

**STATEMENT FOR SECTION 4.55 (1A)  
AMENDED DEVELOPMENT APPLICATION**

*FOR*

**PROPOSED ALTERATIONS AND ADDITIONS  
TO EXISTING DWELLING INCLUDING SWIMMING POOL**

*AT*

**21 RANGERS RETREAT ROAD  
FRENCHS FOREST NSW 2086**

*PREPARED FOR:*

**MR & MRS MILES**

**SEPTEMBER 2020**

*BY*

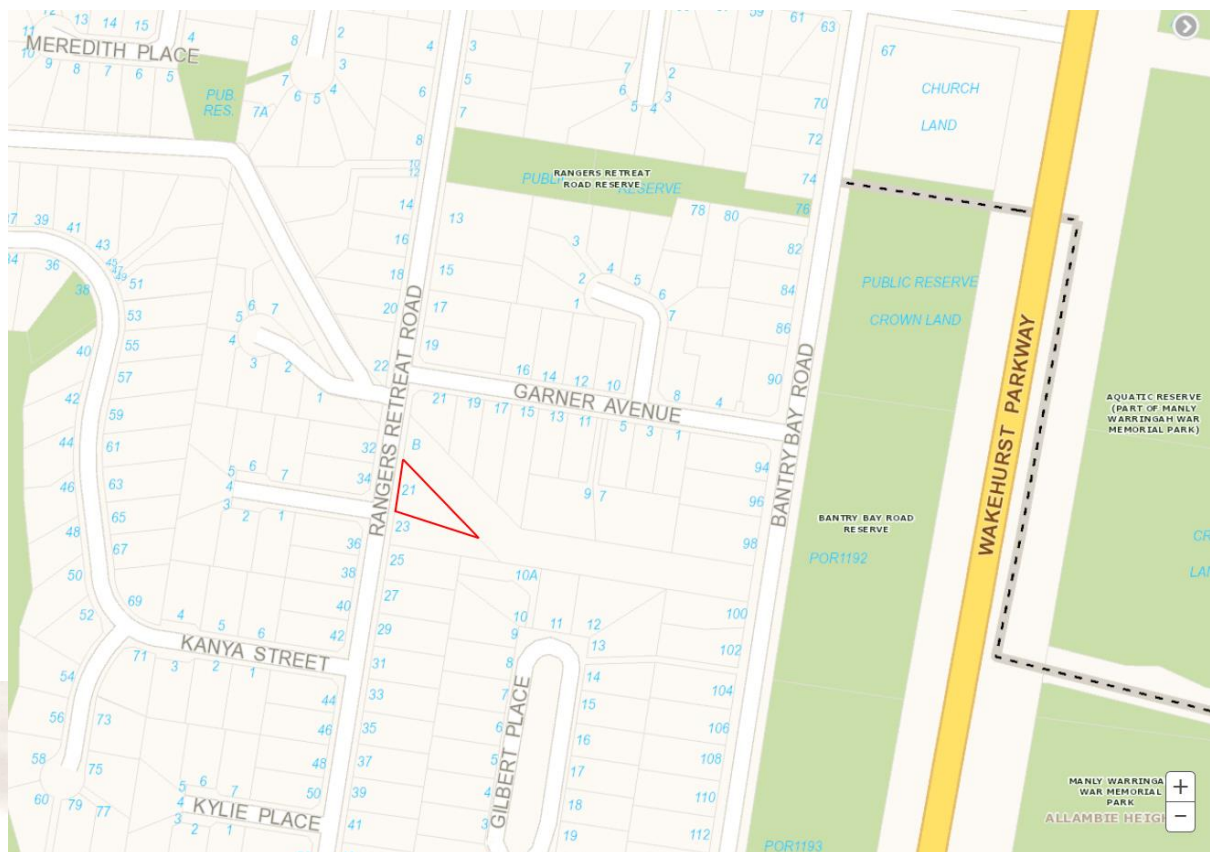
**BUENAVISTA HOME DESIGNS  
35 BRISBANE AVENUE,  
MT KURING-GAI NSW 2080**



**Application Number:** DA2019/0931  
**Consent Approval Date:** 3/10/2019  
**Address:** Lot 1 DP 205274, 21 Rangers Retreat Road, Frenchs Forest NSW 2086  
**Proposed Development:** Alterations and additions to a dwelling house including a swimming pool

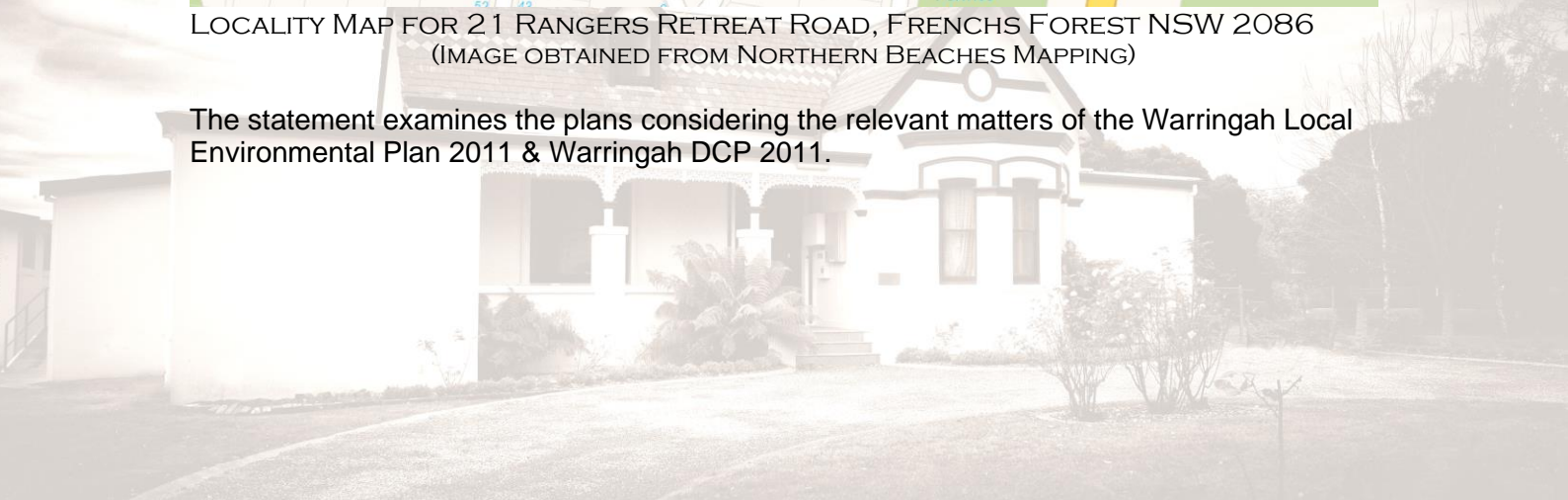
## **STATEMENT**

This Statement for Section 4.55 (1a) accompanies plans prepared by Buena Vista Home Designs Job No. 0687/19, sheets DA01 – DA08 dated August 2020 for submission to Northern Beaches Council as an amendment to the approved Development Application (DA2019/0931) for a the alterations and additions to residence, including a swimming pool at the property, 21 Rangers Retreat Road, Frenchs Forest NSW 2086.



LOCALITY MAP FOR 21 RANGERS RETREAT ROAD, FRENCHS FOREST NSW 2086  
(IMAGE OBTAINED FROM NORTHERN BEACHES MAPPING)

The statement examines the plans considering the relevant matters of the Warringah Local Environmental Plan 2011 & Warringah DCP 2011.



## CHANGES TO THE APPROVED DEVELOPMENT APPROVAL

### Ground Floor Plan

The part removal of the flooring in the proposed Living Room, to create a void to the proposed Stair Well.

The proposed internal balustrade to the Stair Well and Void, will be a 1000mm high plasterboard dwarf wall in lieu of a select timber balustrade.

The removal of the proposed built in gas fireplace.

The extension of the Alfresco roof to cover the external stairs.

The removal of 1 timber post supporting the Alfresco roof and the relocation of another timber post, so as to be located adjacent to the other timber post.

The Alfresco roof pitch to be lower to 4° in lieu of 6°.

All as indicated on the drawings.

### Lower Floor Plan

The relocation of the fixtures in the proposed Bathroom to allow for a bath tub in the room.

The relocation of the toilet and cupboards in the proposed Laundry.

The removal of the internal window between the proposed Laundry and Stair Well.

The Store Room to be increased in size to 3345mm deep in lieu of 2500mm deep.

All as indicated on the drawings.

### Windows, Doors and Skylights

The deletion of Window No. 1 and 7 from the schedule.

Door No. 1 to be changed from a 6-panel aluminium sliding stacker to a 3-panel aluminium sliding stacker. The height of the door will be 2100mm high in lieu of 2400mm high.

Door No. 3 will be added off the Lower Floor Rumpus Room. Door will be a timber hinged door – *Hume Entrance Door Savoy 820 XS11*.

*Velux* Skylights No. 4 and 5 are to be deleted from the Alfresco Roof.

Add another three *Velux* Skylights to the roof over the Kitchen (S 9,10 & 11).

The existing Western facing window in the proposed Master Dressing Room that was to be removed and the opening block up, will now remain.

All as indicated on the drawings.

### Rear Yard

The relocation of the proposed retaining wall adjacent to the proposed external stairs, to be 200mm off external stairs in lieu of 1100mm.

The introduction of additional external concrete steps and retaining wall adjacent to the existing dwelling, to allow for the proposed hinged door from the proposed Rumpus Room.

Due to the retaining wall being moved towards the external stairs, the approved Landscaping steps will be extended across to meet the new location of the retaining wall.

The proposed Inground Swimming Pool will be fiberglass in lieu of concrete. There will be no change in the water capacity with the change of pool.

The introduction of a 1200mm wide raised timber decked area off the end (Eastern) of the approved Swimming Pool.

All as indicated on the drawings.

### **Part B – Built Form Controls**

#### **B1 Wall Heights**

No Change from the Development Approval.

#### **B2 Number of Storeys**

No Change from the Development Approval.

#### **B3 Side Boundary Envelope**

No Change from the Development Approval.

#### **B4 Site Coverage**

According to DCP Map Site Coverage the site coverage does not apply to the subject site.

#### **B5 Side Boundary Setbacks**

There will be no change to the approved setbacks to the dwelling.

The Northern side setback to the Alfresco Area will remain the same as approved and setback to the edge of the Swimming Pool Deck Area will be 1.735m in lieu of the approved 2.25m to the edge of the Swimming Pool coping.

The proposed Southern setback to the closest point of the Swimming Pool Deck Area will be 0.85m in lieu of the approved 0.905m to the Coping. The proposed closest point of the setback to the pool's waterline will be 1.335m in lieu of the approved 1.21m to the pool's water line.

Refer to Drawing No. S 4.55 - 02.

**B7 Front Boundary Setbacks**

No Change from the Development Approval.

**B9 Rear Boundary Setback**

The proposed rear setback to the Swimming Pool Deck Area coping will be 15.935m, lieu of the approved 17.115m to the pool coping. The proposed rear setback exceeds the Council's minimum rear setback requirement.

Refer to Drawing No. S 4.55 - 02.

**Part C Siting Factors**

**C1 Subdivision**

Not applicable in the proposed scope of works.

**C2 Traffic, Access and Safety**

No Change from the Development Approval.

**C3 Parking Facilities**

No Change from the Development Approval.

**C4 Stormwater**

No Change from the Development Approval.

**C5 Erosion and Sedimentation**

No Change from the Development Approval.

**C6 Building Over or Adjacent to Constructed Council Drainage Easements**

Not Applicable.

**C7 Excavation and Landfill**

No Change from the Development Approval.

**C8 Demolition and Constructions**

No Change from the Development Approval.

**C9 Waste Management**

No Change from the Development Approval.



## **Part D      Design**

### **D1 Landscape Open Space and Bushland Setting**

According to the DCP Map Landscape Open Space and Bushland Setting, minimum 40% of the site area must be landscape open space.

$(0.4 \times 713.6\text{m}^2 \text{ site area}) = 285.44\text{m}^2$

The proposed amended landscape open space is  $369.99\text{m}^2$  and compliance will be achieved.

### **D2      Private Open Space**

No Change from the Development Approval.

### **D3      Noise**

No Change from the Development Approval.

### **D6      Access and Sunlight**

Refer to Drawing No. S 4.55 - 08 – Existing/Proposed Shadow Diagrams for more details.

The increase to the proposed shadow due to the Alfresco Roof extension, will be minimal.

### **D7      Views**

No Change from the Development Approval.

### **D8      Privacy**

No Change from the Development Approval.

### **D9      Building Bulk**

No Change from the Development Approval.

### **D10      Building Colours and Materials**

No Change from the Development Approval.

### **D11      Roofs**

No Change from the Development Approval.

### **D12      Glare and Reflection**

No Change from the Development Approval.



### **D13 Front Fences and Front Walls**

Not applicable in the proposed scope of works.

### **D14 Site Facilities**

No Change from the Development Approval.

### **D15 Side and Rear Fences**

Existing sides and rear fences will remain unaltered.

### **D16 Swimming Pools and Spa Pools**

The proposed in-ground Swimming Pool will remain in the same location as approved, but will change slightly in shade (no increase in volume of water) and now the pool will be a fiberglass shell in lieu of a concrete shell.

The proposed Swimming Pool offsets from boundaries are as indicated on the submitted Proposed Site Plan – Drawing No. 2.

### **D17 Tennis Courts**

Not Applicable.

### **D18 Accessibility**

Not applicable.

### **D20 Safety and Security**

No Change from the Development Approval.

### **D22 Conservation of Energy and Water**

Refer amended BASIX assessment report Certificate number: A355594\_02 prepared by *Frys Energywise* for more details.

## **Part E The Natural Environment**

### **E10 Landslip Risk**

No Change from the Development Approval.



## CONCLUSION

It is submitted that the proposed amendments to the approved Alterations and Additions to the dwelling-house at 21 Rangers Retreat Road, Frenchs Forest will have no adverse effect on the already established neighbouring properties, and it will sit comfortably within the evolving neighbourhood.

Yours faithfully,



Buena Vista Home Designs  
Rodney Hale

