

PROJECT:  
UPPER CLONTARF DA

LOCATION  
129 UPPER CLONTARF STREET  
SEAFORTH, NSW  
2096

CLIENT  
JUSTIN + ROWENA

TITLE  
DEMO PLAN +  
SITE AREA CALCS

SCALE  
1:200 @A3



DATE  
02.02.2020





JOB NO.  
AD 1902

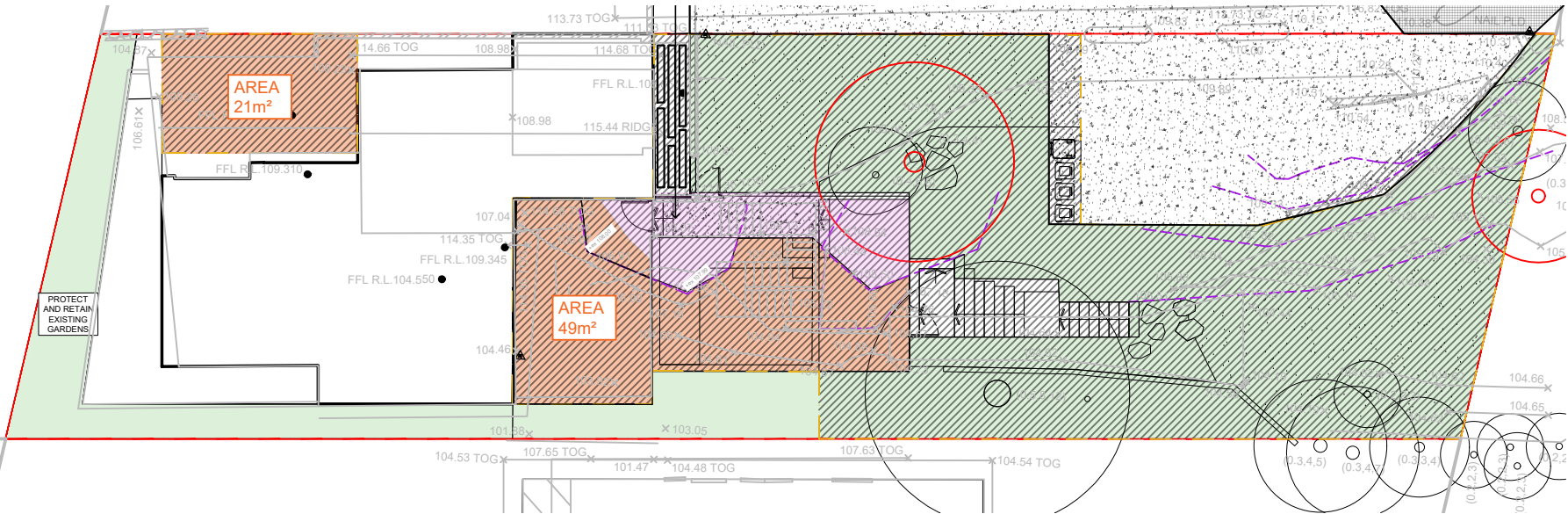
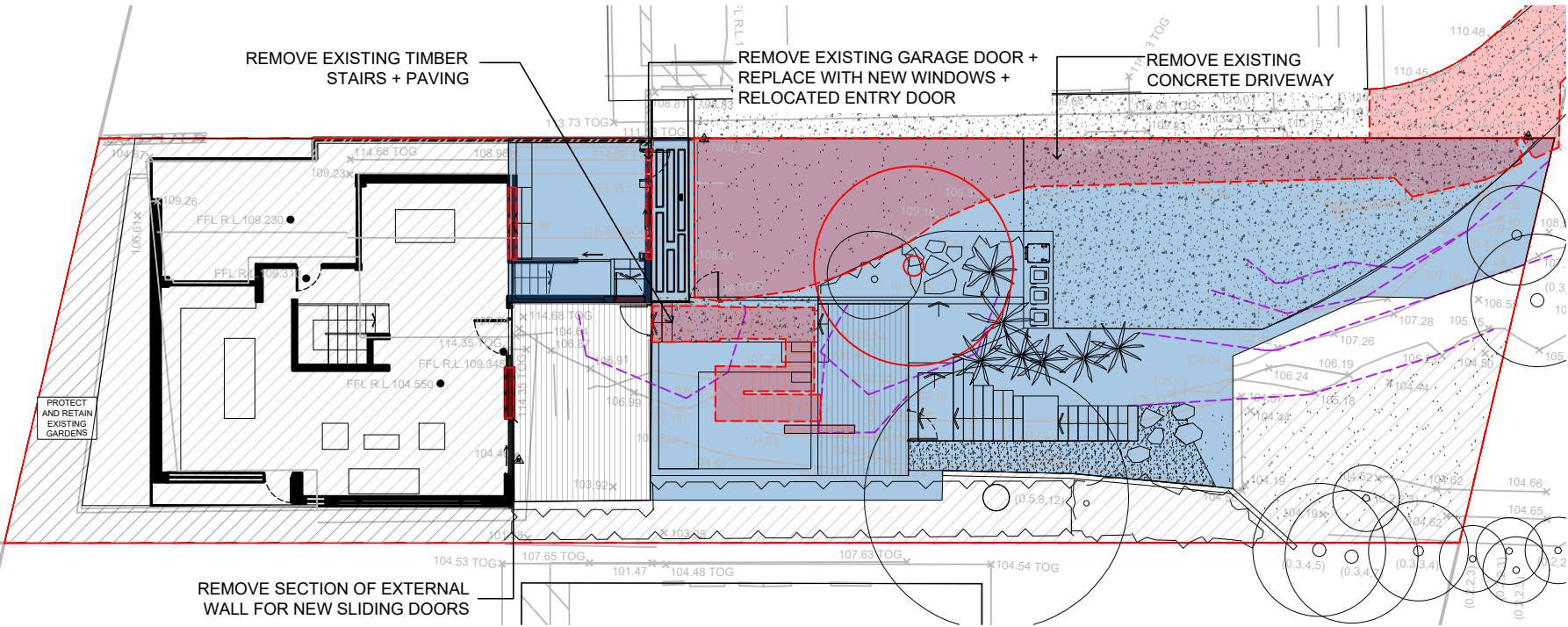
DRAWING NO.  
AD 001

REV  
A

LEGEND

 = PROPOSED WORKS  
 = EXISTING ELEMENTS TO BE DEMOLISHED

SITE AREA	531.5M²				
CONTROLS	REQUIRED	EXISTING	PROPOSED	COMPLIES	SYMBOL
RESIDENTIAL OPEN SPACE	AREA OS3				
TOTAL OPEN SPACE	55% OF SITE AREA OR 292.1SQM	283.7M²	292M²	YES	
OPEN SPACE ABOVE GROUND	NO MORE THAN 25% OF TOTAL OPEN SPACE (71SQM)	42M²	70m²	YES	
LANDSCAPE AREA	35% OF TOTAL OPEN SPACE OR 102.5SQM	N/A	229m²	YES	
AREAS OF DECKING LESS THAN 1M ABOVE NGL					



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THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0116

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LANDSCAPE AND GARDENS

ABN 75290602582

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DA PLAN  
LANDSCAPE WORKS

SCALE  
1:100 @A3

DATE  
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JOB NO.  
AD 1902

DRAWING NO.  
AD 002

REV  
A

LEGEND

	Retain/protect existing tree		Steel garden edging
	Existing tree removed Refer arborist report		Fence type 1 - 1.2M H Glazed pool fence
	Proposed tree Refer key & notes		Fence type 2 - 1.2m H Palisade pool fence
	Planted areas Refer key & notes		Fence type 3 - 1.0m H Balustrade
	Timber decking		Fence type 4 - 1.6m H Palisade Privacy screen
	Proposed works		Existing levels
	Existing stone wall		Proposed levels
	Turf areas		Stone steps
	Paving		Concrete

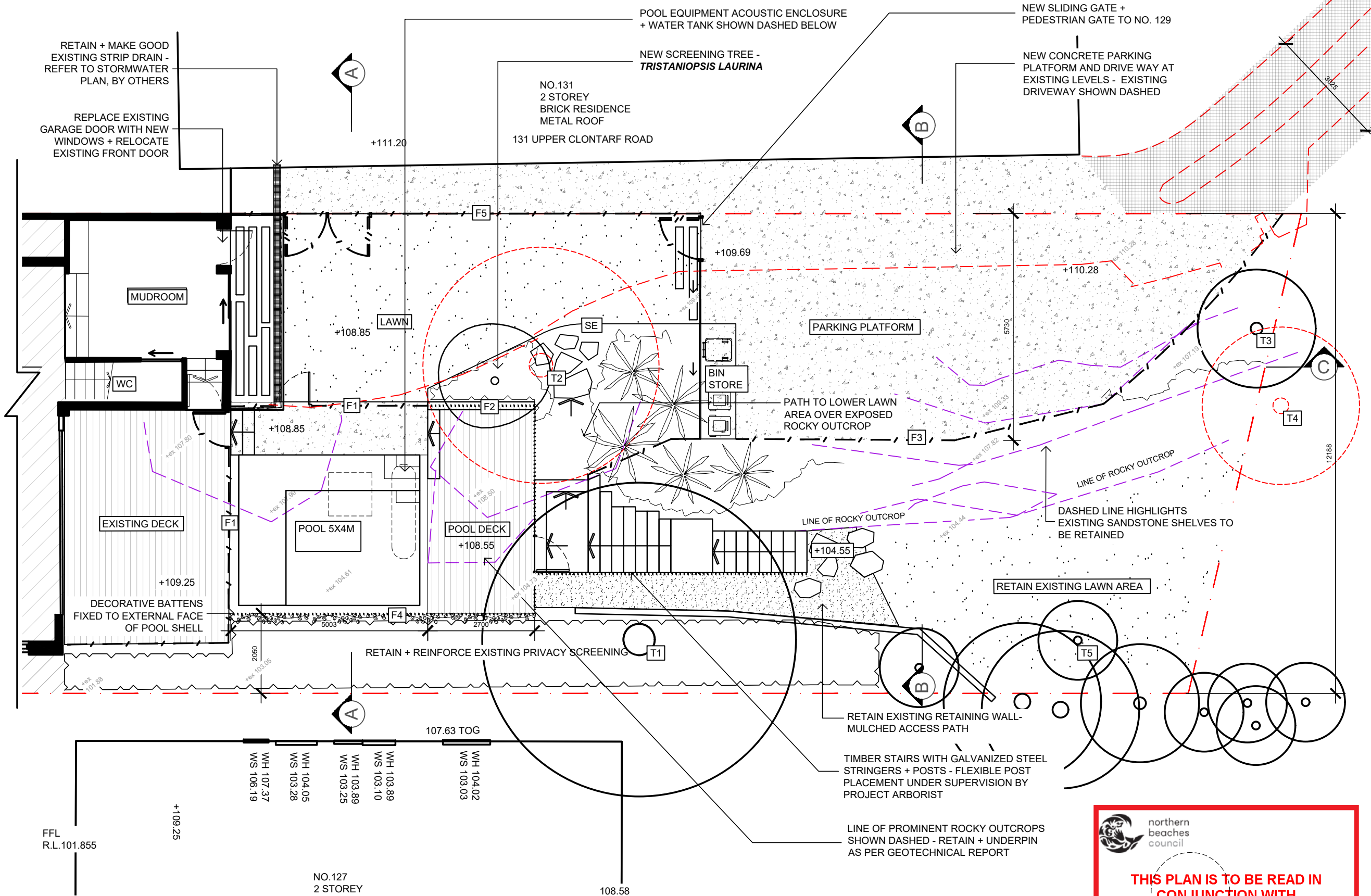
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SECTION ELEVATION AA

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JOB NO.  
AD 1902

DRAWING NO.  
AD 003

NORTH



REV  
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LEGEND

	Retain/protect existing tree		Steel garden edging
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	Planted areas Refer key & notes		Fence type 3 - 1.0m H Balustrade
	Timber decking		Fence type 4 - 1.6m H Palisade Privacy screen
	Proposed works		Existing levels
	Existing stone wall		Proposed levels
	Turf areas		Stone steppers
	Paving		Concrete

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LANDSCAPE AND GARDENS

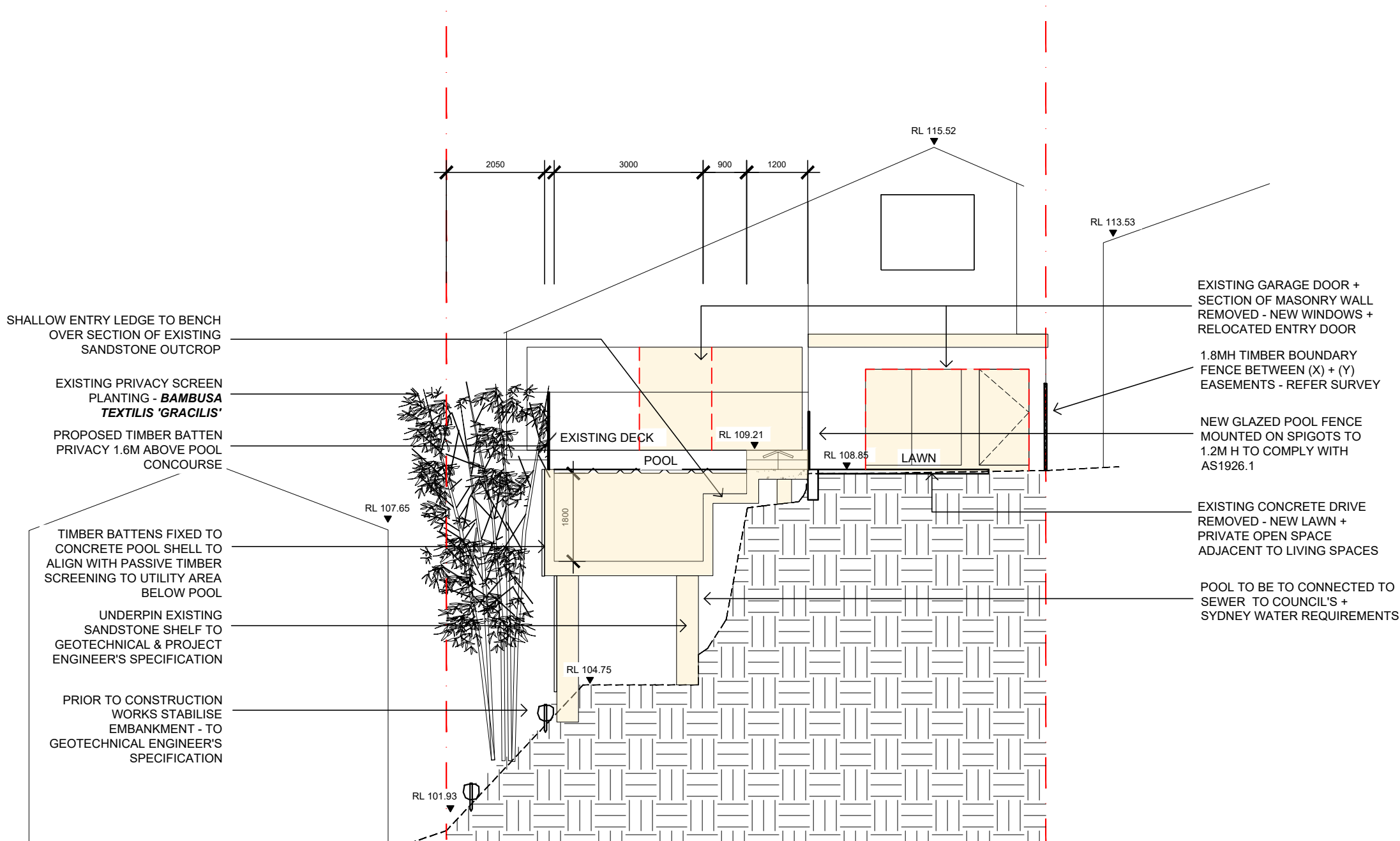
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SECTION ELEVATION BB

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1:100 @A3

DATE  
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JOB NO.  
AD 1902

DRAWING NO.  
AD 004

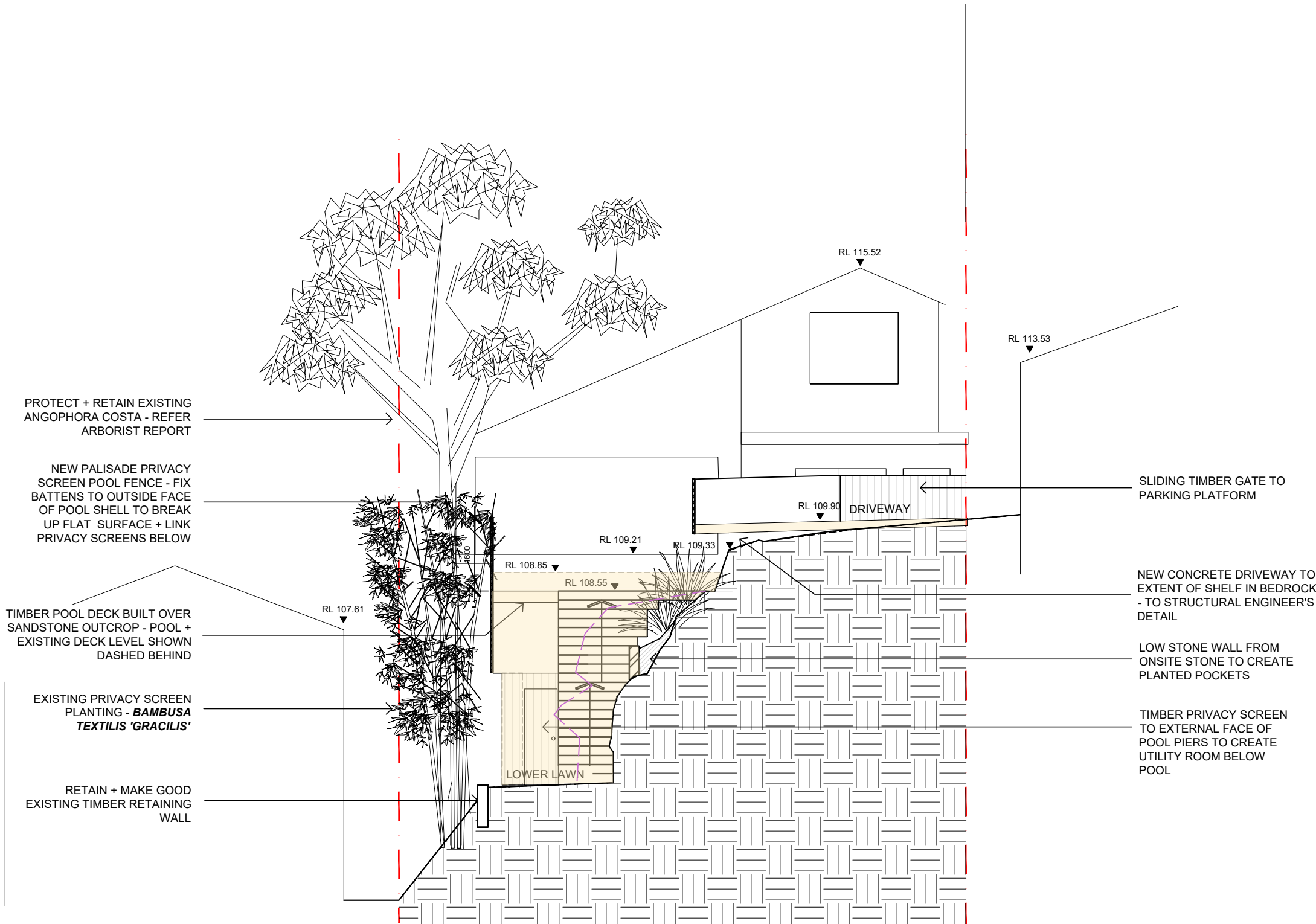
NORTH



REV  
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LEGEND

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TITLE  
SECTION ELEVATION CC

SCALE  
1:100 @A3

DATE  
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JOB NO.  
AD 1902

DRAWING NO.  
AD 005

REV  
A

LEGEND

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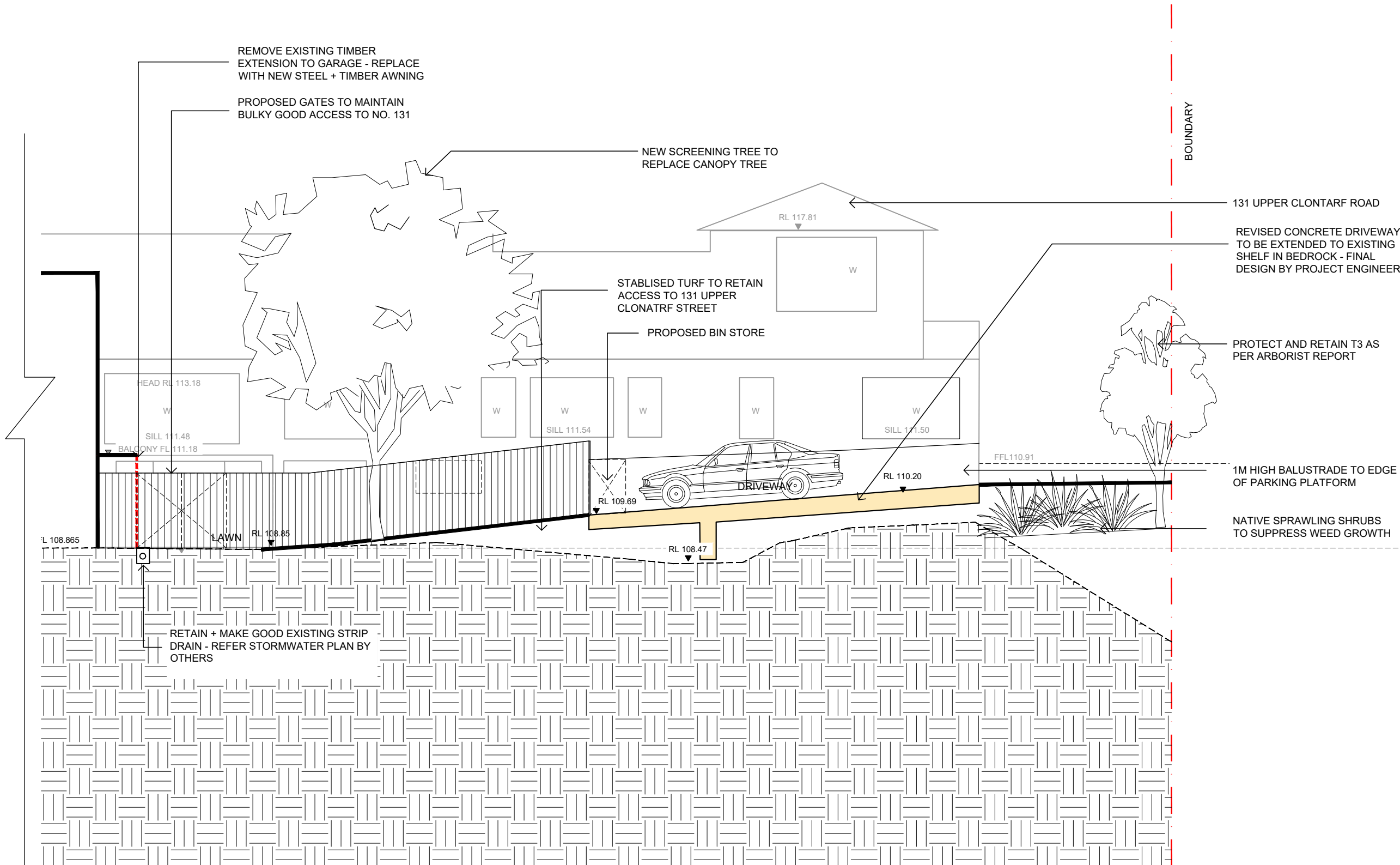
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TITLE  
SOUTH ELEVATION

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1:100 @A3

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DRAWING NO.  
AD 006

REV  
A

LEGEND

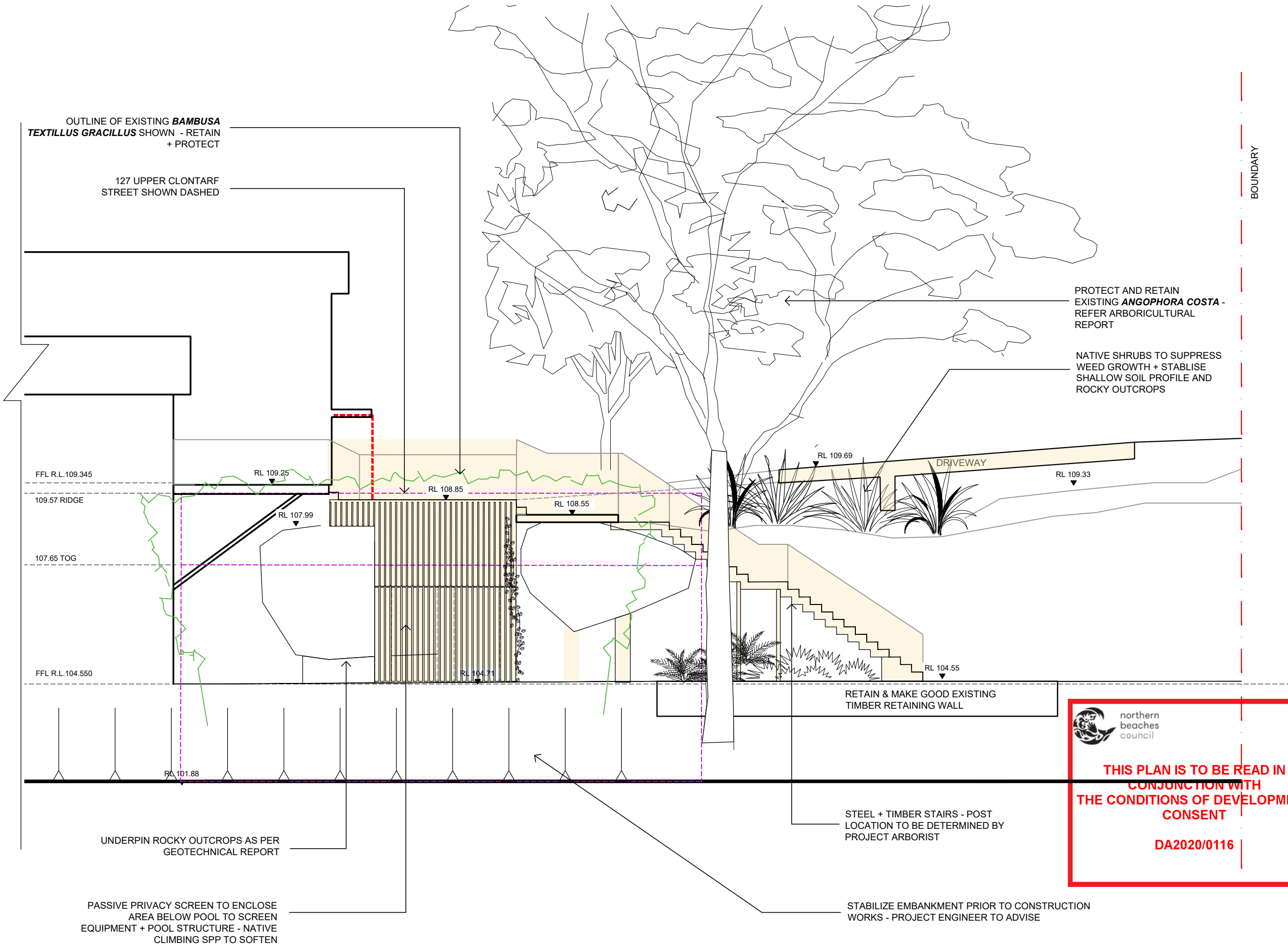
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**UPPER CLONTARF DA**

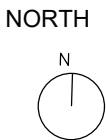
LOCATION  
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TITLE  
**SCHEDULE OF FINISHES**

SCALE  
1:200 @A3

DATE  
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JOB NO.  
AD 1902

DRAWING NO.  
**AD 009**

REV  
**A**

LEGEND



01 3D CONCEPTUAL RENDERS



DARK STEEL OR TIMBER BATTEN BALUSTRADE  
DULUX FERRODOR 810 - NATURAL GREY OR EQU.



SELECTED HARDWOOD/ COMPOSITE BATTEN PRIVACY/SCREEN + POOL FENCE  
NOM. 40X40 BATTEN ON GALVANISED STEEL FRAME



135MM WIDE SELECTED DECKING BOARD + CONCRETE POOL SURROUND TURFGRID DRIVEWAY APRON  
ALLOW DECKING TO GREY NATURALLY



OVERHEAD TIMBER SCREEN BUILDING  
DESIGN TO FUTURE DETAIL

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