the proposed development assures the privacy of the neighbours and the occupants of the dwelling house.</p>
D9 Building Bulk	1. Side and rear setbacks are to be	The development is	<p>Yes.</p> <p>Comments:</p>

	<p>progressively increased as wall height increases</p> <p>4. Building height and scale needs to relate to topography and site conditions.</p> <p>5. Orientate development to address the street.</p> <p>6. Use colour, materials and surface treatment to reduce building bulk.</p> <p>7. Landscape plantings are to be provided to reduce the visual bulk of new building and works.</p> <p>8. Articulate walls to reduce building mass.</p>	<p>designed such a way to reduce the building bulk as much as viable.</p>	<p>The second floor is set back further from the side boundaries. The front of the development addresses the street. Existing planting at the front boundary will remain as a part of the proposed development, except in the area where changes to the driveway are proposed. Though the narrow width of the site causes a minor departure from the building envelope, the development responds positively to the topography and the site conditions.</p>
D10 Building Colours and Materials	<p>The colours and materials used for alterations and additions to an existing structure shall complement the existing external building façade.</p>	<p>Colours and materials schedule accompanies the development application and complements the existing external building façade.</p>	<p>Yes.</p>
D11 Roofs	<p>2. Roofs should complement the roof pitch and forms of the existing buildings in</p>	<p>The development complements the roof pitch and</p>	<p>Yes.</p> <p>Comments:</p> <p>Please refer to plans for details of the roof form.</p>

	<p>the streetscape.</p> <p>3. Articulate the roof with elements such as dormers, gables, balconies, verandahs and pergolas.</p> <p>4. Roofs shall incorporate eaves for shading.</p>	<p>surrounding buildings. The roof incorporates eaves.</p>	
D14 Site Facilities	<p>Site facilities including garbage and recycling enclosures, mail boxes and clothes drying facilities are to be adequate and convenient for users and services and are to have minimal visual impact from public places.</p>	<p>The proposal maintains existing site facilities.</p>	Yes
D20 Safety and Security		<p>The proposed alterations and additions ensure that the entrance to dwelling house is from a public street and which the main entrance is clearly visible.</p>	Yes.
E10 Landslip Risk	<p>1. The applicant must demonstrate that:</p> <ul style="list-style-type: none"> • The proposed development is justified in terms of geotechnical 	<p>The site is in Area A - Slope <5°</p>	<p>Yes.</p> <p>Comments:</p> <p>The development does not propose earthworks. The development does not increase the hard surface area. In fact, it reduces the hard surface by 23.5sqm. The development will maintain the</p>

	stability; and • The proposed development will be carried out in accordance with good engineering practice. 2. Development must not cause detrimental impacts because of stormwater discharge from the land. 3. Development must not cause detrimental impact on the existing subsurface flow conditions including those of other properties.		existing stormwater runoff system. Therefore, the proposed development does not trigger the requirement for a geotechnical report nor a preliminary assessment of site conditions.
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SEPP (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been submitted with the application (see Certificate No. A351728 and 25 June 2019).

The BASIX Certificate indicates that the development will achieve the following:

Commitment	Required Target	Proposed
Water	40	Pass
Thermal Comfort	Pass	Pass
Energy	40	Pass

7. CONCLUSION

This Statement of Environmental Effects has taken into consideration the submitted plans and all other documentation supporting the application, and assessed against the all relevantly applicable to planning provisions. The proposal does not result in any unreasonable impacts on surrounding, adjoining, adjacent and nearby properties.

In consideration of the proposal and the merit consideration of the development, the proposal is considered to be consistent with the objectives of the DCP, zone objectives and aims of the LEP, objectives of the relevant EPIs and objects of the Environmental Planning and Assessment Act 1979.

In our opinion, the proposed development satisfies the appropriate controls. The proposed alterations and additions will integrate with the landform and landscape and be consistent with surrounding developments. In summary, the proposal should be approved as the design is reasonable for the site by virtue of the level of non-compliance that does not create unreasonable amenity impacts.

We have attempted the provided information in this SEE to be as accurate as possible, relying on the information provided to us to date. However, we make no claims, guarantees or promises about the accuracy, currency, or completeness of the information provided and are not responsible for any errors or omissions, or for results obtained from the use of the information. Every possible effort is made to keep the content of this document accurate and current, but that may not always be the case.