



Project St. Alma, Freshwater
20 Albert Street, Freshwater

Report BCA Assessment Report

Reference C22264-BCA2019-r1

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Document Control

Reference/Revision	Date	BCA Assessment Report	
C22264-BCA2019-r1	12/07/2022	Prepared by	Dyan Artesano Building Surveyor
			
		Reviewed by	Adam Southwell Associate Building Surveyor – Unrestricted BDC3305
			

1 Introduction

1.1 Building Location

The building, the subject of this report, is located at 20 Albert Street, Freshwater. The building consists of a two storey building with an existing restaurant use.

The development proposes the construction of a courtyard area and bin area to accommodate a total number of ten (10) staff and seventy-one (71) patrons.

1.2 Objectives

The purpose of this report is to provide an assessment against Building Code of Australia 2019, Amendment 1 (BCA) addressing all relevant clauses therein to identify where the subject building achieves compliance and non-compliance, as well as provide appropriate Performance Solutions where available, which are required to be prepared under separate cover.

It is presumed the assumptions, content, and limitations of this report are reviewed, noted, and understood by the reader. Credwell Consulting are to be contacted to clarify any queries or assumptions made in relation to the contents of this report and further, Credwell Consulting take no responsibility for misinterpretation of any of the content herein.

1.3 Limitations

This report does not include, nor imply, any audit, assessment, or upgrading of:

1. The structural design of the building;
2. The capacity or design of any electrical, fire, hydraulic or mechanical services; and
3. The Disability (Access to Premises – Building) Standards 2010 and the Disability Discrimination Act 1992 (Cth)

This report does not include, nor imply, any assessment of, or compliance with:

4. Any Development Consent conditions;
5. The Liquor Licencing Act 2007;
6. The Work Health and Safety Act 2011;
7. The Swimming Pools Act 1992; and
8. Requirements of Authorities including, but not limited to, WorkCover, RMS, Council, Telecommunications Supply Authority, Electricity Supply Authority, Water Supply Authority, Gas Supply Authority and the like.

Interpretations

A number of matters within the BCA are known to be interpretive. Where these matters are encountered, interpretations have been used that are consistent with Credwell Consulting's understanding of standard industry practice.

Dimensions and Tolerances

In some instances, the BCA specifies minimum dimensions for construction. The assessment of plans and specifications includes a review of such minimum dimensions that are relevant to the project, but Credwell Consulting does not guarantee that all relevant minimum dimensions have been assessed where they are not clearly and explicitly denoted/marked on the architectural drawings.

The relevant designer(s) and builder(s) should confirm that all minimum dimensions are achievable on site prior to works and consideration/attention should be given to construction

tolerances impacted by wall set outs, applied finishes, and skirtings to corridors and bathrooms. For example, tiling bed thickness on walls and floors can adversely impact critical minimum dimensions relating to access for people with disabilities, stair and corridor widths, and balustrade heights.

1.4 [Reviewed Documentation](#)

This report is based on documentation referenced in Annexure A.

2 Building Description

For the purposes of the BCA, the building is described as follows:

2.1 Classification

Class	Use	Area
Class 6	Restaurant	Ground Floor, Courtyard and First Floor
Class 10a	Bin Area	Ground Floor

2.2 Areas to be accessible

Class	Use	Area
Class 6	Restaurant	To and within all areas normally used by the occupants.
Class 10a	Bin Area	To and within – (a) an accessible sanitary facility; and (b) a change room facility; and (c) a public shelter or the like.

2.3 Rise in Storeys

The building has a rise in storeys of two (2).

2.4 Type of Construction

Given the classification of the top floor and the rise in storeys the building is to be of Type C Construction.

2.5 Effective height

The effective height has been calculated to be 0m.

Note: Effective height means the vertical distance between the floor of the lowest storey included in the calculation of rise in storeys and the floor of the topmost storey (excluding the topmost storey if it contains only heating, ventilating, lift or other equipment, water tanks or similar service units).

2.6 Fire Compartments

The building is a single fire compartment.

2.7 Required Exits

The following have been considered as the exits from the building:

First Floor

1. Stairway serving the first floor.

Ground Floor

2. Entry doorway.

Bin Area

3. Door serving bin area.

2.8 Climate Zone

The building is located within Climate Zone 5, being within the Northern Beaches local government area.

3 Fire Safety Measures

Given the assessment in this report, the following fire safety measures are required to be installed in the building. This list is subject to minor change if Performance Solutions are proposed, or other options are taken during the Construction Certificate (CC) and/or construction stages.

Fire Safety Measure		Standard of Performance	Existing/Modified/New
1.	Emergency lighting	BCA E4.2, E4.4 AS/NZS 2293.1	Modified
2.	Exit signs	BCA E4.5, E4.6 AS/NZS 2293.1	Modified
3.	Fire Door	BCA D2.8 AS 1905.1-2015	Existing
4.	Protection of openings -/-60/- fire window that is permanently fixed in the closed position	BCA C3.4, Specification C3.4	Existing
5.	Lightweight construction FRL 90, 2x layers 16mm fire rated plasterboard to lintel supporting fire window	BCA C1.1, C1.8 and Specification C1.8	Existing
6.	Portable fire extinguishers	BCA E1.6 AS 2444-2001	Modified
7.	Automatic fire detection and alarm systems	BCA2019 Amnd 1 Clause E2.2 and Specification E2.2a Clauses 4 and 7	Existing
8.	Building occupant warning system	BCA2019 Amnd 1 Clause E2.2 and Specification E2.2a Clause 7	Existing

4 Fire Resistance Levels

The following fire resistance levels (FRLs) are required for the various elements of the building. Where the table below refers to a fire source feature (FSF), this is as defined in the BCA as the far boundary of a road, river, lake or the like adjoining the allotment, or a side or rear boundary of the allotment, or an external wall of another building on the allotment which is not a Class 10 building.

Building Element – Type C Construction	Class 6
External Walls <ul style="list-style-type: none"> - Less than 1.5m from a FSF - 1.5 - 3m from a FSF - 3m or more from a FSF 	90/90/90 60/60/60 -/ -/ -
External Columns (not incorporated into an external wall) <ul style="list-style-type: none"> - Less than 1.5m from a FSF - 1.5 - 3m from a FSF - 3m or more from a FSF 	90/-/- 60/-/- -/ -/ -
Common Walls and Fire Walls	90/90/90
Internal Walls - Fire resisting stair shafts –	60/60/60
Internal Walls – Bounding public corridors, public lobbies and the like <ul style="list-style-type: none"> - 	-/-/-
Internal Walls – Between or bounding sole-occupancy units	-/-/-
Roofs	-/-/-

5 Disability (Access to Premises – Building) Standards 2010

The Disability (Access to Premises – Building) Standards 2010 (Premises Standards) is a standard created under the DDA which includes construction standards which generally mirror the accessibility requirements of the BCA.

Clause 2.1 of the Premises Standards apply to new buildings and new building work as per the legislation stated in italic font below, however, given the mirrored requirements of both the BCA and the Premises Standard, compliance with the BCA provides compliance with the Premises Standards.

2.1 Buildings to which Standards apply

(1) Subject to subsection (2), these Standards apply to the following:

- (a) a new building, to the extent that the building is:
 - (i) a specified Class 1b building; or*
 - (ii) a Class 2 building that has accommodation available for short-term rent;*
or
 - (iii) a Class 3, 5, 6, 7, 8, 9 or 10 building;**
- (b) a new part, and any affected part, of a building, if the building is:
 - (i) a specified Class 1b building; or*
 - (ii) a Class 2 building that:
 - (A) is a new building; and*
 - (B) has accommodation available for short-term rent; or**
 - (iii) a Class 3, 5, 6, 7, 8, 9 or 10 building;**
- (c) an existing public transport building that is still in use on the target date mentioned in an item in the table in section 3.1.*

As per Clause 2.1(5) of the Premises Standards, an affected part is:

(5) An affected part is:

- (a) the principal pedestrian entrance of an existing building that contains a new part;*
and
- (b) any part of an existing building, that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.*

Therefore, the principal pedestrian entrance to the areas of work proposed is deemed to be the existing entrance on Albert Street.

6 Matters for Further Consideration

6.1 Assessment

The reviewed documentation referenced in Annexure A of this report has been assessed against the Deemed-to-Satisfy (DtS) provisions of the BCA. This assessment has identified the following areas where compliance with the BCA will require further consideration.

Annexure B of this report provides a detailed assessment of the proposal against each of the relevant DtS provisions of the BCA.

6.2 Possible Performance Solutions

The following items relate to areas where a Performance Solution may be available to justify a deviation from the DtS requirements of the BCA. This report does not form a Performance Solution.

Architectural / Façade

Item	Possible Performance Solution	DtS Provision
1.	As there are no Deemed-to-Satisfy Provisions with respect to the prevention of the penetration of water through external walls a Performance Solution is necessary to satisfy the Performance Requirements of the BCA. The assessment contained within this report does not include an assessment against Performance Provision FP1.4.	FP1.4
2.	Permit the use of fabric in lieu of concrete roofing tiles, terracotta roofing tiles, cellulose cement corrugated sheeting, metal sheet roofing, plastic sheet roofing, or terracotta, fibre-cement and timber slates and shingles.	F1.5

6.3 Damp and Weatherproofing – Part F1

Performance Requirement FP1.4, for the prevention of the penetration of water through external walls, must be complied with. There are no Deemed-to-Satisfy Provisions for this *Performance Requirement* in respect of external walls.

As there are no Deemed-to-Satisfy Provisions with respect to the prevention of the penetration of water through external walls a Performance Solution is necessary to satisfy the Performance Requirements of the BCA. The assessment contained within this report does not include an assessment against Performance Provision FP1.4.

6.4 Roof Covering – Clause F1.5

It is likely that the retractable awning will be in place for a significant amount of time, and as such the awning has been considered as a roof. A roof must be covered with the following materials:

- (a) concrete roofing tiles complying with AS 2049 and fixed, except in cyclonic areas, in accordance with AS 2050, as appropriate; or
- (b) terracotta roofing tiles complying with AS 2049 and fixed, except in cyclonic areas, in accordance with AS 2050; or
- (c) cellulose cement corrugated sheeting complying with AS/NZS 2908.1 and installed in accordance with AS/NZS1562.2; or

- (d) metal sheet roofing complying with AS 1562.1; or
- (e) plastic sheet roofing designed and installed in accordance with AS/NZS 4256.1, AS/NZS 4256.2, AS/NZS 4256.3, AS/NZS 4256.5 and AS/NZS 1562.3; or
- (f) Terracotta, fibre-cement and timber slates and shingles designed and installed in accordance with AS 4597, except in cyclonic areas.

The proposed fabric covering does not comply with Clause F1.5, and therefore is required to have a Performance Solution to maintain the use of the fabric roof covering.

7 Statement of Compliance

The architectural design documentation as referred to in Annexure A of this report has been assessed against the relevant provisions of the BCA and it is considered that the documentation complies or is capable of complying with the BCA as outlined in Annexure B.

Annexure A – Reviewed Documentation

This report has been based on the documentation listed below:

Architectural Details prepared by Five Foot One Design Project (2036, St. Alma Freshwater – Courtyard)		
Drawing Number	Revision	Title
DA.001	A	Existing Site Plan
DA.100	A	Demolition Plan
DA.101	A	General Arrangement Plan
DA.200	A	Proposed Elevations
DA.201	A	Proposed Elevations
DA.300	A	Finishes

Annexure B – Detailed Assessment

Outlined below is a detailed assessment of the proposal against the DtS provisions of the BCA.

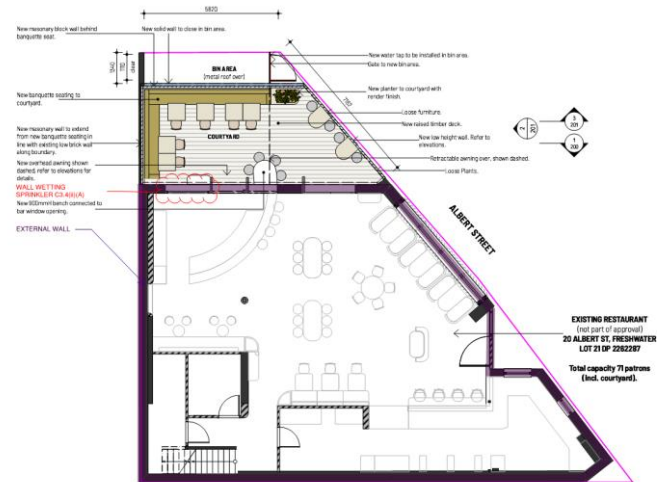
All relevant DtS Clauses applicable to the proposal have been reference, Clauses not are not relevant have been deleted.

The following abbreviations have been used in the tables below:

PS	-	A Performance Solution is proposed to achieve compliance with this Clause.
CRA	-	“Compliance Readily Achievable” – it is considered that whilst there is insufficient information currently provided to determine strict compliance with the DtS provisions of the BCA the proposed design is capable of comply subject to noting the requirements of the Clause. Additional information or documentation is necessary to confirm compliance. This may be in the form of additional drawing, a specification or design certification. See Part 8 for a proposed specification.
Complies	-	The proposal shows compliance with the DtS Clause.
DNC	-	The design does not comply with the DtS Clause.
FI	-	Further information is required for assessment of the proposal relative to the DtS Clause.
N/A	-	The DtS Clause is not applicable at this stage to this design.
Noted	-	The DtS Clause provides information not requiring specific assessment of the proposed design.

SECTION B - STRUCTURE			
Clause		Comments	Assessment
Part B1 – Structural Provisions			
B1.0	DtS Provisions	Information only.	Noted
B1.1	Resistance to actions	Resistance to actions must be in accordance with this Clause. Structural Engineer to certify.	CRA
B1.2	Determination of individual actions	The magnitude of individual actions must be determined in accordance with this Clause.	CRA
B1.4	Determination of structural resistance of materials and forms of construction	The structural resistance of materials and forms of construction must be determined in accordance with this Clause. Structural Engineer to certify.	CRA
B1.5	Structural software	Structural software used in computer aided design of a building or structure must comply with the ABCB Protocol for Structural Software in accordance with this Clause. Structural Engineer to certify.	CRA
B1.6	Construction in buildings in flood hazard areas	A Class 2 or 3 building, Class 9a health-care building, Class 9c building or Class 4 part of a building in a flood hazard area must comply with this Clause.	CRA

SECTION C – FIRE RESISTANCE			
Clause		Comments	Assessment
Part C1 – Fire Resistance and Stability			
C1.0	DtS Provisions	Information only.	Noted
C1.1	Type of construction required	The building is to be of Type C Construction.	Noted
		<u>Courtyard</u> The courtyard has been considered as an external space.	Noted
C1.2	Calculation of rise in storeys	The rise in storey of the building is two (2). The rise in storey is the sum of storeys at any part of the external wall of the building and any storey within the roof space.	Noted
C1.3	Buildings of multiple classifications	N/A – The building is of a single classification.	N/A
C1.4	Mixed types of construction	N/A – The building is required to be of a single type of construction.	N/A
C1.5	Two storey Class 2, 3 and 9c buildings	N/A – The development relates to a Class 6 part of the building.	N/A
C1.6	Class 4 parts of buildings	N/A – The development relates to a Class 6 part of the building.	N/A
C1.7	Open spectator stands and indoor sports stadiums	N/A – The development relates to a Class 6 part of the building. The development does not contain an open spectator stand or indoor sports stadium.	N/A
C1.8	Lightweight construction	Where lightweight construction used to achieve an FRL is to comply with this clause and as necessary Specification C1.8.	CRA
C1.9	Non-combustible building elements	N/A – The building is required to be Type C Construction.	N/A
C1.10	Fire hazard properties	Fire hazard properties of all materials to comply with this Clause and Specification C1.10.	CRA
C1.11	Performance of external walls in fire	N/A – The development is not proposed to incorporate pre-cast concrete, tilt up panels or similar construction methodology.	N/A
C1.13	Fire-protected timber: Concession	N/A – The development is not proposed to be constructed of fire-protected timber.	N/A
C1.14	Ancillary elements	Ancillary elements other than those listed in this Clause are not to be fixed, installed or attached to internal parts or external face of an external wall that is required to be non-combustible.	CRA
Part C2 – Compartmentation and Separation			
C2.0	DtS Provisions	Information only.	Noted
C2.1	Application of Part	Information only.	Noted

Clause	Comments	Assessment						
C2.2 General floor area and volume limitations	<table border="1"> <tr> <td>Class 6</td><td>Maximum Floor Area</td><td>2,000m²</td></tr> <tr> <td></td><td>Maximum Volume</td><td>12,000m³</td></tr> </table>	Class 6	Maximum Floor Area	2,000m ²		Maximum Volume	12,000m ³	Noted
Class 6	Maximum Floor Area	2,000m ²						
	Maximum Volume	12,000m ³						
C2.3 Large isolated building	N/A – The development has not been assessed as a large isolated building.	N/A						
C2.4 Requirements for open spaces and vehicular access	N/A – The development has not been assessed as a large isolated building.	N/A						
C2.5 Class 9a and 9c buildings	N/A – This Clause relates to Class 9a and Class 9c buildings. The development relates to a Class 6 part of the building.	N/A						
C2.6 Vertical separation of openings in external walls	N/A – There are no new openings affecting above storeys.	N/A						
C2.7 Separation by fire walls	N/A – The development does not propose new fire walls.	N/A						
C2.8 Separation of classifications in the same storey	N/A – The building is of a single classification.	N/A						
C2.9 Separation of classifications in different storeys	N/A – The development relates to a Class 6 part of the building, consisting of a ground floor extension.	N/A						
C2.10 Separation of lift shafts	N/A – The development relates to a Class 6 part of the building, consisting of a ground floor extension.	N/A						
C2.11 Stairways and lifts in one shaft	N/A – The development relates to a Class 6 part of the building, which does not include a stairway and lift.	N/A						
C2.12 Separation of equipment	N/A – The development relates to a Class 6 part of the building, which	N/A						
C2.13 Electricity supply system	N/A – The development relates to a Class 6 part of the building, which does not propose an electricity substation.	N/A						
C2.14 Public corridors in a Class 2 and 3 buildings	N/A – This Clause relates to Class 2 and Class 3 parts of a building. The development relates to a Class 6 part of the building.	N/A						
Part C3 – Protection of Openings								
C3.0 DtS Provisions	Information only.	Noted						
C3.1 Application of Part	Information only.	Noted						
C3.2 Protection of openings in external walls	<p>The existing eastern wall contains an opening – within 3m of the northern boundary.</p> <p>There is an existing fixed window which has been listed as a -/60/- window on the fire safety schedule. No change is proposed to this window.</p> 	Noted						

Clause	Comments	Assessment
C3.3 Separation of external walls and associated openings in different fire compartments	N/A – The building is a single fire compartment.	N/A
C3.4 Acceptable methods of protection	<p>Where protection is required, doorways, windows and other openings must be protected as follows:</p> <p>(i) Doorways— (A) internal or external wall-wetting sprinklers as appropriate used with doors that are self-closing or automatic closing; or (B) –/60/30 fire doors that are self-closing or automatic closing.</p> <p>(ii) Windows— (A) internal or external wall-wetting sprinklers as appropriate used with windows that are automatic closing or permanently fixed in the closed position; or (B) –/60/– fire windows that are automatic closing or permanently fixed in the closed position; or (C) –/60/– automatic closing fire shutters.</p> <p>(iii) Other openings— (A) excluding voids — internal or external wall-wetting sprinklers, as appropriate; or (B) construction having an FRL not less than –/60/–.</p> <p>Fire doors, fire windows and fire shutters must comply with Specification C3.4.</p>	Noted
C3.5 Doorways in fire walls	N/A – The development does not require or propose doorways in fire walls as described by this Clause.	N/A
C3.6 Sliding fire doors	N/A – The development does not require or propose sliding fire doors.	N/A
C3.7 Protection of doorways in horizontal exits	N/A – The development does not require or propose horizontal exits.	N/A
C3.8 Openings in fire-isolated exits	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
C3.9 Service penetrations in fire-isolated exits	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
C3.10 Openings in fire-isolated lift shafts	N/A – There are no new lifts.	N/A
C3.11 Bounding construction: Class 2 and 3 buildings and Class 4 parts	N/A – This Clause relates to Class 2, Class 3 or Class 4 parts of a building. The development relates to a Class 6 part of the building.	N/A
C3.12 Openings in floors and ceilings for services	N/A – There are no new shafts.	CRA
C3.13 Openings in shafts	N/A – The building does not contain a shaft required to achieve an FRL.	N/A
C3.15 Openings for service installations	Service penetrations through fire rated building elements are to be sealed in accordance with a tested system and manufacturer specifications in accordance with this Clause.	CRA
C3.16 Construction joints	Construction joints in fire rated building elements are to be appropriately treated to maintain the integrity and insulation of the element in which they are located.	CRA
C3.17 Columns protected with lightweight construction to achieve an FRL	Any columns protected with lightweight fire rated materials to achieve a required FRL are to comply with this Clause.	CRA
Specification C1.1 – Fire Resisting Construction		

Clause	Comments	Assessment
1 Scope	This Specification contains the requirements for fire resisting construction of building elements.	Noted
2 General Requirements		
2.1 Exposure to FSF	The building is exposed to FSF to the north and east from neighbouring properties.	CRA
2.2 Fire protection for support of another part	Where a part of a building required to have a FRL depends on direct vertical or lateral support from another part to maintain its FRL. That supporting part must have a FRL not less than that required by other provisions as set out in this Clause.	CRA
2.3 Lintels	A lintel must have the FRL required for the part of the building in which it is situated unless it does not contribute to the support of a fire door, fire window or fire shutter and it otherwise complies with this Clause.	CRA
2.4 Method of attachment reduce the fire-resistance of building element	The fire-resistance of a building element is not to be impacted by the method of attaching or installing a finish, lining, ancillary element or a service installation in accordance with this Clause	CRA
2.5 General concessions	This Clause provides concessions to reduce or remove FRLs for the following elements in certain scenarios: <ul style="list-style-type: none"> - Steel columns - Timber columns - Structures on roofs - Curtain walls and panel walls - Balconies and verandas 	Noted
	N/A - The above are not proposed in this building.	N/A
	The courtyard – being a veranda – forms part of the path of travel from this space and therefore is not subject to this concession.	Noted
2.6 Mezzanine floors: Concession	N/A – The building does not contain a mezzanine.	N/A
2.7 Enclosure of Shafts	N/A – The building does not contain a shaft required to achieve an FRL.	N/A
2.8 Carparks in Class 2 and 3 buildings	N/A – The development relates to a Class 6 part of the building.	N/A
2.9 Residential aged care building: Concession	N/A – The development relates to a Class 6 part of the building, which is not a residential aged care building.	N/A
5 Type C Construction		
5.1 Fire resistance of building elements	The building elements are to have FRLs as determined by this Clause. See Part 4 of the Report. It is noted that FRLs for external walls need only be measured from the external side of the wall.	CRA
5.2 Carparks	N/A – The development relates to a Class 6 part of the building. The development does not propose the construction of a carpark.	N/A
Specification C1.8 – Structural Tests for Lightweight Construction		
1 Scope	This Specification describes test methods to be applied to and criteria to be satisfied by a wall system of light weight construction.	Noted
2 Application	Information only.	Noted
3 Tests	Tests to walls and lift shafts to comply with this Clause.	CRA
4 Test Specimens	Testing to comply with this Clause.	CRA
5 Test methods	Tests to be carried out in accordance with this Clause.	CRA
6 Criteria for compliance	The wall system or the specimen of it must comply with this Clause.	CRA
Specification C1.10 – Fire Hazard Properties		
1 Scope	This Specification sets out requirements in relation to the fire hazard properties of linings, materials and assemblies in buildings.	Noted
2 Application	Linings, materials and assemblies must comply with the appropriate provisions described in Table 1 of this Clause.	Noted

Clause		Comments	Assessment
3	Floor linings and floor coverings	Fire hazard properties of the floor linings and floor coverings are to comply with this Clause.	CRA
4	Wall and ceiling linings	Fire hazard properties of the wall and ceiling linings are to comply with this Clause.	CRA
5	Air-handling ductwork	Fire hazard properties of the air-handling ductwork are to comply with this Clause.	CRA
6	Lift cars	Fire hazard properties of the lift cars are to comply with this Clause.	CRA
7	Other materials	Fire hazard properties of other materials not covered in Clauses 3, 4, 5 or 6 above are to comply with this Clause.	CRA

SECTION D – ACCESS AND EGRESS

Clause		Comments	Assessment
Part D1 – Provisions for Escape			
D1.0	DtS Provisions	Information only.	Noted
D1.1	Application of Part	Information only.	Noted
D1.2	Number of exits required	A minimum of one (1) exit is to be provided from each storey of the building. The exits are as described within Section 2 of this Report.	Complies
D1.3	When fire-isolated stairways and ramps are required	N/A – The development does not include the construction or alterations of stairways and ramps. Note: The building is not required to be provided with a fire-isolated stairway as it connects not more than two (2) storeys.	N/A
D1.4	Exit travel distances	No point on a floor must be more than 20m from an exit, or a point from which travel in different directions to two (2) exits is available, in which case the maximum distance to one of those exits must not exceed 40m.	Noted
		<u>Existing Restaurant</u> N/A – No change proposed to the existing exit routes within the building.	N/A
		<u>Ground Floor – Courtyard</u> Exit is achieved within 20m.	Complies
		<u>Ground Floor – Bin Room</u> N/A – There are no exit travel distance required to be applied to a Class 10a building. Note: Where the requirements for exit travel distances for a Class 6 building are applied to the bin room, exit is achieved within 20m.	N/A
D1.5	Distance between alternative exits	N/A – The building does not contain alternative exits.	N/A
D1.6	Dimensions of exits and paths of travel to exits	Exits are to be a minimum width of 1m.	Complies
D1.7	Travel via fire-isolated exits	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D1.8	External stairways or ramps in lieu of fire-isolated exits	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D1.9	Travel by non-fire-isolated stairways or ramps	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D1.10	Discharge from exits	The exits are to be provided in accordance with the below: - Not blocked at the point of discharge - At the point of discharge, be provided with a minimum width of 1m or the minimum width of the required exit.	Noted
		Existing Restaurant and Proposed Courtyard	Complies

Clause	Comments	Assessment
	The existing entry doorway serving as the exit from the restaurant satisfies the above.	
	<u>Bin Area</u> The proposed exit from the bin room satisfies the above.	Complies
D1.11	Horizontal exits	N/A – The development does not propose horizontal exits.
D1.12	Non-required stairways, ramps or escalators	N/A – The development does not propose new non-required stairways, ramps or escalators.
D1.13	Number of persons accommodated	The Statement of Environment Effects and Architectural Plans confirm the occupancy numbers within the building as follows: <ul style="list-style-type: none"> - Staff – Less than ten (10) - Patrons – Seventy-one (71)
D1.14	Measurement of distances	Information only.
D1.15	Method of measurement	Information only.
D1.16	Plant rooms, lift machine rooms, electricity network substations: Concession	N/A – The development does not include a plant room, lift machine room, or electricity network substation.
D1.17	Access to lift pits	N/A – The development does not include the installation of a lift.
Part D2 – Construction of Exits		
D2.0	DtS Provisions	Information only.
D2.1	Application of Part	Information only.
D2.2	Fire-isolated stairways and ramps	N/A – The development does not include the construction or alterations of stairways and ramps.
D2.3	Non-fire-isolated stairways and ramps	N/A – The development does not include the construction or alterations of stairways and ramps.
D2.4	Separation of rising and descending stair flights	N/A – The building does not contain rising and descending stairs.
D2.5	Open access ramps and balconies	N/A – The building does not contain open access ramps and balconies as required by Table E2.2a.
D2.6	Smoke lobbies	N/A – The building does not contain an open access ramp or balcony.
D2.7	Installations in exits and paths of travel	N/A – The building does not contain services within the path of travel.
D2.8	Enclosure of space under stairs and ramps	N/A – The development does not include the enclosure of space under a stair. Note: There are comments relating to the storage room located adjacent to the accessible sanitary facility in Section 3 of this report.
D2.9	Width of required stairways and ramps	N/A – The development does not include the construction or alterations of stairways and ramps.
D2.10	Pedestrian ramps	N/A – The development does not include the construction or alterations of stairways and ramps.
D2.11	Fire-isolated passageways	N/A – The development does not include the construction of a fire-isolated passageway.
D2.12	Roof as open space	N/A – The development does not have any open space areas which also serve as a roof.
D2.13	Goings and risers	N/A – The development does not include the construction or alterations of stairways and ramps.
D2.14	Landings	N/A – The development does not include the construction or alterations of stairways and ramps.
D2.15	Thresholds	No threshold is proposed at the doorway between the existing internal restaurant area and the proposed courtyard area.

Clause	Comments	Assessment
D2.16 Barriers to prevent falls	N/A – The development does not include the construction or alterations of balustrades.	N/A
	Note: The low height brick wall proposed does not form a balustrade as the distance between the courtyard floor level and the street is less than 1m.	Noted
D2.17 Handrails	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D2.18 Fixed platforms, walkways, stairways and ladders	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D2.19 Doorways and doors	The building is to be provided with swinging doors.	Complies
D2.20 Swinging doors	The existing exit door serving the building swings outwards, where it serves a building with a floor area of greater than 200m ² .	Complies
D2.21 Operation of latch	<p>The doorway to the courtyard is to be provided with door hardware which is operated by:</p> <p>(i) a single hand downward action on a single device which is located between 900 mm and 1.1 m from the floor and if serving an area required to be accessible by Part D3—</p> <p>(A) be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch; and</p> <p>(B) have a clearance between the handle and the back plate or door face at the centre grip section of the handle of not less than 35 mm and not more than 45 mm; or</p> <p>(ii) a single hand pushing action on a single device which is located between 900 mm and 1.2 m from the floor; and</p> <p>(iii) where the latch operation device referred to in (ii) is not located on the door leaf itself—</p> <p>(A) manual controls to power-operated doors must be at least 25 mm wide, proud of the surrounding surface and located—</p> <p>(aa) not less than 500 mm from an internal corner; and</p> <p>(bb) for a hinged door, between 1 m and 2 m from the door leaf in any position; and</p> <p>(cc) for a sliding door, within 2 m of the doorway and clear of a surface mounted door in the open position.</p> <p>(B) braille and tactile signage complying with Clause 3 and 6 of Specification D3.6 must identify the latch operation device.</p>	CRA
D2.22 Re-entry from fire-isolated exits	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D2.23 Signs on doors	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D2.24 Protection of openable windows	N/A – This Clause relates to a Class 2 or Class 3 part of a building. The development relates to a Class 6 part of the building, consisting of a ground floor extension.	N/A
D2.25 Timber stairway: Concession	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
Part D3 – Access for People with a Disability		
D3.0 DtS Provisions	Information only.	Noted
D3.1 General building access requirements	To and within all areas normally used by the occupants.	Noted
D3.2 Access to buildings	The building has been provided with a single pedestrian entry. The existing doorway is to comply. Details of the accessway to the building are to be resolved at the construction certificate stage.	Complies
D3.3	N/A – There are no ramps, stairways or lifts proposed.	N/A

Clause	Comments	Assessment
Part of buildings to be accessible	Accessways are to be provided which allow for passing and turning spaces.	CRA
	N/A – No carpet has been proposed.	N/A
D3.4 Exemptions	The following areas have been exempted under this Clause: <ul style="list-style-type: none"> - Existing Back of House Kitchen Area - Existing Ground Floor Storage Area - Existing First Floor Storage Area - Bin Area 	Noted
D3.5 Accessible carparking	N/A – The development does not include a carpark.	N/A
D3.6 Signage	Braille and tactile signage is to be provided in accordance with this Clause and Specification D3.6, throughout the building. Signage will need to be located to achieve compliance. Signs with single lines of characters must have: <ul style="list-style-type: none"> a) the line of tactile (braille) characters not less than 1250 mm and not higher than 1350 mm above the floor; and b) be located on the latch side of the door 50-300mm from the architrave. Where this is not possible and only when this is not possible the sign may be placed on the door itself. <p>Where illuminated exit signage is provided to an exit door a braille and tactile sign complying with this Clause is to be provided stating “Exit” and the level number and/or both descriptor, for example “Basement Level, Carpark”.</p>	CRA
D3.7 Hearing augmentation	N/A – This Clause relates to areas with inbuilt amplification systems or Class 9b parts of a building. The development relates to a Class 6 part of the building.	N/A
D3.8 Tactile indicators	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D3.9 Wheelchair seating spaces in Class 9b assembly buildings	N/A – This Clause relates to Class 9b parts of a building. The development relates to a Class 6 part of the building.	N/A
D3.10 Swimming pools	N/A – The building does not contain a swimming pool.	N/A
D3.11 Ramps	N/A – The development does not include the construction or alterations of stairways and ramps.	N/A
D3.12 Glazing on an accessway	N/A – The development does not include the installation of unframed glazing along an accessway.	N/A
Specification D3.6 – Braille and Tactile Signs		
1 Scope	This Specification sets out the requirements for the design and installation of braille and tactile signage as required by Clause D3.6.	Noted
2 Location of braille and tactile signs	Braille and tactile signage are to be located in accordance with this Clause which sets out signage heights, locations and details of braille and tactile exit signage.	CRA
3 Braille and tactile sign specification	Braille and tactile signage is to have characters in accordance with this Clause.	CRA
4 Luminance Contrast	The luminance contrast of the signage is to comply with this Clause.	CRA
5 Lighting	Braille and tactile signage must be illuminated to ensure the luminance contrast requirements are met at all times during which the sign is required to be read.	CRA
6 Braille	The braille characters are to comply with Clause.	CRA

SECTION E – SERVICES AND EQUIPMENT

Clause	Comments	Assessment
Part E1 – Fire Fighting Equipment		
E1.0 DTS Provisions	Information only.	Noted
E1.3 Fire hydrants	N/A – The building has a floor area of less than 500m ² .	N/A
E1.4 Fire hose reels	N/A – The building has a floor area of less than 500m ² and does not contain internal hydrants.	N/A

Clause		Comments	Assessment
E1.5	Sprinklers	N/A – The building has a floor area of less than 5,000m ² and a volume of less than 12,000m ³ .	N/A
E1.6	Portable fire extinguishers	The building is to be provided with portable fire extinguishers.	CRA
E1.8	Fire control centres	N/A – The building has an effective height of less than 25m and a floor area of less than 18,000m ² .	N/A
E1.9	Fire precautions during construction	In a building under construction not less than one fire extinguisher to suit Class A, B and C fires and electrical fires must be provided at all times on each storey adjacent to each required exit or temporary stairway or exit. After the building has reached an effective height of 12m the fire hydrant and hose reels are to be operational in at least every storey covered by a roof or floor, except the 2 uppermost storeys. The fire hydrant booster connections must also be installed.	Noted
E1.10	Provisions for special hazards	N/A – The building is not expected to contain hazards as described by this Clause.	N/A
Part E2 – Smoke Hazard Management			
E2.0	DtS Provisions	Information only.	Noted
E2.1	Application of Part	Information only.	Noted
E2.2	General requirements	The building has an existing smoke detection system.	Noted
E2.3	Provision for special hazards	N/A – The building is not expected to contain hazards as described by this Clause.	N/A
Specification E2.2a – Smoke Detection and Alarm Systems			
1	Scope	This Specification describes the installation and operation of automatic smoke detection and alarm systems.	Noted
2	Type of System	A Class 6 part of a building is required to be provided with a smoke detection system provided in accordance with Clause 4.	CRA
3	Smoke alarm system	N/A – The building is to be provided with a smoke detection system provided in accordance with Clause 4 and activate a building occupant warning system provided in accordance with Clause 7.	N/A
4	Smoke detection system	The building has an existing smoke detection system.	Noted
5	Combined smoke alarm and smoke detection system	N/A – The building is to be provided with a smoke detection system provided in accordance with Clause 4 and activate a building occupant warning system provided in accordance with Clause 7.	N/A
6	Smoke detection for smoke control system	N/A – The building is to be provided with a smoke detection system provided in accordance with Clause 4 and activate a building occupant warning system provided in accordance with Clause 7.	N/A
7	Building occupant warning system	The activation of the smoke detectors is to activate a building occupant warning system.	CRA
8	System monitoring	N/A – The Clause relates to Class 3, Class 9a, Class 9c and large isolated buildings. The development relates to a Class 6 part of the building.	N/A
Part E3 – Lift Installations			
N/A – The building does not contain a lift, and no new lifts are proposed.			
Part E4 – Emergency Lighting, Exit Signs and Warning Systems			
E4.0	DtS Provisions	Information only.	Noted
E4.2	Emergency lighting requirements	The building is to be provided with emergency lighting in accordance with this Clause.	CRA
E4.3	Measurement of distance	Information only.	Noted
E4.4	Design and operation of emergency lighting	The emergency lighting system is to comply with AS2293.1-2005.	CRA
E4.5	Exit signs	The building is to be provided with exit signs in accordance with this Clause.	CRA
E4.6	Direction signs	The building is to be provided with directional signage in accordance with this Clause.	CRA

Clause	Comments	Assessment
E4.7	Class 2 and 3 buildings and Class 4 parts: Exemptions	N/A – This Clause relates to Class 2, Class 3 and Class 4 parts of the building. The development relates to a Class 6 part of the building.
E4.8	Design and operation of exit signs	The exit lighting system is to comply with AS2293.1-2004 to 2018.
E4.9	Emergency warning and intercom systems	N/A – The building has an effective height of less than 25m, and is not a Class 3, Class 9a and Class 9b part of the building.

SECTION F – HEALTH AND AMENITY

Clause	Comments	Assessment
Part F1 – Damp and Weatherproofing		
F1.0	DtS Provisions	Information only.
F1.1	Stormwater drainage	Stormwater drainage is to comply with AS/NZS3500.3-2015.
F1.4	External above ground membranes	Waterproofing membranes for external above ground use, such as balconies and roofs, must comply with AS4654.1-2012 and AS4654.2-2012.
F1.5	Roof coverings	A roof must be covered with materials set out in this Clause in accordance with the relevant standard also set out in this Clause. Where the proposed roof covering is not any of the following, a Performance Solution would be required to justify its use: (a) concrete roofing tiles complying with AS 2049 and fixed, except in cyclonic areas, in accordance with AS 2050, as appropriate; or (b) terracotta roofing tiles complying with AS 2049 and fixed, except in cyclonic areas, in accordance with AS 2050; or (c) cellulose cement corrugated sheeting complying with AS/NZS 2908.1 and installed in accordance with AS/NZS1562.2; or (d) metal sheet roofing complying with AS 1562.1; or (e) plastic sheet roofing designed and installed in accordance with AS/NZS 4256.1, AS/NZS 4256.2, AS/NZS 4256.3, AS/NZS 4256.5 and AS/NZS 1562.3; or (f) Terracotta, fibre-cement and timber slates and shingles designed and installed in accordance with AS 4597, except in cyclonic areas.
		Noted
		<u>Awning</u> It is likely that the retractable awning has been considered to be a roof. The proposed fabric covering does not comply with Clause F1.5, and therefore is required to have a Performance Solution to maintain the use of the fabric roof covering.
		<u>Bin Area</u> The bin area is proposed to have a metal roof.
F1.6	Sarking	Sarking type materials used for weatherproofing of roofs and walls must comply with AS4200.1-1994 and AS4200.2-1994.
F1.7	Waterproofing of wet areas in buildings	N/A – No wet areas are proposed as part of the development.
F1.9	Damp-proofing	Damp-proofing is to be provided in accordance with this Clause. Where a damp-proof course is provided the material must comply with AS/NZS2904-1995 or impervious termite shields in accordance with AS3660.1-2014.
F1.10	Damp-proofing of floors on the ground	N/A – The ground floor extension is not proposed to be constructed in contact with the ground or fill.
F1.11	Provision of floor wastes	N/A – This Clause applies to Class 2, Class 3 and Class 4 parts of a building. The development relates to a Class 6 building.
F1.12	Sub-floor ventilation	Where provided sub-floor ventilation is to be in accordance with this Clause.

Clause	Comments	Assessment
F1.13 Glazed assemblies	Glazed assemblies in external walls or roofs are to comply with AS2047-2014 or AS1288-2006 as required by this Clause and BCA Clause B1.4.	CRA
Part F2 – Sanitary and Other Facilities		
F2.0 DtS Provisions	Information only.	Noted
F2.1 Facilities in residential buildings	N/A – This Clause applies to Class 2, Class 3 and Class 4 parts of a building. The development relates to a Class 6 building.	N/A
F2.2 Calculation of number of occupants and facilities	The building occupants have been determined in accordance with Clause D1.13.	Noted
F2.3 Facilities in Class 3 to 9 buildings	The existing sanitary facilities provided to the building are sufficient for the proposed population.	Complies
	The existing sanitary facilities have been provided as two unisex compartments with a shared washbasin area.	Noted
	As this is not new work, this has not been addressed by this report. It has been assumed that this has been previously addressed.	
F2.4 Accessible sanitary facilities	N/A – The development relates to a Class 6 building. No new accessible sanitary facilities are proposed.	N/A
F2.5 Construction of sanitary compartments	N/A – The development relates to a Class 6 building. No new sanitary compartments are proposed.	N/A
F2.6 Interpretation: Urinals and washbasins	N/A – The development relates to a Class 6 building. No new sanitary facilities are proposed.	N/A
F2.7 Microbial (legionella) control	This Clause is deleted from the BCA in NSW, as the installation of hot water, warm water and cooling water systems is regulated in the Public Health Regulation 2012.	Noted
F2.8 Waste management	N/A – This Clause relates to Class 9a buildings only. The development relates to a Class 6 part of the building.	N/A
F2.9 Accessible adult change facilities	N/A – The development relates to a Class 6 part of the building containing less than 35,000 people.	N/A
Part F3 – Room Heights		
F3.0 DtS Provisions	Information only.	Noted
F3.1 Height of rooms and other spaces	A height of 2.9m has been proposed.	Complies
Part F4 – Light and Ventilation		
F4.0 DtS Provisions	Information only.	Noted
F4.1 Provisions of natural light	N/A – The development relates to a Class 6 part of the building. This Clause relates to Class 2, Class 3, Class 4, Class 9a and Class 9b buildings only.	N/A
F4.2 Methods and extent of natural light	N/A – The development relates to a Class 6 part of the building. This Clause relates to Class 2, Class 3, Class 4, Class 9a and Class 9b buildings only.	N/A
F4.3 Natural light borrowed from adjoining room	N/A – This Clause relates to Class 2, Class 3, Class 4, Class 9a and Class 9b buildings only. The development relates to a Class 6 part of the building.	N/A
F4.4 Artificial lighting	Artificial lighting is to be provided to the courtyard in accordance with AS/NZS 1680.0.	CRA
F4.5 Ventilation of rooms	The courtyard is to be provided with natural ventilation or mechanical ventilation or air-conditioning system complying with AS 1668.2.	Noted
F4.6 Natural ventilation	Where reliance is on natural ventilation provided in accordance with F4.5(a) must consist of openings, windows, doors or other devices which can be opened— (i) with a ventilating area not less than 5% of the floor area of the room required to be ventilated; and (ii) open to—	CRA

Clause	Comments	Assessment
	(A) a suitably sized court, or space open to the sky; or (B) an open verandah, carport, or the like; or (C) an adjoining room in accordance with F4.7.	
F4.7	Ventilation borrowed from adjoining room	N/A – The development does not require that natural ventilation be borrowed from another room if natural ventilation is proposed.
F4.8	Restriction on location of sanitary compartments	N/A – The development does not propose new sanitary compartments.
F4.9	Airlocks	N/A – The development does not propose new sanitary compartments.
F4.11	Carparks	N/A – The development does not propose the construction of a carpark.
F4.12	Kitchen local exhaust ventilation	N/A – The development does not propose a new commercial kitchen or alterations to the existing commercial kitchen.
Part F5 – Sound Transmission and Insulation		
N/A – This Part relates to Class 2, 3 and 9c parts of a building. The development relates to a Class 6 part of the building.		
This Part relates to Class 2, 3 and 9c parts of a building.		
Part F6 – Condensation management		
N/A – This Part relates to Class 2 and 4 parts of a building. The development relates to a Class 6 part of the building.		

SECTION G – ANCILLARY PROVISIONS		
Clause	Comments	Assessment
Part G1 – Minor Structures and Components		
N/A – The development does not include a swimming pool, refrigerated chamber, strong room, vault or outdoor play space. The development relates to a Class 6 part of the building.		
Part G2 – Boilers, Pressure Vessels, Heating Appliances, Fire Places, Chimneys and Flues		
N/A – The development does not include a boiler, fireplace or incinerator.		
Part G3 – Atrium Construction		
N/A – This Part applies to an atrium that connects more than 2 storeys, or more than 3 storeys if each storey is provided with a sprinkler system and one of those storeys is located at a level with direct egress to a road or open space.		
The development does not include an atrium.		
Part G4 – Construction in Alpine Areas		
N/A – The development is not within a bushfire prone area.		
Part G5 – Construction in Bushfire Prone Areas		
N/A – The development is not within a bushfire prone area.		
Part G6 – Occupiable outdoor areas		
N/A – The development does not contain an occupiable outdoor area. The development relates to a Class 6 part of the building.		

SECTION H – SPECIAL USE BUILDINGS		
Clause	Comments	Assessment
Part H1 – Class 9b Buildings		
N/A – The building is not an entertainment venue as identified by this Part. The development relates to a Class 6 part of the building.		
NSW Part H101 – Entertainment Venues other than Temporary Structures and Drive-in Theatres		
N/A – The building is not an entertainment venue as identified by this Part. The development relates to a Class 6 part of the building.		
NSW Part H102 – Temporary Structures		
N/A – The building is not a temporary structure used as an entertainment venue as identified by this Part. The development relates to a Class 6 part of the building.		
NSW Part H103 – Drive-In Theatres		
N/A – The building is not drive-in theatre. The development relates to a Class 6 part of the building.		
Part H2 – Public Transport Buildings		

Clause	Comments	Assessment
N/A – The building is not a public transport building. The development relates to a Class 6 part of the building.		
Part H3 – Farm Buildings and Farm Sheds		
N/A – The building is not a farm building or farm shed. The development relates to a Class 6 part of the building.		

SECTION J – ENERGY EFFICIENCY

A separate Section J Report is to be obtained to confirm compliance.

Please contact Credwell Energy on 02 9281 8555 or info@credwell.com.au for further information.