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Purpose: **Development application only (DA)**

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Project number

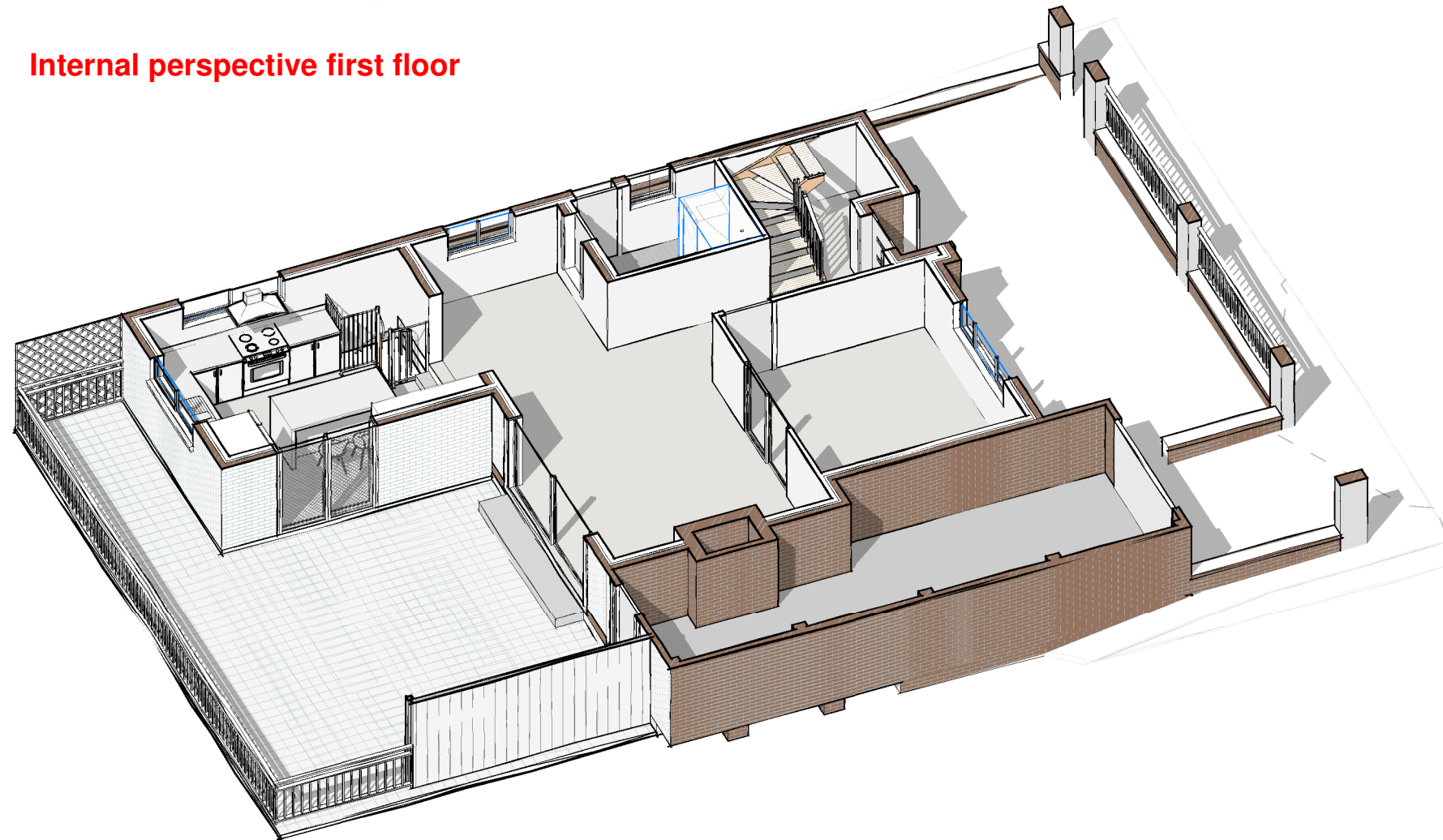
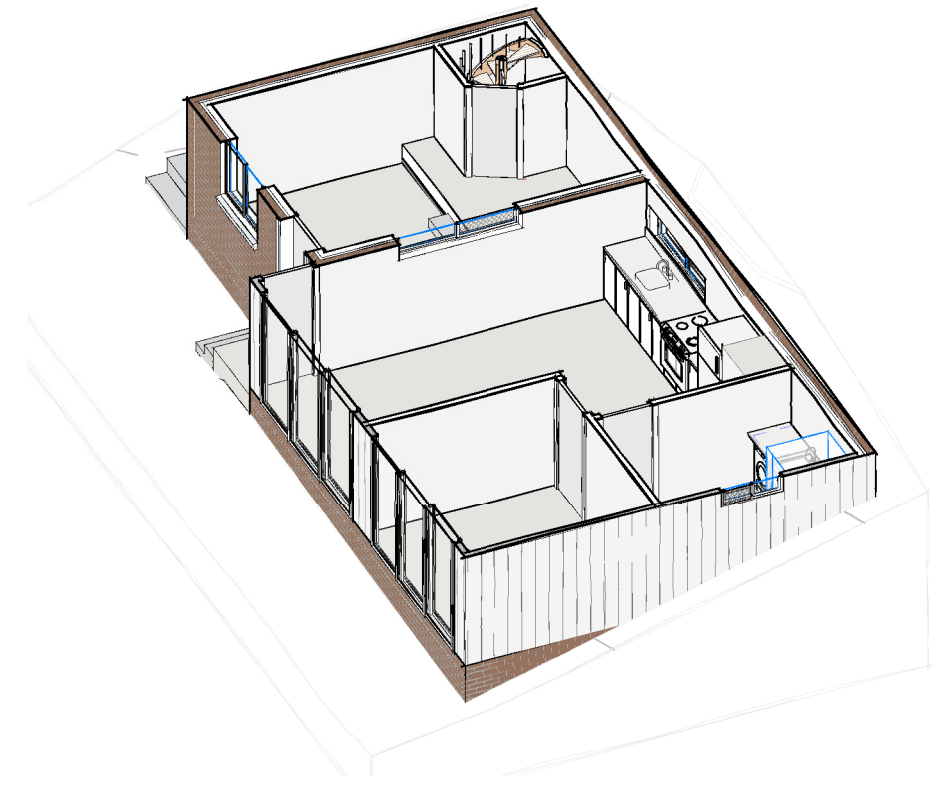
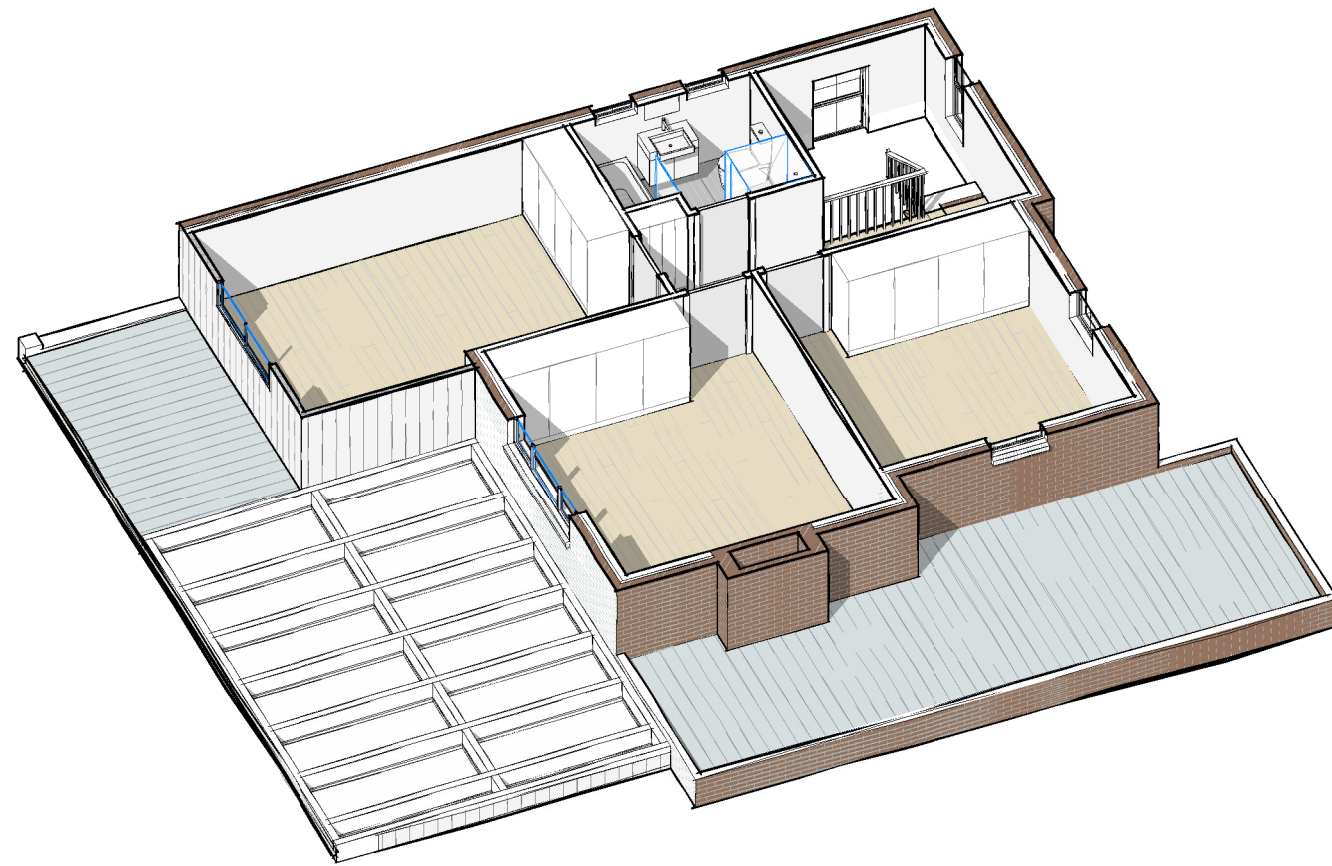
941109463

128 Queenscliff Rd, Queenscliff NSW 2096

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Alterations and Additions

Certificate number: A431526

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 22, September 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	941109463 Matthew 128 Queenscliff Rd
Street address	128 Queenscliff Road Queenscliff 2096
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 16941
Lot number	3
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: VNdraft PTY LTD
ABN (if applicable): 87625554252

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓		
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓		
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type
W3	SE	0.96	0	0	eave/verandah/pergola/balcony >=450 mm aluminium, double Lo-Tsol/air gap/clear, (U-value: 4.9, SHGC: 0.33)
W4	SW	2.52	0	0	eave/verandah/pergola/balcony >=450 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	SW	3.24	0	0	eave/verandah/pergola/balcony >=450 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

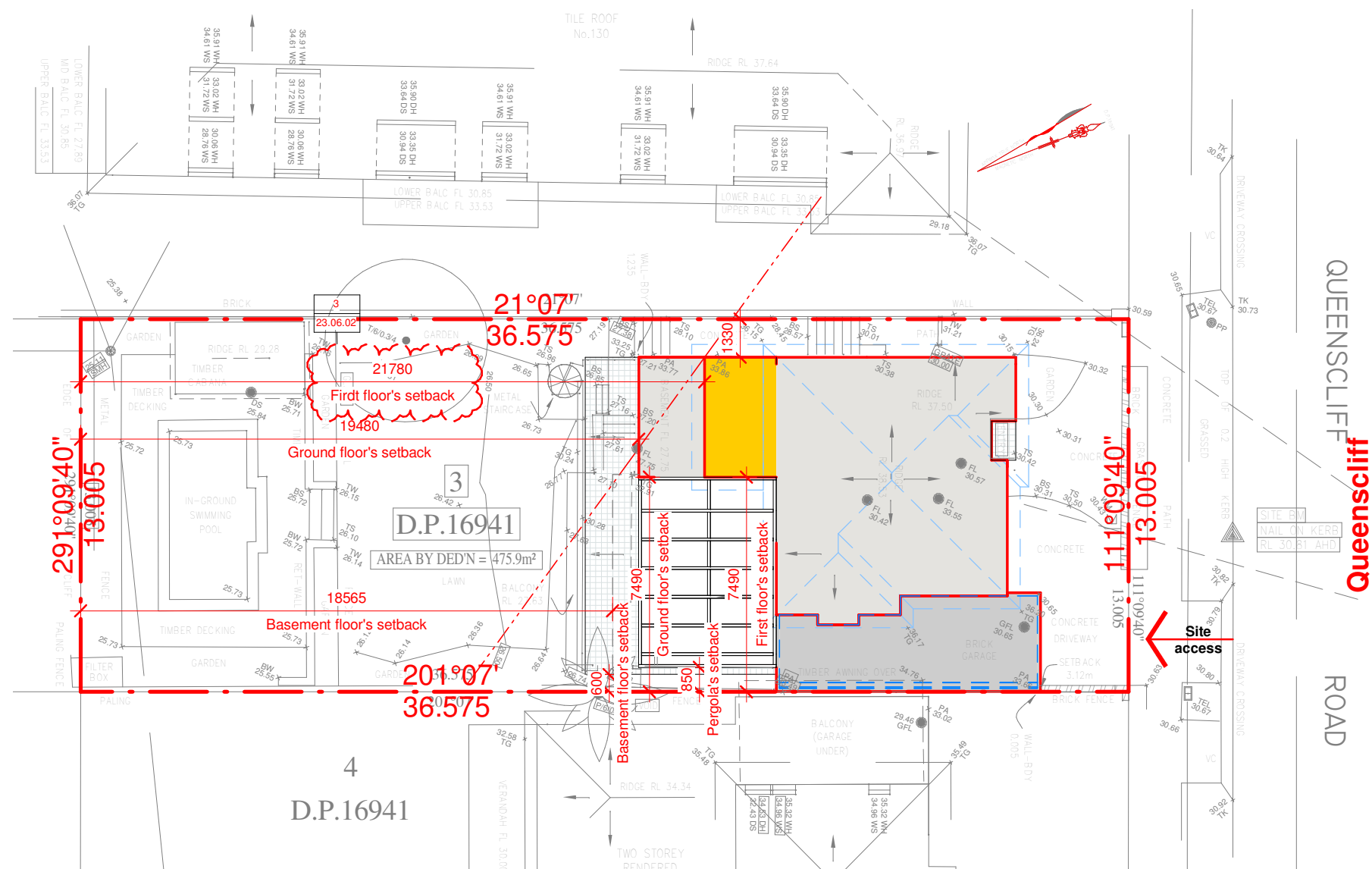
Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1	SW	0.54	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
floor above existing dwelling or building.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



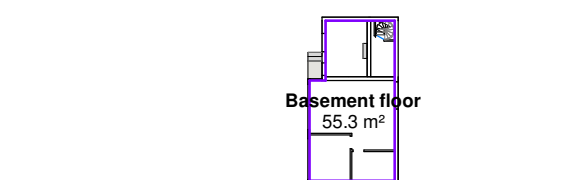


Site plan

Scale: 1 : 200

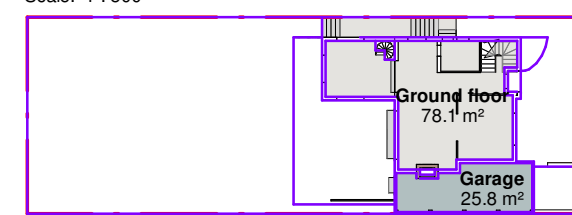
Site legend

- Site access
- Boundary line
- Roof/skylight/structure above
- To be demolished
- The view line from lot 130
- First floor wall above
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope
- Conditioned
- Unconditioned



Area basement floor plan

Scale: 1 : 500



Area ground floor plan

Scale: 1 : 500



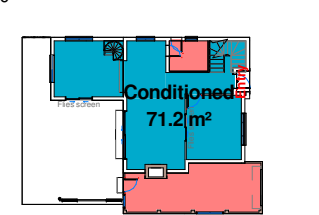
Area first floor plan

Scale: 1 : 500



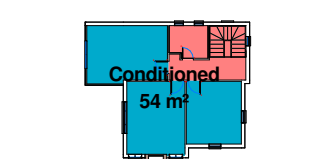
Conditioned basement floor area

Scale: 1 : 500



Conditioned ground floor area

Scale: 1 : 500

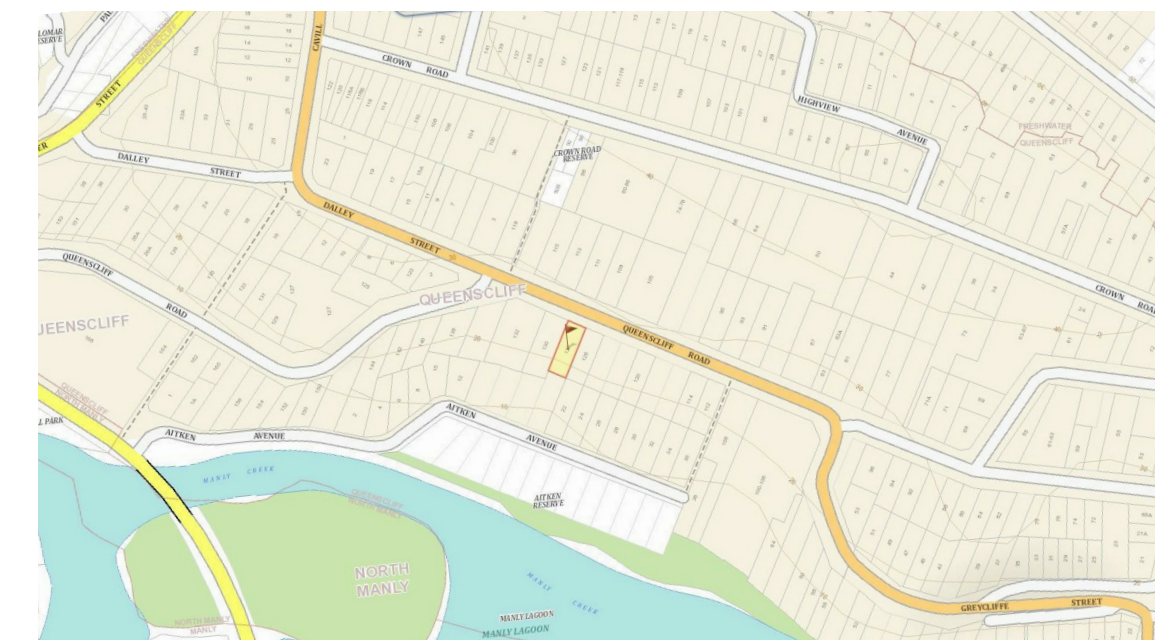


Conditioned first floor area

Scale: 1 : 500



Existing status



Location plan

Development approval compliance

Condition	Existing	Proposed	Compliance	% Required
Site area	n/a	475.9 m²	n/a	n/a
Basement floor area	n/a	55.3 m²	n/a	n/a
Ground floor area	n/a	78.1 m²	n/a	n/a
First floor area	n/a	58 m²	68.2 m²	n/a
Garage area	n/a	25.8 m²	n/a	n/a
Roof area	n/a	n/a	n/a	n/a
Gross floor area	Garage GFA excludes 1 car parking space (18m²) Excludes: Basements, Storage, Vehicle access, Terraces & Balconies with outer walls <1.4m high and Voids	199.2 m²	209.4 m²	n/a
Floor space ratio	Garage GFA excludes 1 car parking space (18m²) Excludes: Basements, Storage, Vehicle access, Terraces & Balconies with outer walls <1.4m high and Voids	41.2 %	44 %	n/a
Site coverage	Ground floor & Gagare, Carport, Shed	21.8 %	21.8 %	n/a
Street setback	n/a	Refer to site plan	6.5m	n/a
Rear setback	n/a	Refer to site plan	6.5m	n/a
Side setback	0.9m up to 4.5m; 0.9m plus 1/4 of additional height above 4.5m	Refer to site plan	0.9m	n/a
Total conditioned floor area	n/a	125.2 m²	n/a	n/a

Purpose: **Development application only (DA)**

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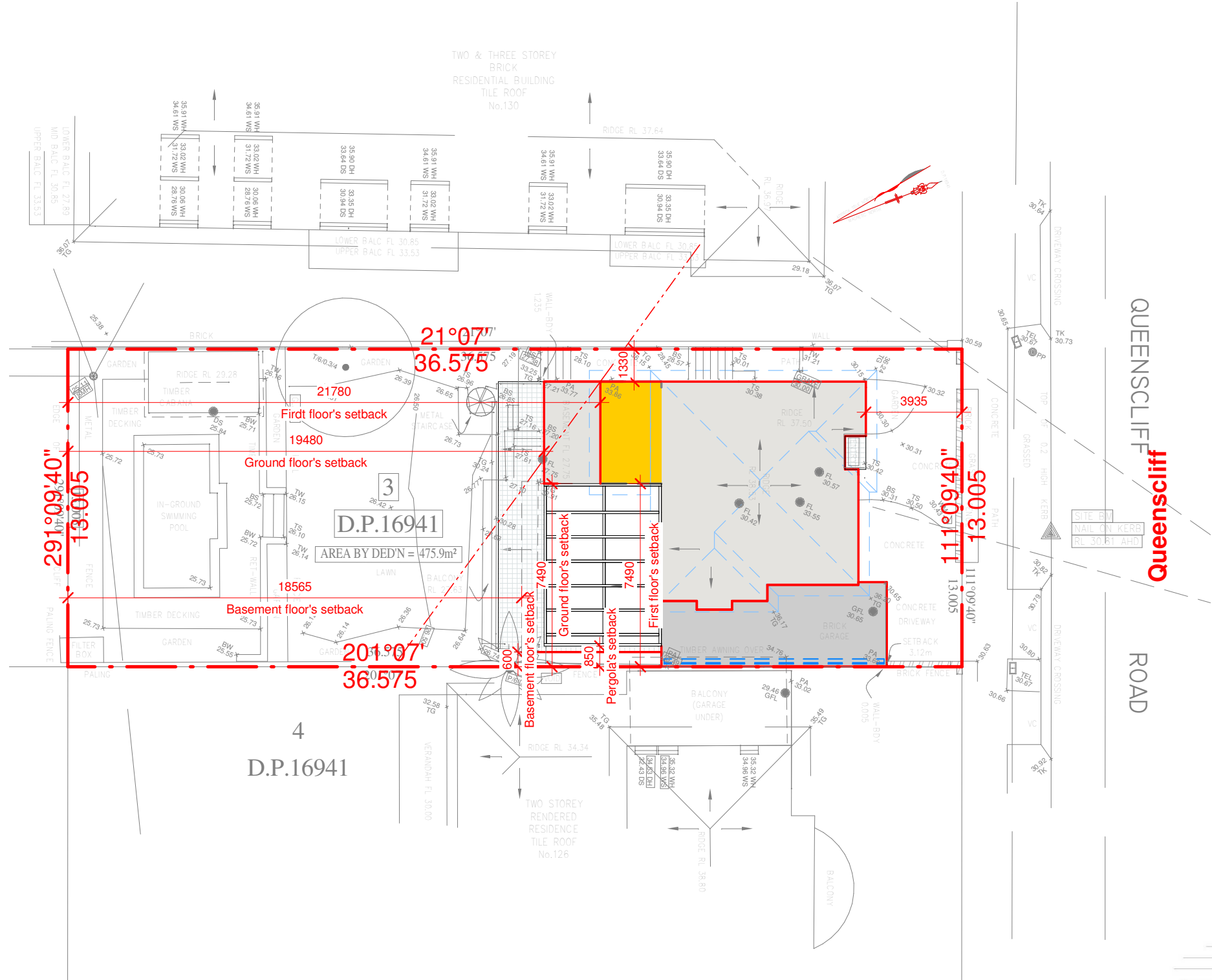
Drawing	Site plan
Address	128 Queenscliff Rd, Queenscliff NSW 2096
Project	941109463
Client/s	Matthew Leiper
Sheet	04 A3

Sequence	Version	Issued
4	C	Approval submission plans
5	2	As email on 21.09.08
6	3	Scale back the size and scope of the addition

Date
21.10.17
22.07.21
23.06.02

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Building Design Drafting Services



Site analysis plan

0 10000

Scale: 1 : 200

Note

- The wind rose shown corresponds with the 12 months in the year
- The lines are read in a clockwise direction
- The length of the line is proportionate to the frequency (% of time) of the wind from that direction in that month
- 9am shown in black & 1pm shown in red
- The sun path diagram shown in the centre of the wind rose indicates the path scribed by the sun during different periods of the year
- The hours of the day are shown in blue
- The months of the year are indicated using the red lines
- The concentric circles indicate the angles of the sun
- The Compass is based upon 'True North', from the Map Grid Australia (MGA)
- True North based on survey completed by "surveyor" surveying "date" comments are for Sydney Basin

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Drawing	Site analysis plan				
Address	128 Queenscliff Rd, Queenscliff NSW 2096				
Project	941109463	Client/s	Matthew Leiper	Sheet	05 A3

Sequence	Version	Issued	Date
2	1	As email on 21.07.09	21.08.03
3	B	Development application	21.08.10
4	C	Approval submission plans	21.10.17
5	2	As email on 21.09.08	22.07.21

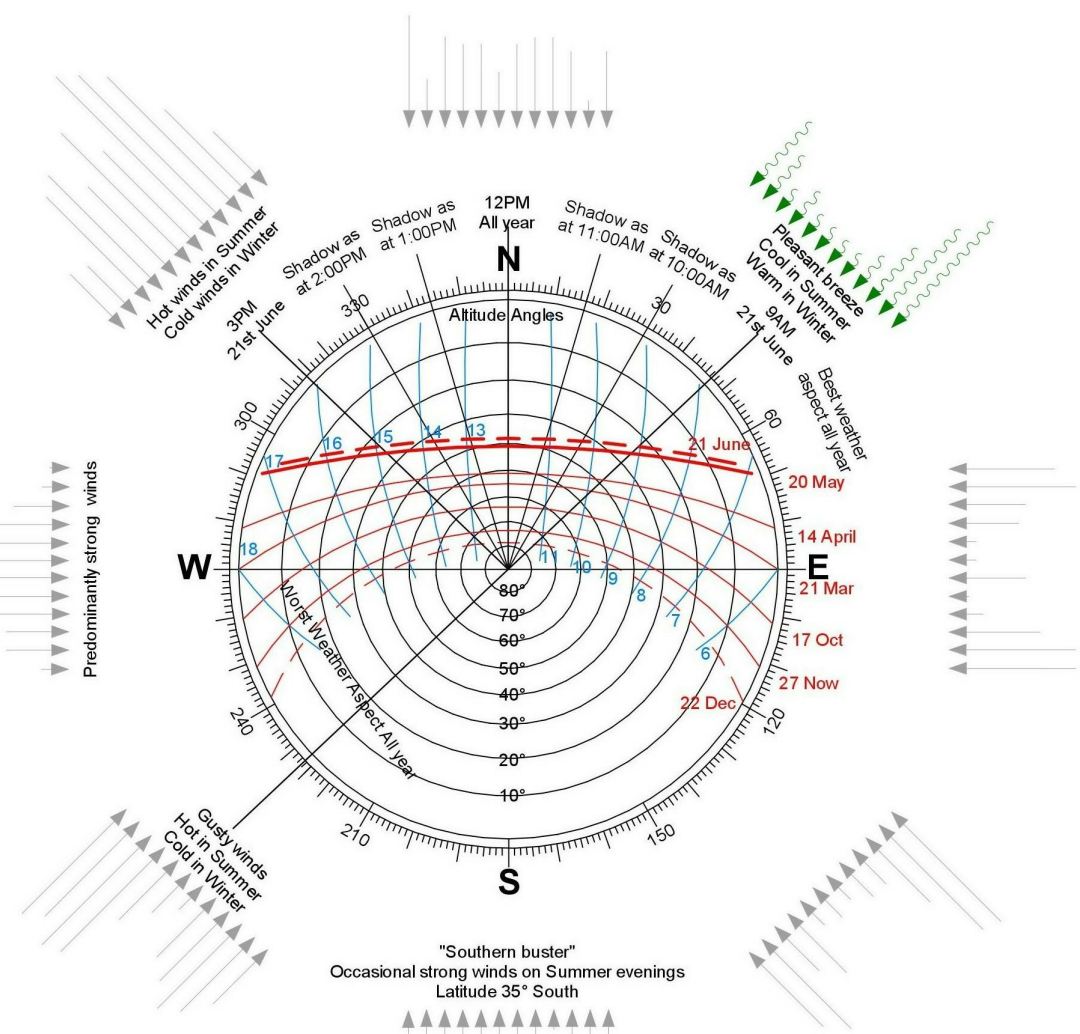
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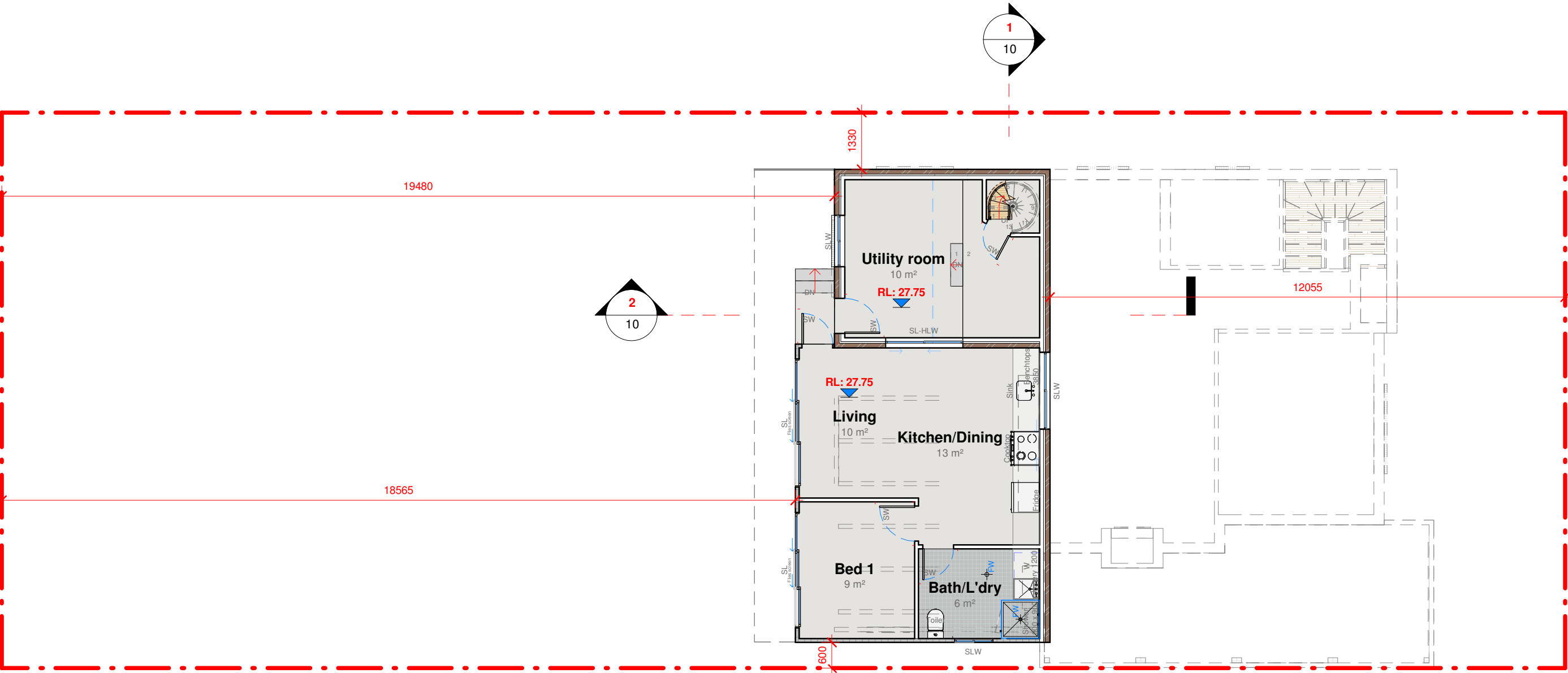


Site analysis legend

- Wind direction
- Boundary line
- Roof/skylight/structure above
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope

Climate site analysis

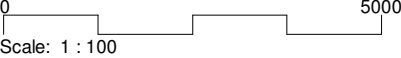




Room schedule

Name	Area
Bath/L'dry	6 m²
Bed 1	9 m²
Kitchen/dining	13 m²
Living	10 m²
Media	10 m²
Grand total	48 m²

Existing basement floor plan



Materials legend

Stud timber	
Framed (weatherboard/fibro/metal clad)	
Brick veneer	
Solid timber or laminated product made from layers of timber, bonded together	
Concrete slab supported on foundations or directly on the subsoil	
Stud timber	
Framed (weatherboard/fibro/metal clad)	
Brick veneer	
Solid timber or laminated product made from layers of timber, bonded together	
Replace new finish material refer to materials schedule	

Annotate legend

Fix	FW
Awning	AW
Sliding window	SLW
Highlight window	SL-HLW
Bi-fold	BF
Sliding	SL
Cavity sliding	CSL
Single swing	SW
Double swing	DS
Overheadroller	RL
Floor waste	FW
Exhaust fan	EF
Reduced level	RL:00
To be demolished	
Roof/skylight/structure above	
Floor/void/walls below/above	
D : Door	W : Width
W : Window	H : Height

Purpose: Development application only (DA)

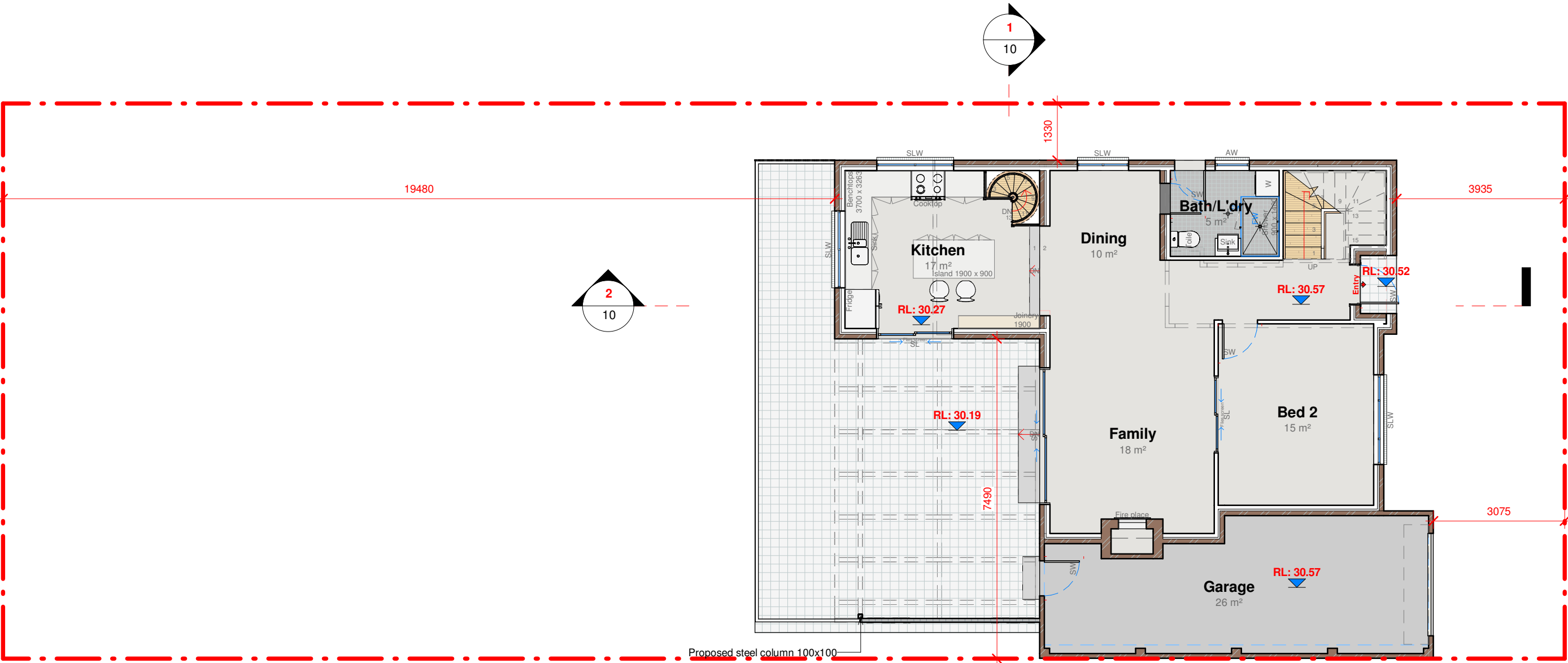
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Drawing	Existing basement floor plan
Address	128 Queenscliff Rd, Queenscliff NSW 2096
Project	941109463
Client/s	Matthew Leiper
Sheet	06 A3

Sequence	Version	Issued	Date
2	1	As email on 21.07.09	21.08.03
3	B	Development application	21.08.10
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5	2	As email on 21.09.08	22.07.21

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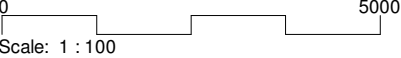




Room schedule

Name	Area
Bath/L'dry	5 m²
Bed 2	15 m²
Dining	10 m²
Family	18 m²
Garage	26 m²
Kitchen	17 m²
Grand total	90 m²

Existing/Proposed ground floor plan



Materials legend

Stud timber	
Framed (weatherboard/fibro/metal clad)	
Brick veneer	
Solid timber or laminated product made from layers of timber, bonded together	
Concrete slab supported on foundations or directly on the subsoil	
Stud timber	
Framed (weatherboard/fibro/metal clad)	
Brick veneer	
Solid timber or laminated product made from layers of timber, bonded together	
Replace new finish material refer to materials schedule	

Annotate legend

Fix	FW
Awning	AW
Sliding window	SLW
Highlight window	SL-HLW
Bi-fold	BF
Sliding	SL
Cavity sliding	CSL
Single swing	SW
Double swing	DS
Overheadroller	RL
Floor waste	
Exhaust fan	
Reduced level	
To be demolished	
Roof/skylight/structure above	
Floor/void/walls below/above	
D : Door	W : Width
W : Window	H : Height

Purpose: Development application only (DA)

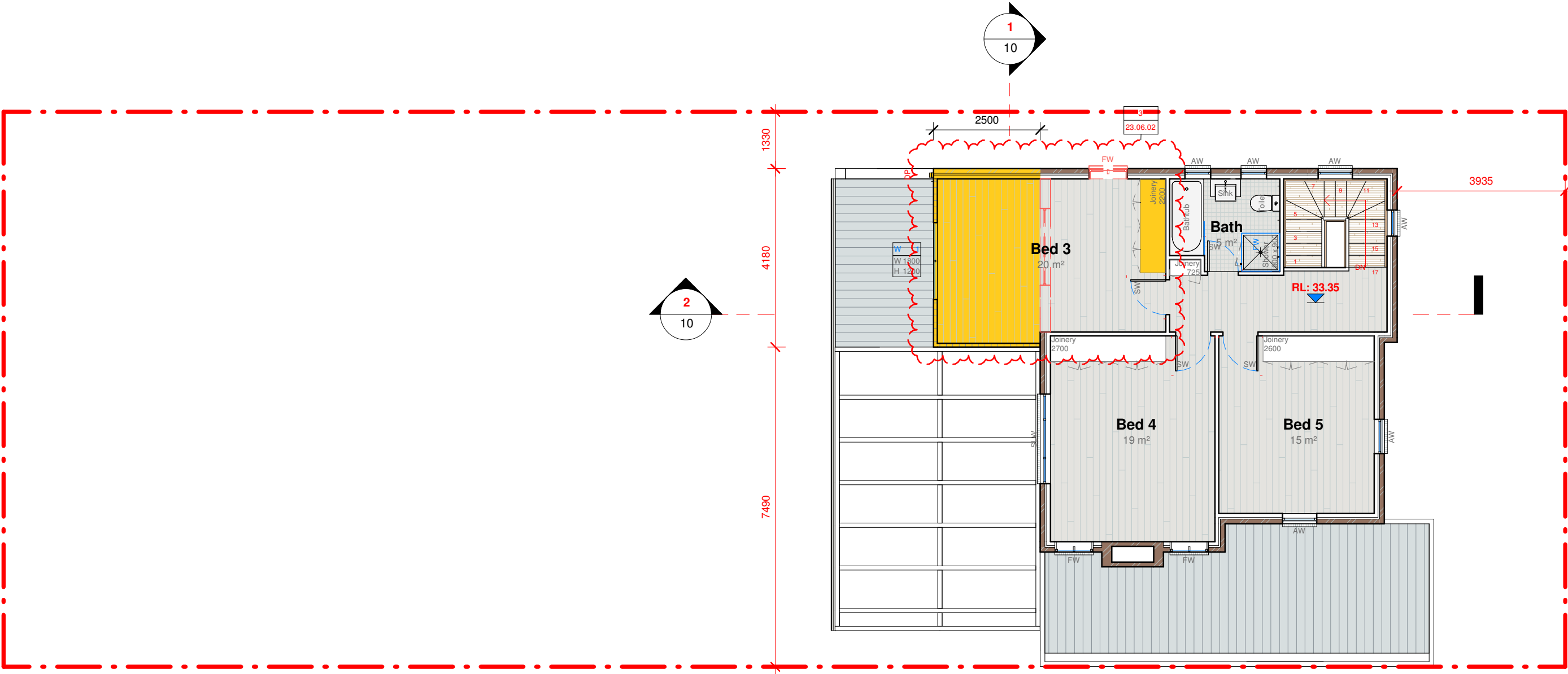
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Drawing	Existing & Proposed ground floor plan
Address	128 Queenscliff Rd, Queenscliff NSW 2096
Project	941109463
Client/s	Matthew Leiper
Sheet	07
A3	

Sequence	Version	Issued	Date
2	1	As email on 21.07.09	21.08.03
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5	2	As email on 21.09.08	22.07.21

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Room schedule

Name	Area
Bath	5 m²
Bed 3	20 m²
Bed 4	19 m²
Bed 5	15 m²
Grand total	59 m²

Existing/Demolish/Proposed first floor plan

0 5000
Scale: 1 : 100

Materials legend

Stud timber	
Framed (weatherboard/fibro/metal clad)	
Brick veneer	
Solid timber or laminated product made from layers of timber, bonded together	
Concrete slab supported on foundations or directly on the subsoil	
Stud timber	
Framed (weatherboard/fibro/metal clad)	
Brick veneer	
Solid timber or laminated product made from layers of timber, bonded together	
Replace new finish material refer to materials schedule	

Annotate legend

Fix	FW
Awning	AW
Sliding window	SLW
Highlight window	SL-HLW
Bi-fold	BF
Sliding	SL
Cavity sliding	CSL
Single swing	SW
Double swing	DS
Overheadroller	RL
Floor waste	FW
Exhaust fan	EF
Reduced level	RL:00
To be demolished	
Roof/skylight/structure above	
Floor/void/walls below/above	
D : Door	W : Width
W : Window	H : Height

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Drawing	Existing/Demolish/Proposed first floor plan
Address	128 Queenscliff Rd, Queenscliff NSW 2096
Project	941109463
Client/s	Matthew Leiper
Sheet	08
A3	

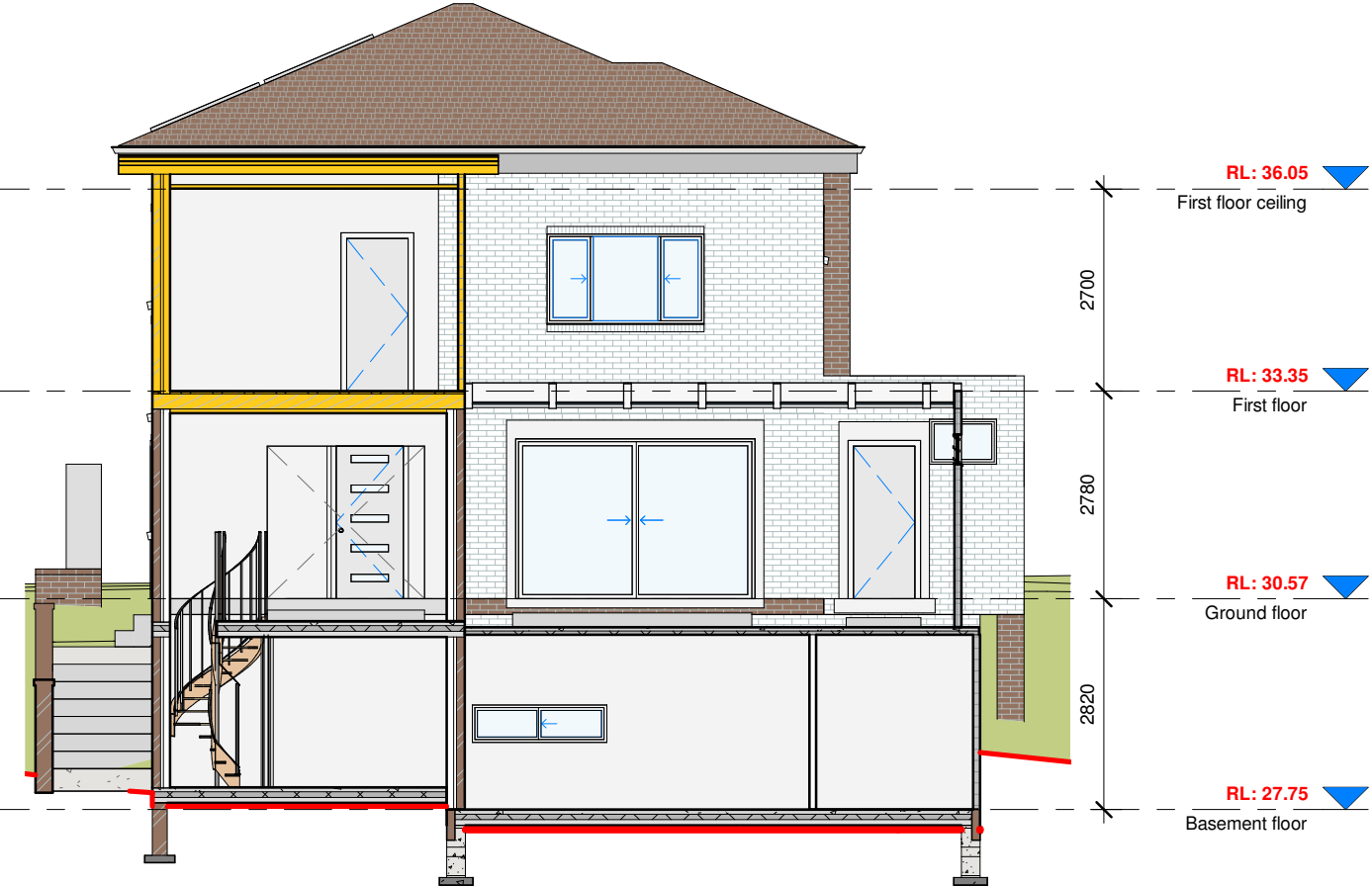
Sequence	Version	Issued
4	C	Approval submission plans
5	2	As email on 21.09.08
6	3	Scale back the size and scope of the addition

Date
21.10.17
22.07.21
23.06.02

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Drawing Elevations				
Address 128 Queenscliff Rd, Queenscliff NSW 2096				
Project	941109463	Client/s	Matthew Leiper	Sheet 09 of 10



Section 1

0 5000

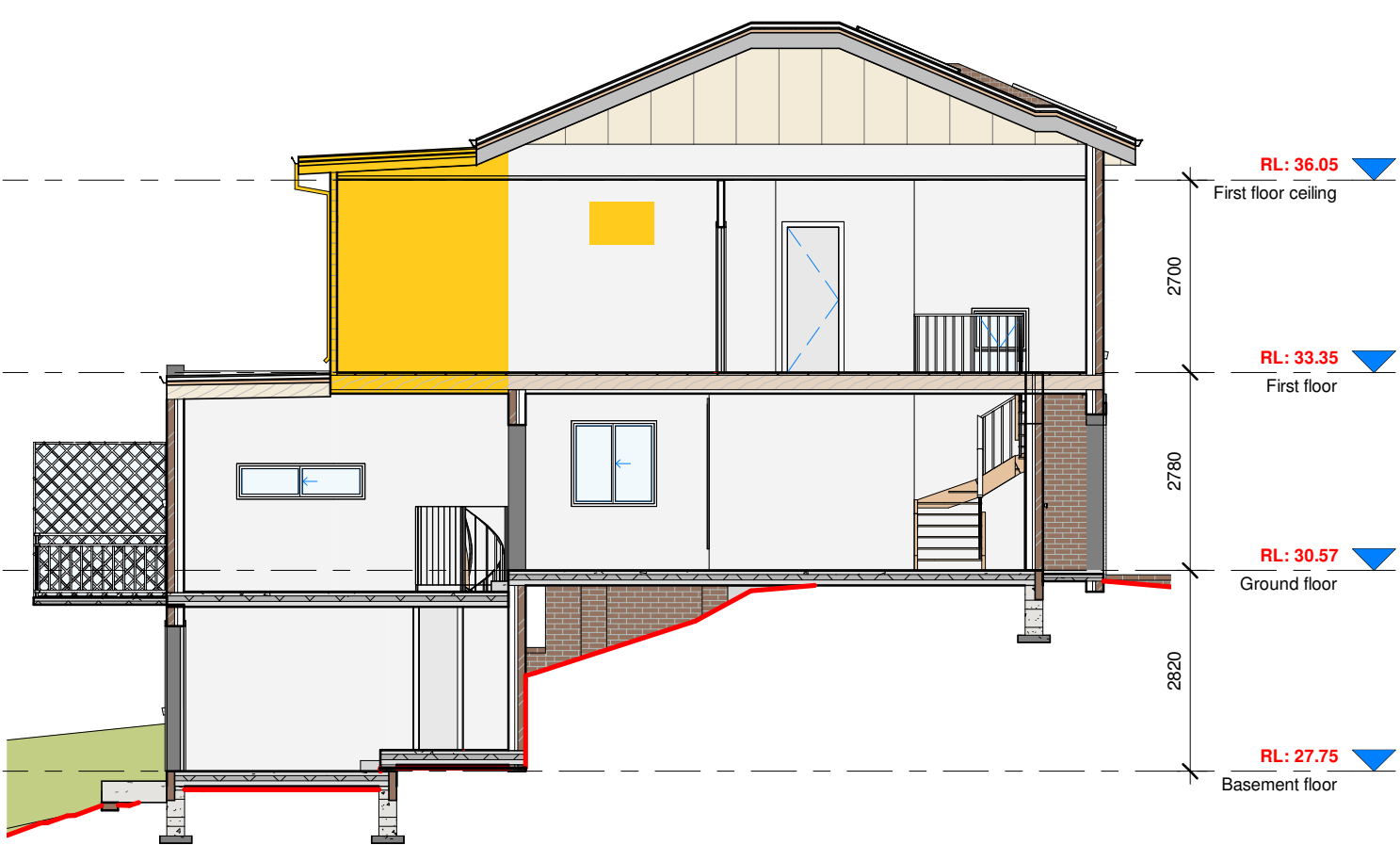
Scale: 1 : 100

Window schedule

Mark	Height	Width	Sill Height	Legend	Operating type	Frame	Glass type
First floor							
1	1200	1800	900	SLW	Sliding	Aluminum	Single glazed, clear
Grand total: 1							

Operating type

Operating type	Ventilation potential	Air infiltration	Frame fraction
Hinged/ projected	High	Medium	High
Sliding	Medium	High	Medium
Fixed	None	Low	Low



Section 2

0 5000

Scale: 1 : 100

Materials legend

Existing stud timber	
Existing framed (weatherboard/fibro/metal clad)	
Existing single cavity brick	
Existing brick veneer	
Existing tile roof	
Existing concrete floor	
Existing timber floor	
New stud timber	
New framed (weatherboard/fibro/metal clad)	
New colourbond roof	
New timber floor	

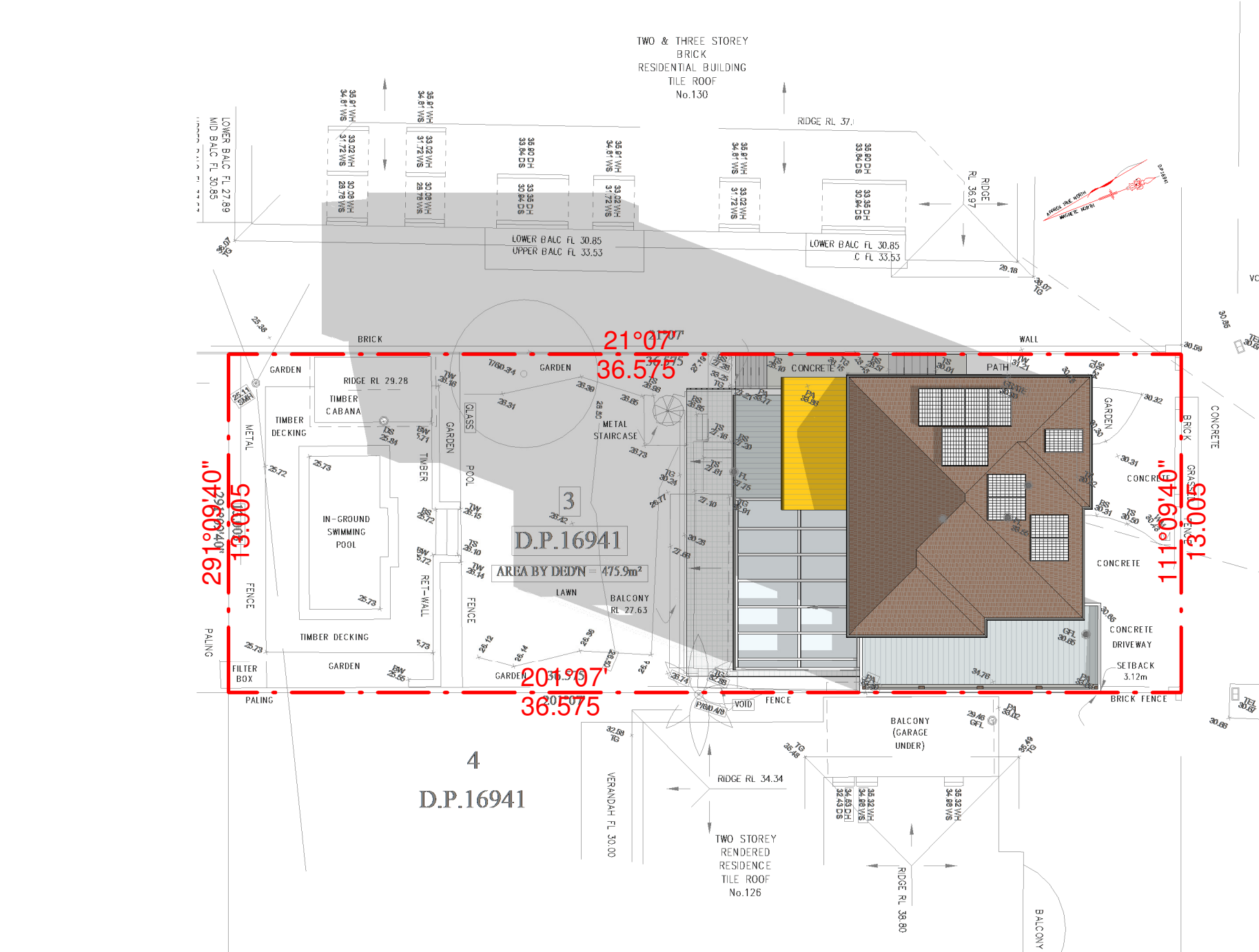
Annotate legend

Reduced level	
New ground level	
Natural ground line	
8.5m max height limit	

Drawing	Section/s	2	1	As email on 21.07.09	21.08.03
Address	128 Queenscliff Rd, Queenscliff NSW 2096	3	B	Development application	21.08.10
Project	941109463	4	C	Approval submission plans	21.10.17
Client/s	Matthew Leiper	5	2	As email on 21.09.08	22.07.21
Sheet	10	A3			

Sequence	Version	Issued	Date
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4	C	Approval submission plans	21.10.17
5	2	As email on 21.09.08	22.07.21





Shadow diagram June 21st 9am

0 10000

Scale: 1 : 200

Solar detailed compliance table

Min 3 hours sunlight @ 50% of POS area, Winter solstice on June 21st									
Unit	Min.open space	9 am	10 am	11 am	12 pm	1 pm	2 pm	3 pm	Sunlight average
1	40.00 sqm	100%	100%	66.20%	43.05%	0.00%	0.00%	6.87%	45.16%
2	40.00 sqm	59.57%	15.97%	0.00%	32.55%	20.60%	62.00%	99.20%	41.41%
3	40.00 sqm	10.05%	19.75%	28.62%	43.17%	61.80%	95.57%	100%	47.19%
4	40.00 sqm	59.57%	23.55%	21.20%	31.82%	4.57%	0.00%	8.82%	20.73%
5	40.00 sqm	100%	100%	100%	84.90%	6.00%	0.00%	0.00%	55.84%

Purpose: **Development application only (DA)**

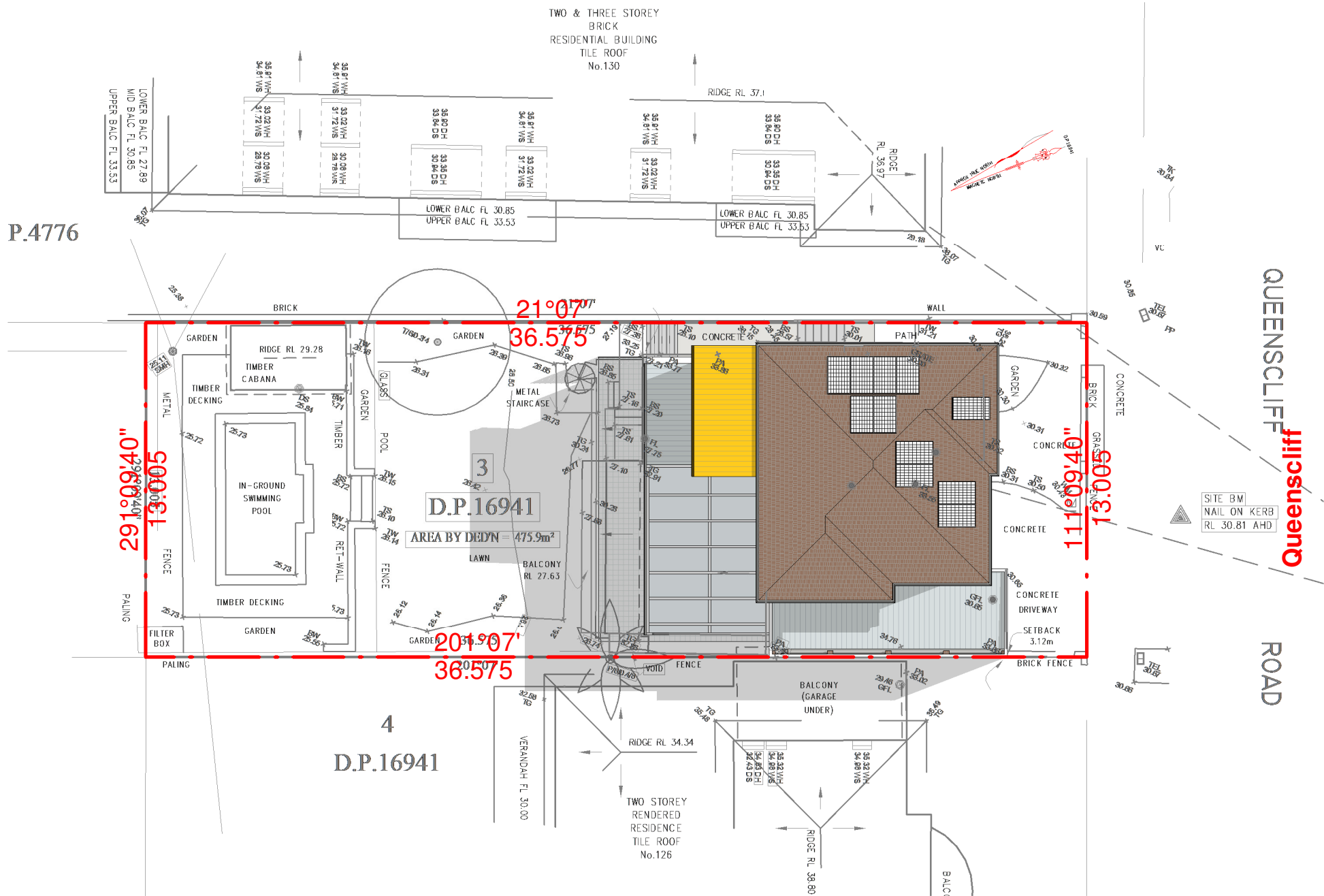
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Drawing	Shadow diagram June 21st 9am				
Address	128 Queenscliff Rd, Queenscliff NSW 2096				
Project	941109463	Client/s	Matthew Leiper	Sheet	11 A3

Sequence		Version	Issued	Date
2	1	As email on 21.07.09	21.08.03	
3	B	Development application	21.08.10	
4	C	Approval submission plans	21.10.17	
5	2	As email on 21.09.08	22.07.21	

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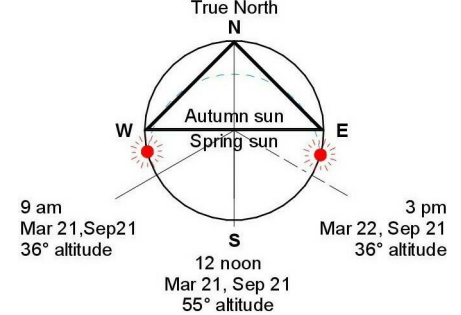




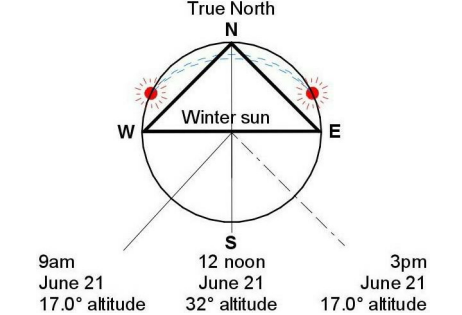
Shadow diagram June 21st 12pm



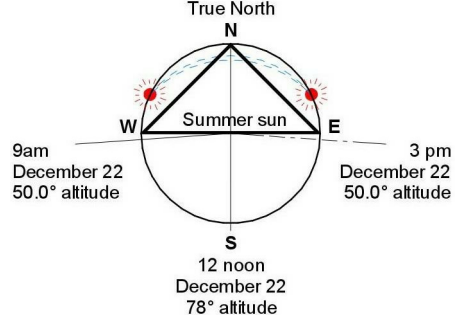
Sun angle information



Autumn and spring solstice on March & Sept 21 st		
Time	Altitude	Azimuth
9 am	36°	60° East of North
12 noon	55°	0° West of North
3 pm	36°	60° West of North



Winter solstice on June 21 st		
Time	Altitude	Azimuth
9 am	17°	42° East of North
12 noon	32°	0° North
3 pm	17°	42° West of North



Summer solstice on December 22 nd		
Time	Altitude	Azimuth
9 am	50°	86° East of North
12 noon	78°	0° North
3 pm	50°	86° West of North

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Drawing	Shadow diagram June 21st 12pm				
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Project	941109463	Client/s	Matthew Leiper	Sheet	12 A3

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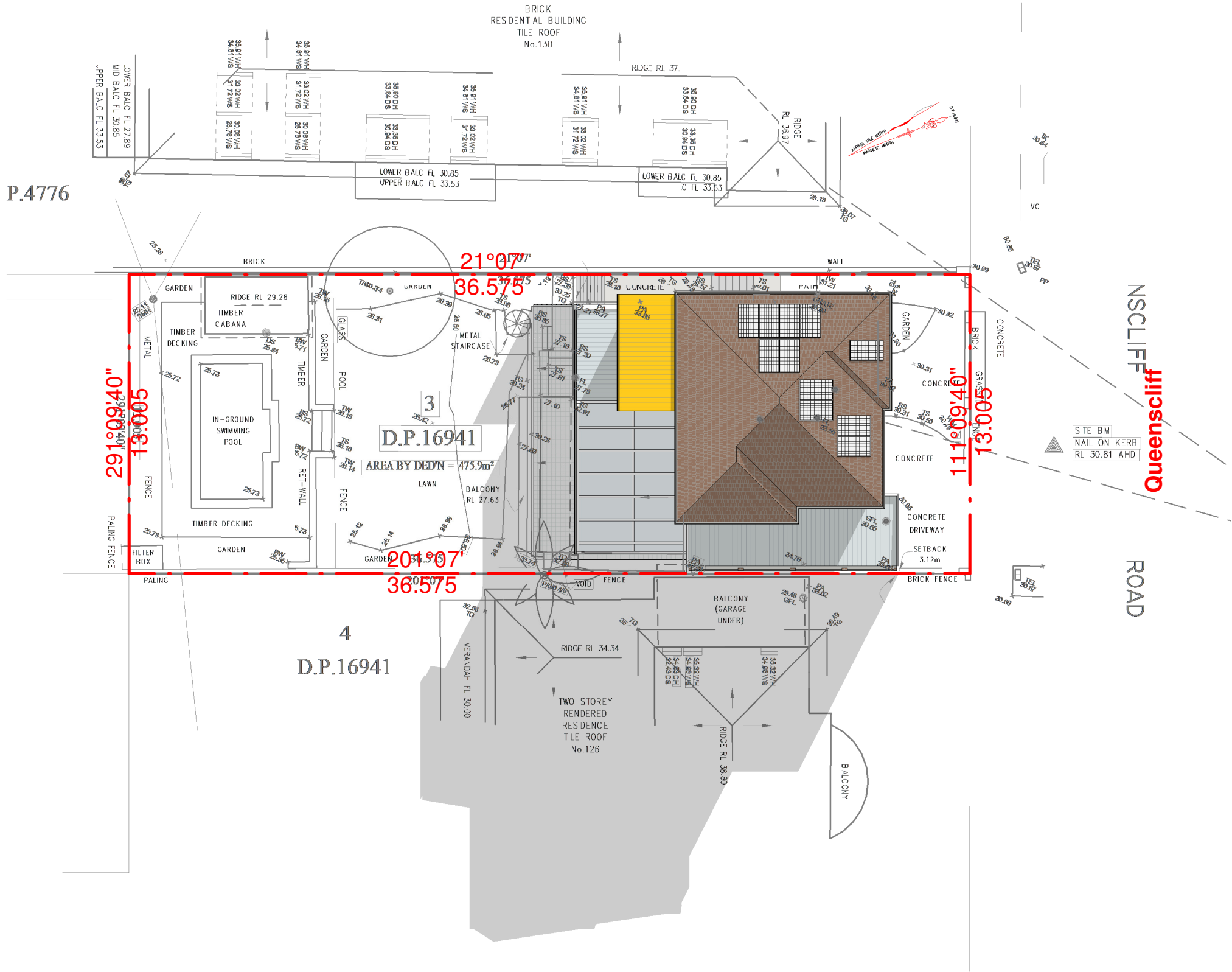
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21.10.17	
22.07.21	

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Shadow diagram June 21st 3pm



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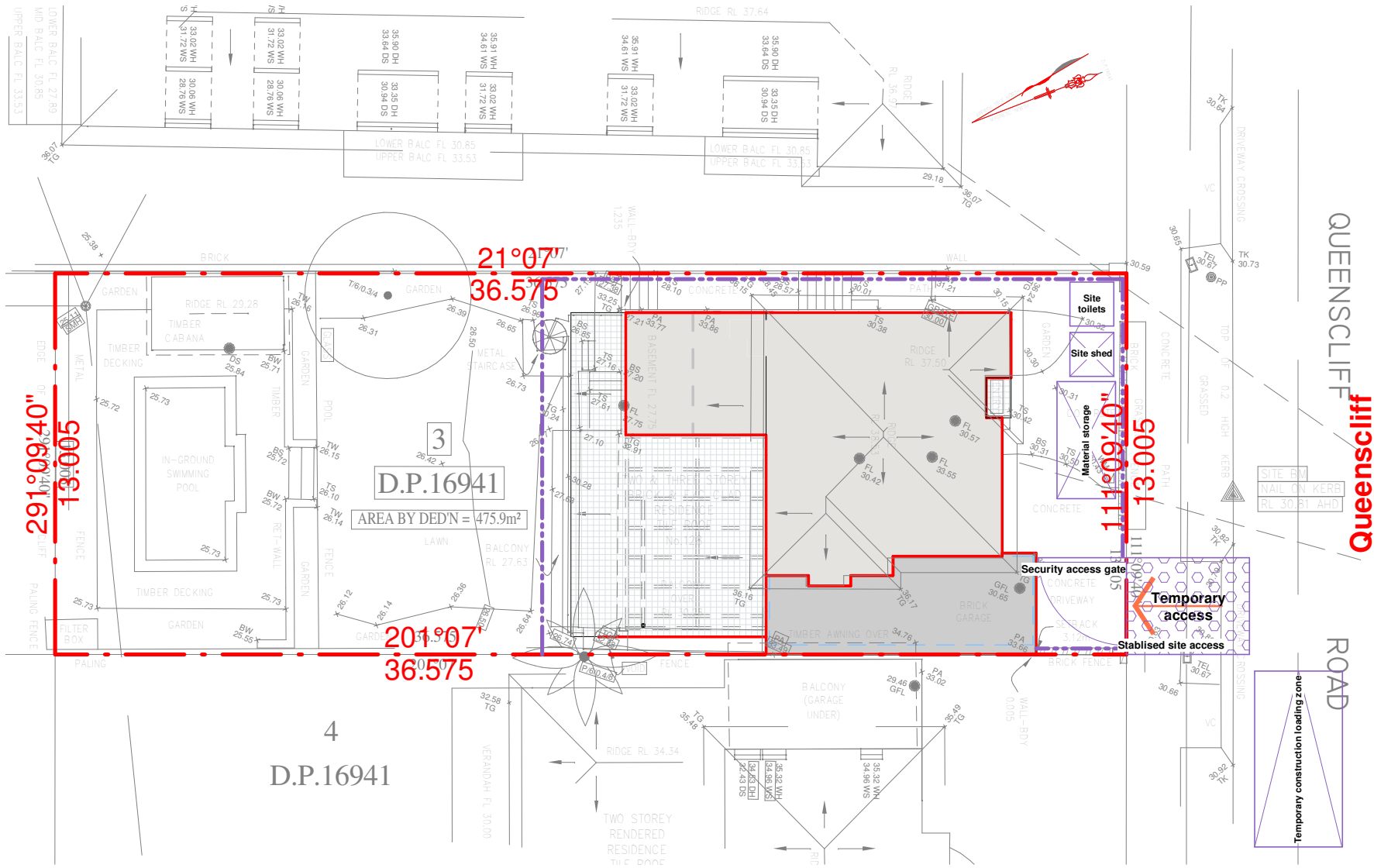
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Drawing	Shadow diagram June 21st 3pm				
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Project	941109463	Client/s	Matthew Leiper	Sheet	13 A3

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Sediment legend

- Boundary line
- Sedimnet 1.8m fence
- Roof/skylight/structure above
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope

- Temporary access**
Temporary access corridor to site for (movement of people, materials, waste and machinery)
- Stablised site access**
Vehicles carrying loose building materials to be covered in compliance with road traffic regulations. Safe access for heavy equipment plant and materials delivery, sediment controls to be placed across driveway
- Material storage**
Construction materials storage area location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill
- Temporary construction loading zone**
Temporary construction loading zone area for cranes + conc. trucks
- Site shed**
Location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill top soil, sand stockpile to be covered and protected with geotextile fabric

Site/Waste management plan

0 5000
Scale: 1 : 200

Purpose:Development application only (DA)

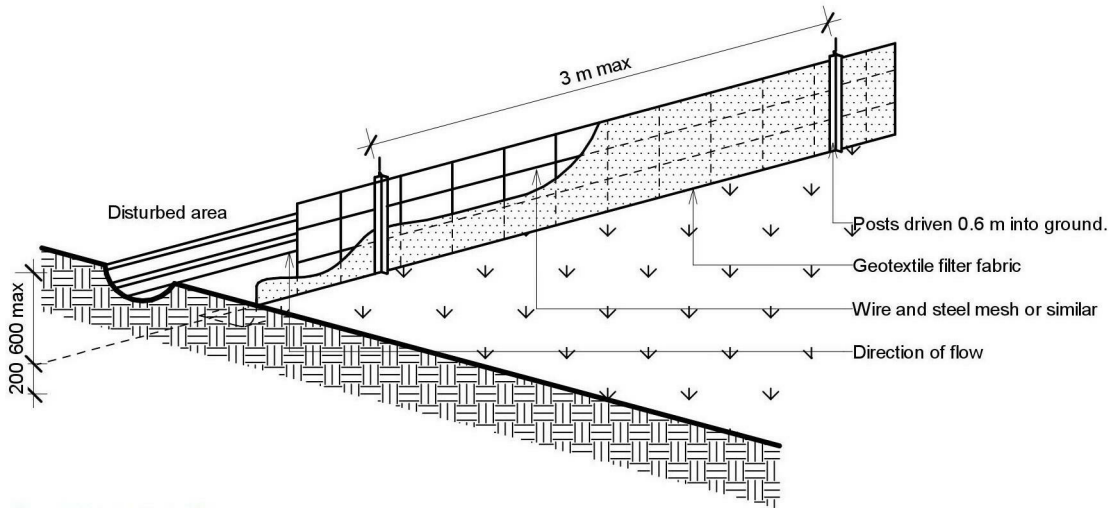
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Drawing	Site/Waste management plan				
Address	128 Queenscliff Rd, Queenscliff NSW 2096				
Project	941109463	Client/s	Matthew Leiper	Sheet	14 A3

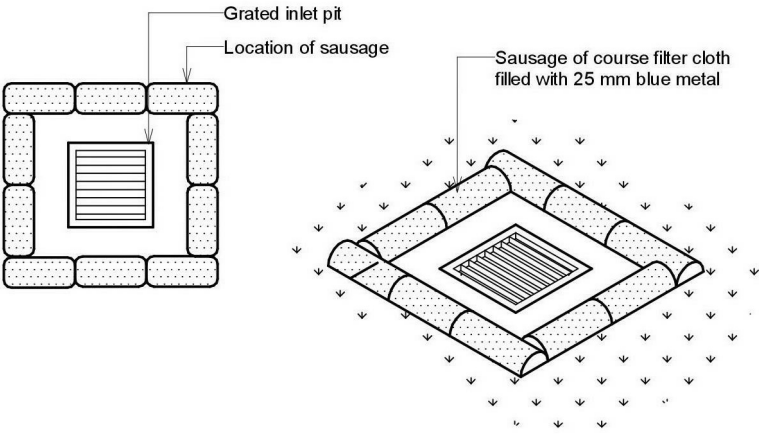
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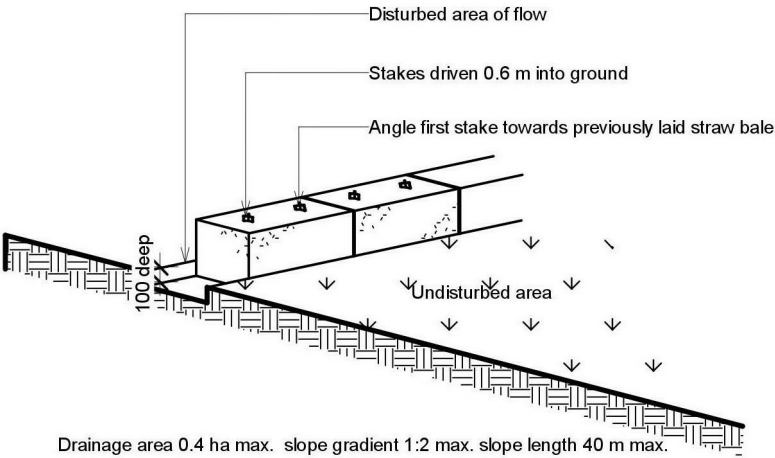




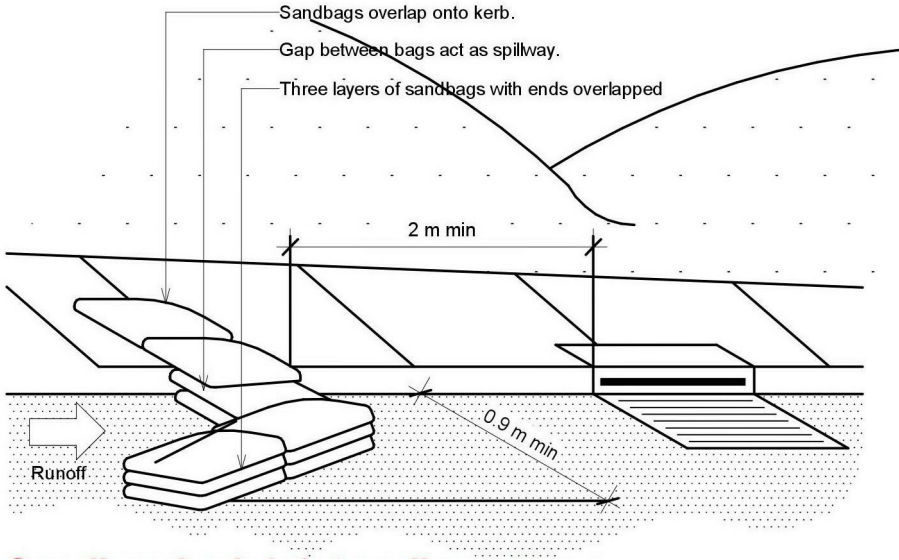
Sediment fence



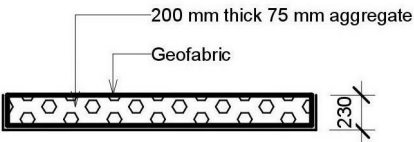
Location of sausage



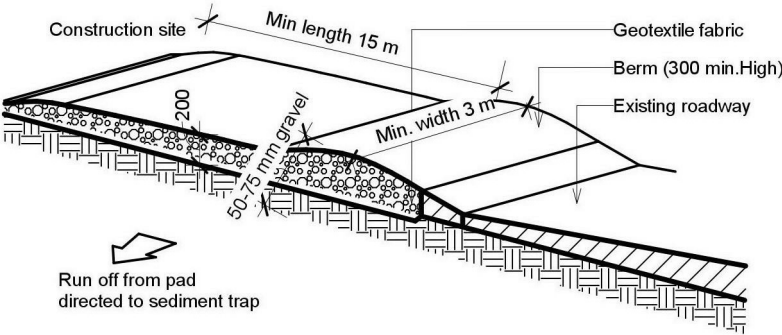
Straw bale sediment filter



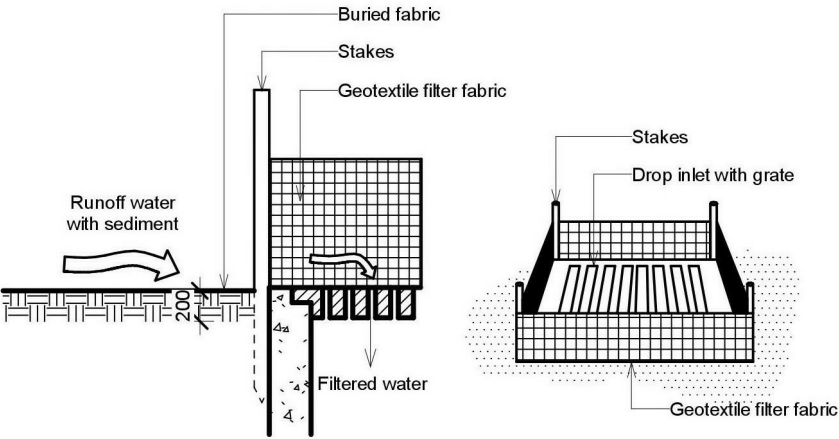
Sandbag kerb inlet sediment trap



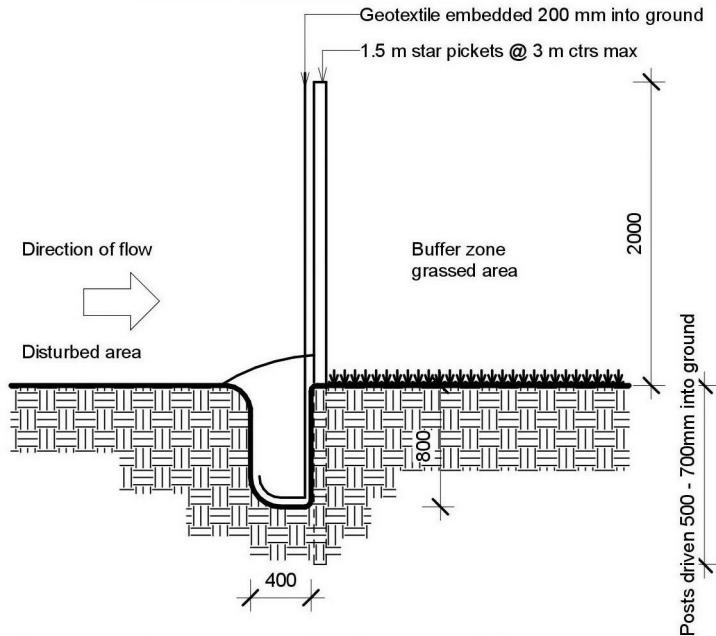
Detail of stabilised site access



Geofabric lined silt fence (structure type A)



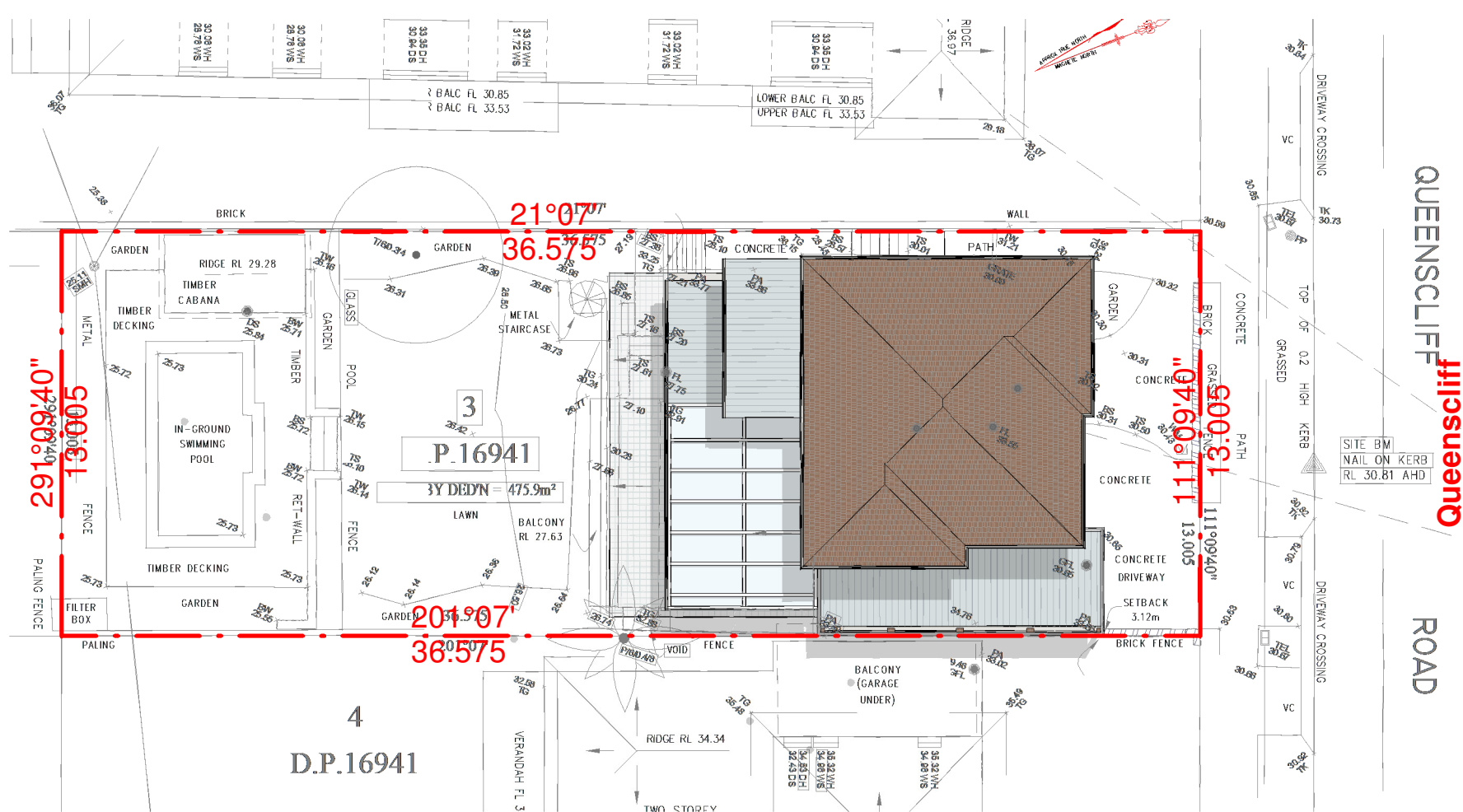
Geotextile filter fabric drop inlet sediment trap



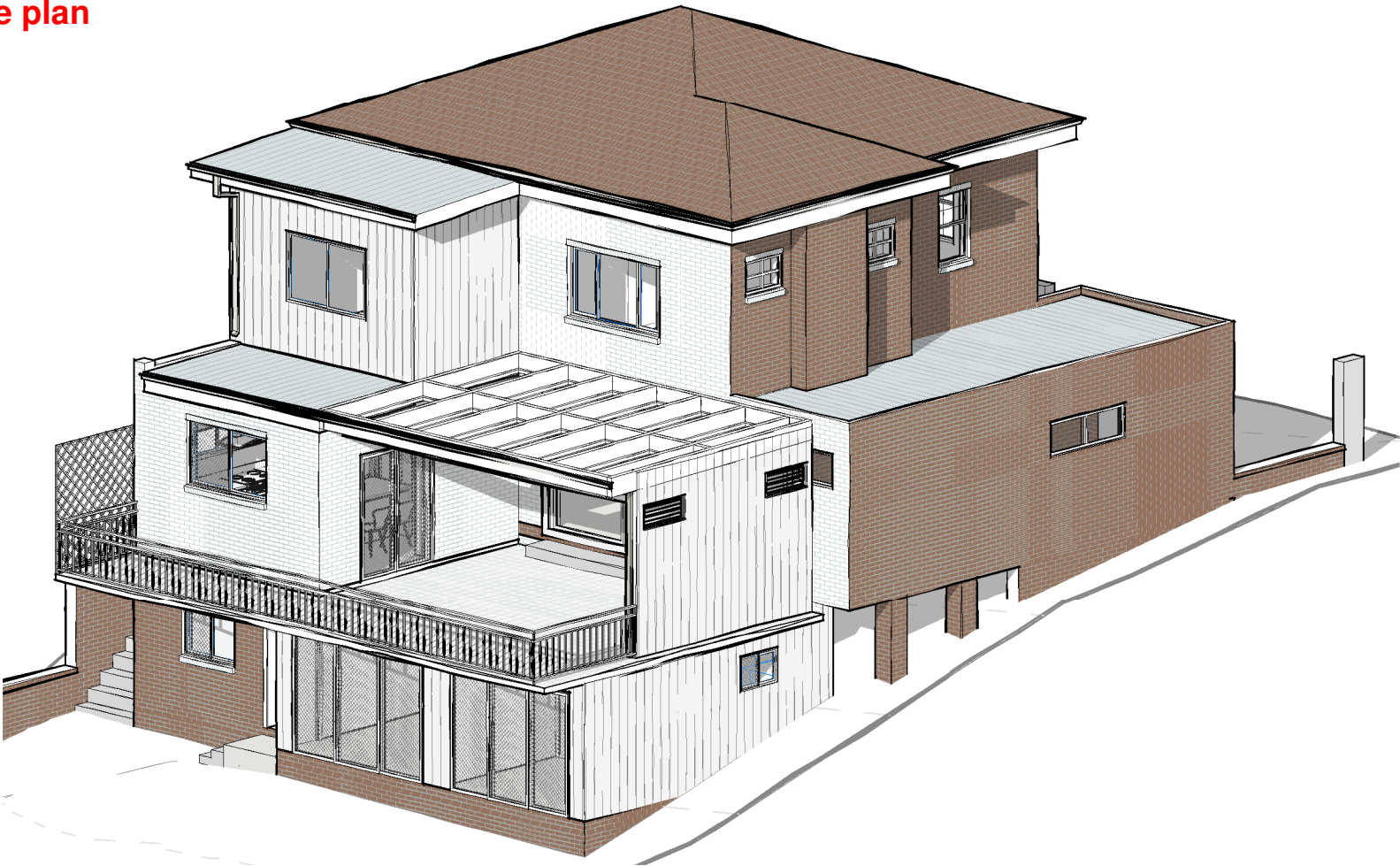
Geofabric lined silt fence (structure type A)

Drawing	Erosion & Sediment control				
Address	128 Queenscliff Rd, Queenscliff NSW 2096				
Project	941109463	Client/s	Matthew Leiper	Sheet	15 A3

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Site plan



Overview perspective



Rear elevation



Site elevation 1



Site elevation 2

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Drawing	Notification plans
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Project	941109463 Client/s Matthew Leiper Sheet 16 A3

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Thank you

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Project number

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