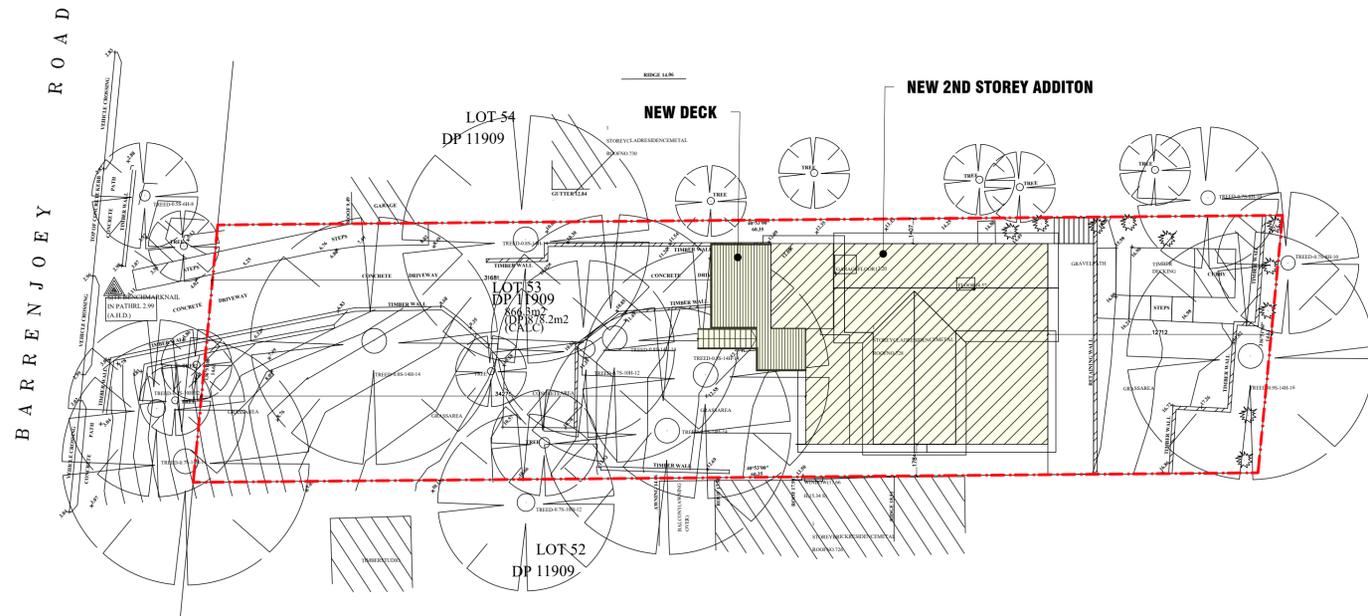


DEVELOPMENT PROPOSAL

DP: **11909**
 LOT No. **53**
 SITE AREA: **866.30MSQ.**
 EXIST. GFA: **112.00MSQ.**
 PROPOSED GFA: **253.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786



THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS

**728 BARRENJOEY RD
 AVALON BEACH
 2107**

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au
Alterations and Additions
 Certificate number: A1778365
 This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Definitions' dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au
 Secretary
 Date of issue: Wednesday, 18 December 2024
 To be valid, this certificate must be signed within 3 months of the date of issue.

Project name	73 LA, 728 Barrenjoey Rd
Street address	728 BARRENJOEY ROAD AVALON BEACH 2107
Local Government Area	Northern Beaches Council
Plan type and number	Consolidated Plan DP11909
Lot number	53
Section number	-
Project type	Dwelling house (detached)
Dwelling type	The proposed development is for my renovation work is \$50,000 or more, and does not include a pool (under table)
Type of alteration and addition	N/A
N/A	N/A
Certificate Prepared by	James complex website submitting to Council or PCA.
Name of Company Name: Max Stiglmeier	
ABN (if applicable): 5988724334	

Features and systems	Show on DA Plans	Show on CC/DCD Plans & specs	Certifier Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light emitting diode (LED) lamps.			✓
Features The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 6 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			✓

Construction	Show on DA Plans	Show on CC/DCD Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floors, walls, and ceiling/roofs) in accordance with the specifications listed in the table below, except that an additional insulation is not required where the area of new construction is less than 2m ² if insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction			
concrete slab on ground floor	nil	N/A	✓
external wall: brick veneer	R1.18 (or R1.70 including construction)		✓
external wall: framed (weatherboard, fibro, masonry)	R1.30 (or R1.70 including construction)		✓
flat ceiling: pitched roof	ceiling: R2.50 (up), roof: foliarising	medium (solar absorption 0.475 - 0.70)	✓

Glazing requirements	Show on DA Plans	Show on CC/DCD Plans & specs	Certifier Check
Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshading specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or polymeric low-e glass, or clear or tinted glass, or low-e or low-e argon glass must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-values and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, veranda, balcony or awning must be no more than 100 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓

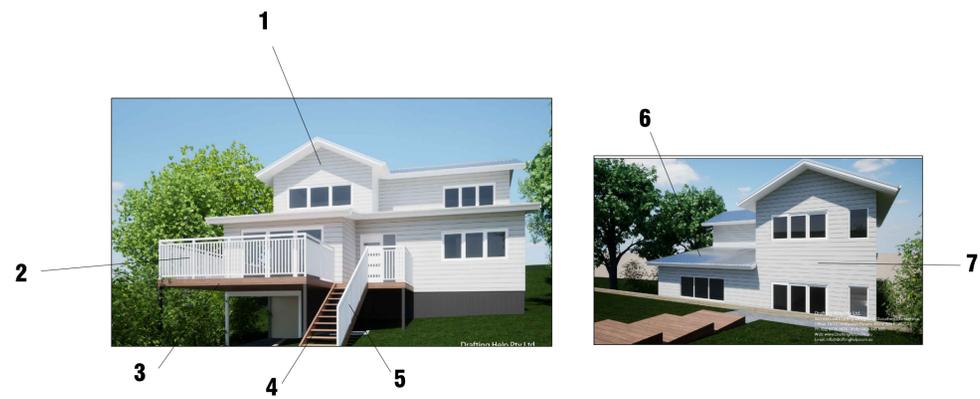
Window/door number	Orientation	Area of glass including frame (m ²)	Overshading height (m)	Overshading distance (m)	Shading device	Frame and glass type
W1	SW	4.08	0	0	none	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.68
W2	SW	3	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.68
W3	SW	1.28	0	0	eave/veranda/pergola/balcony >=900 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.68
W4	SW	3	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.68
W5	NW	1.47	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.4

Window/door number	Orientation	Area of glass including frame (m ²)	Overshading height (m)	Overshading distance (m)	Shading device	Frame and glass type
W6	NW	0.96	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.48
W7	NW	4.2	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.4
W8	NE	0.96	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.4
W9	NE	3	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.4
W10	NE	1.2	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.4

Window/door number	Orientation	Area of glass including frame (m ²)	Overshading height (m)	Overshading distance (m)	Shading device	Frame and glass type
W11	NE	3.6	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.4
W12	NE	1.2	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.4
D1	N	7.14	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.68
D2	NE	9.25	0	0	eave/veranda/pergola/balcony >=450 mm	timber or uPVC, single clear, or U-value 5.71, SHGC: 0.4

SITE PLAN SCALE 1:200

MATERIALS AND FINISHES



- ALL CLADDING IS- H3 DESIGN PINE WEATHERBOARD PROFILE 'CHAMFER' 166MM X 18MM - IN DULUX TRANQUIL RETREAT
- BALUSTRADE IN TIMBER PAINTED IN VIVID WHITE
- ALL DECKING IS 140MM HARDWOOD DECKING BOARDS
- ALL DECKING AND STAIRS HARDWOOD
- BALUSTRADE IN TIMBER PAINTED IN VIVID WHITE
- ALL ROOFING IS CORRUGATED IRON, IF LOWER THAT 5 DEGREES IN PITCH FOR LOWER FLOOR ROOFS ROOFING WILL BE TRIMDEK. ROOFING COLOURS WILL BE COLORBOND MONUMENT. ALL DOWN PIPES AND FLASHING WILL BE IN COLOUR MONUMENT
- ALL WINDOWS ARE TIMBER PAINTED IN VIVID WHITE.

SMOKE ALARMS TO COMPLY WITH AS 3786

NOTE: 1ST FLOOR WINDOWS TO BE RESTRICTED

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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 *CONNECT PIPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 - - - EXISTING BUILDING OUTLINE
 - - - PROPOSED WORK

General Notes

Project Name and Address
JESSICA L' GREEN
728 BARRENJOEY RD
AVALON BEACH
2107

Project Additions and Alterations
 Date: 27-Sep-22
 Scale: AS SHOWN

DP No. 11909
 LOT No. 53

A ISSUED FOR DA 19.01.25

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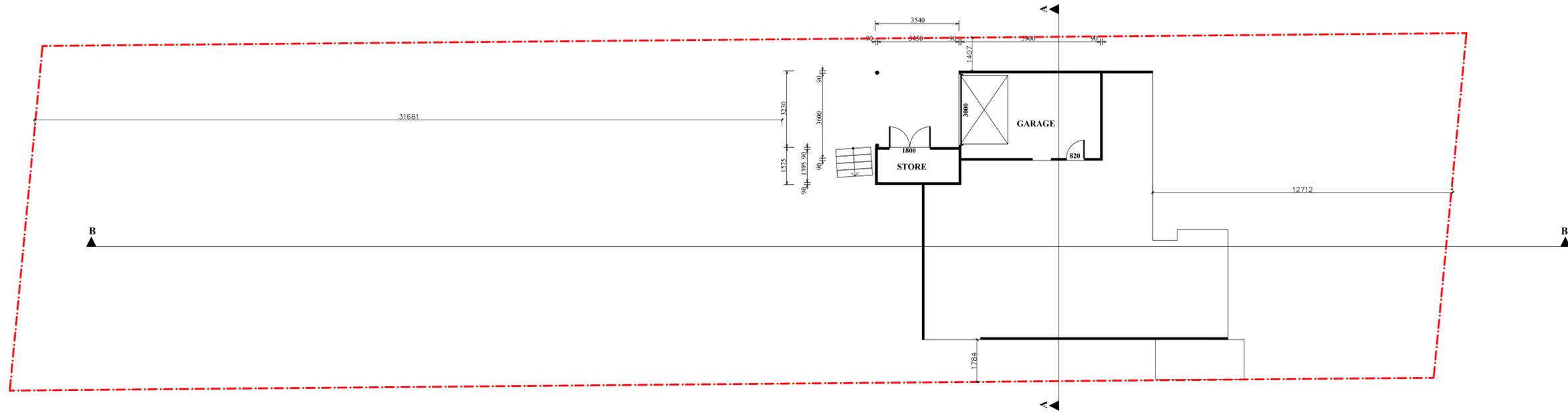
Sheet 1

DEVELOPMENT PROPOSAL

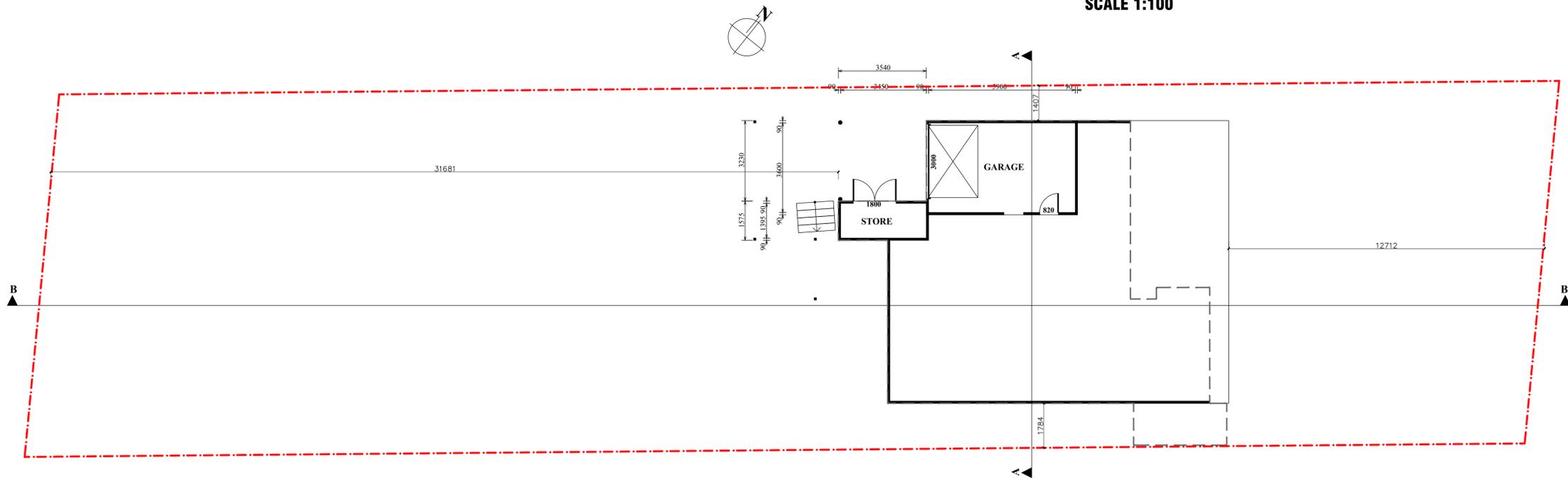
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 SITE AREA: 866.30MSQ.
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NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- SMOKE ALARMS TO COMPLY WITH AS 3786



LOWER FLOOR PLAN - EXISTING
 SCALE 1:100



LOWER FLOOR PLAN - PROPOSED
 SCALE 1:100

GENERAL NOTES
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 AVALON BEACH
 2107**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
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 COUNCIL COMPLIANT PLANS

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- PROPOSED WORK

General Notes

Project Addition and Alteration
 Date: 27-Sep-22
 Scale: AS SHOWN

Sheet **2**

DP No. 11909
 LOT No. 53

No.	Revision/Issue	Date
A	ISSUED FOR DA	10.01.25

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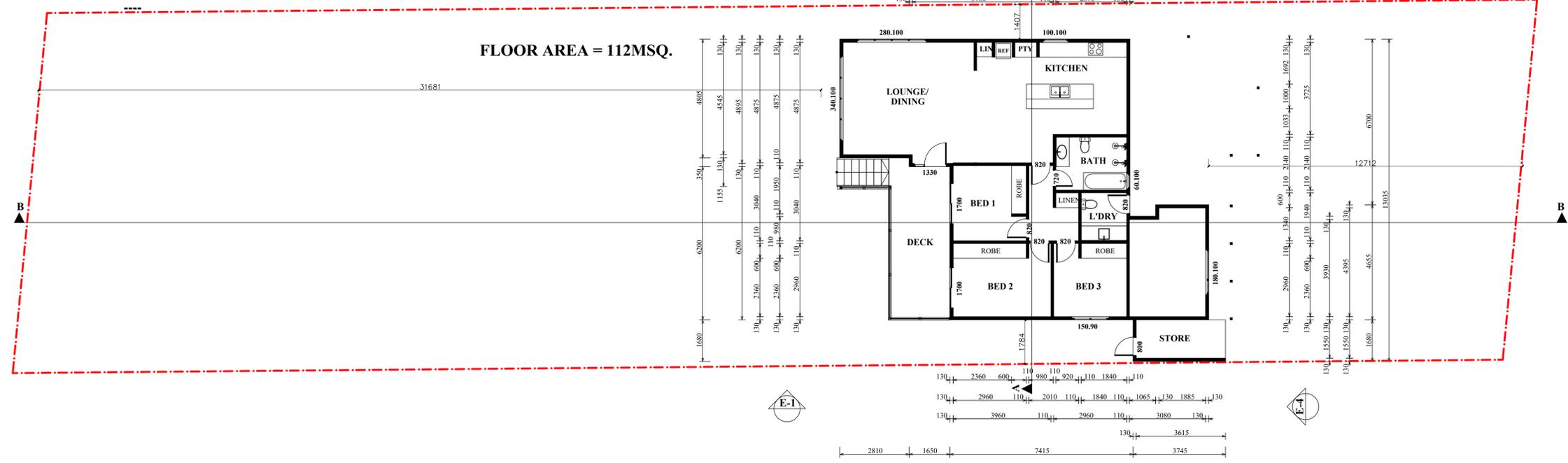
Project Name and Address
JESSICA L' GREEN
 728 BARRENJOEY RD
 AVALON BEACH
 2107

DEVELOPMENT PROPOSAL

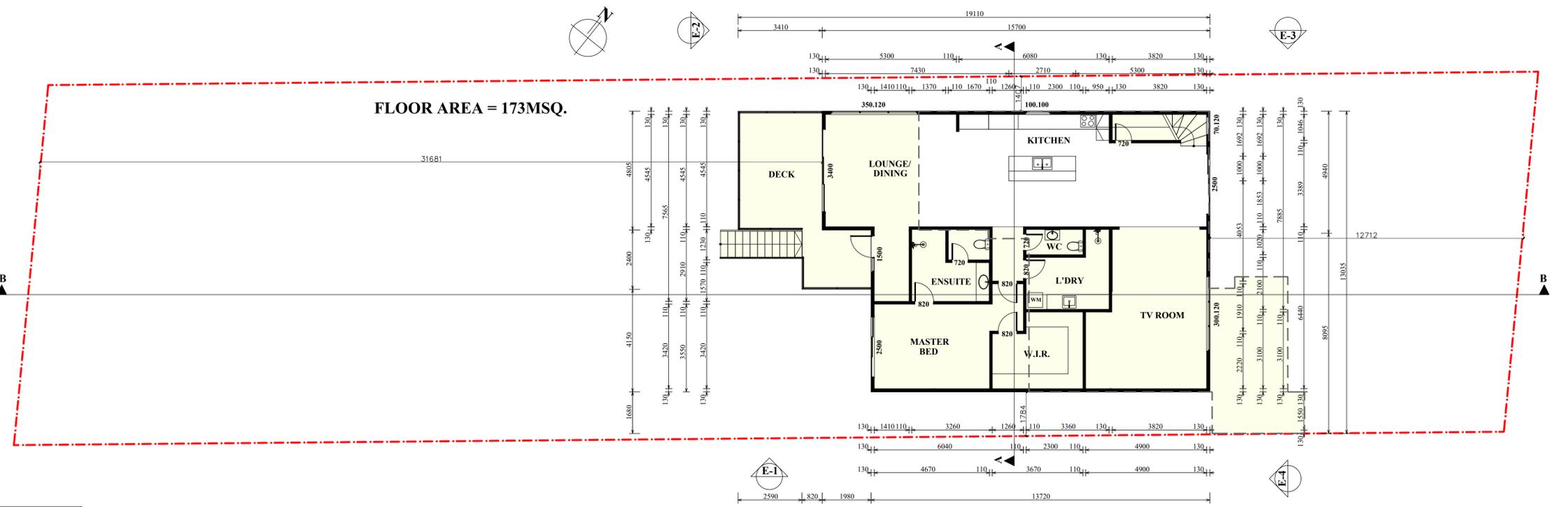
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NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786



GROUND FLOOR PLAN - EXISTING
 SCALE 1:100



GROUND FLOOR PLAN - PROPOSED
 SCALE 1:100

GENERAL NOTES
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**728 BARRENJOEY RD
 AVALON BEACH
 2107**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes

Project Addition and Alteration
 Date: 27-Sep-22
 Scale: AS SHOWN

Sheet **3**

DP No. 11909
 LOT No. 53

No.	Revision/Issue	Date
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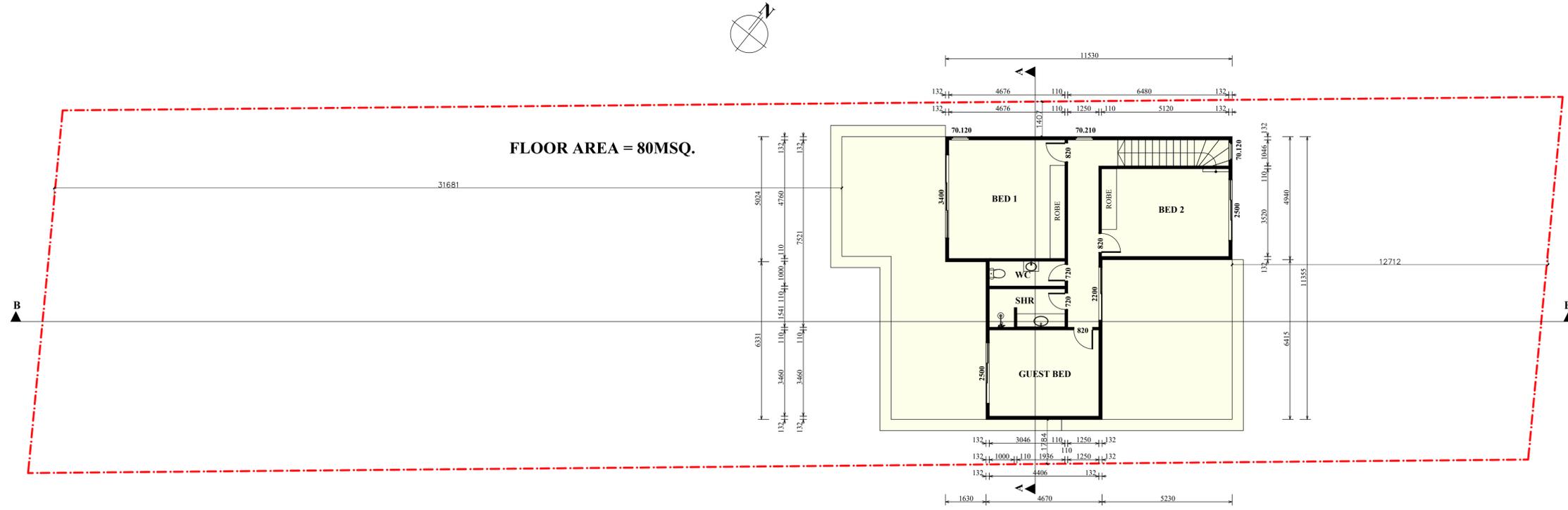
Project Name and Address
JESSICA L' GREEN
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AVALON BEACH
2107

DEVELOPMENT PROPOSAL

DP: **11909**
 LOT No. **53**
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NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 - - - - - EXISTING BUILDING OUTLINE
 - - - - - PROPOSED WORK
 * SMOKE ALARMS TO COMPLY WITH AS 3786



1ST FLOOR PLAN - PROPOSED
SCALE 1:100

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ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 - - - - - EXISTING BUILDING OUTLINE
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General Notes

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Project Additions and Alterations	Sheet
Date: 27-Sep-22	4
Scale: AS SHOWN	

DP No. **11909**
 LOT No. **53**

No.	Revision/Issue	Date
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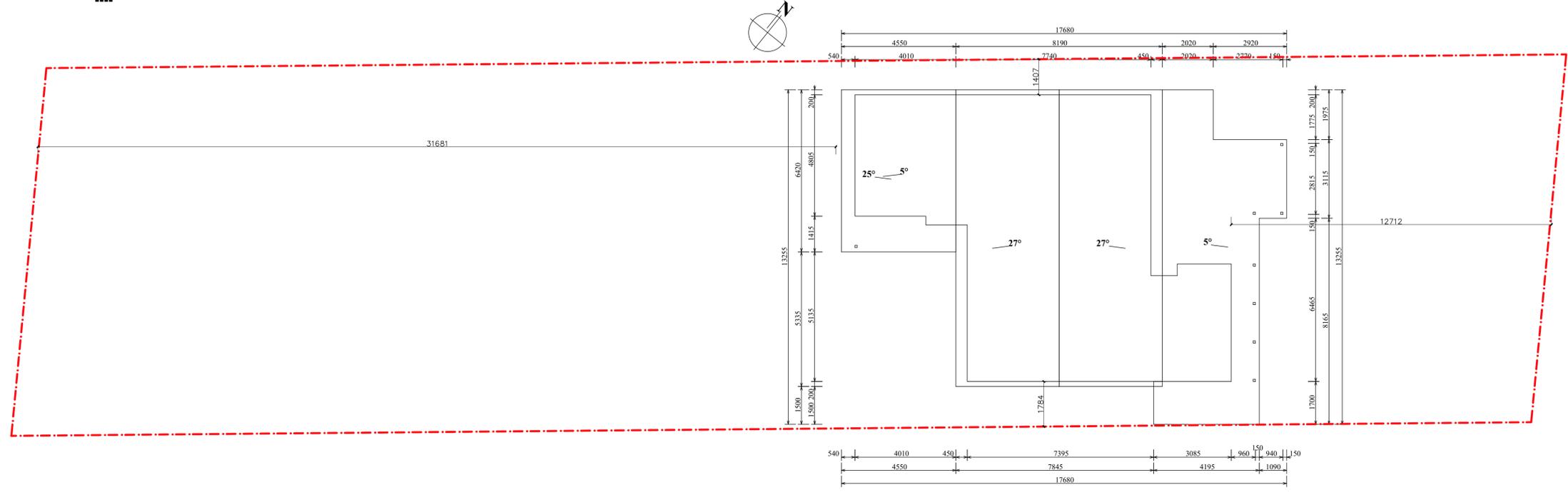
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DEVELOPMENT PROPOSAL

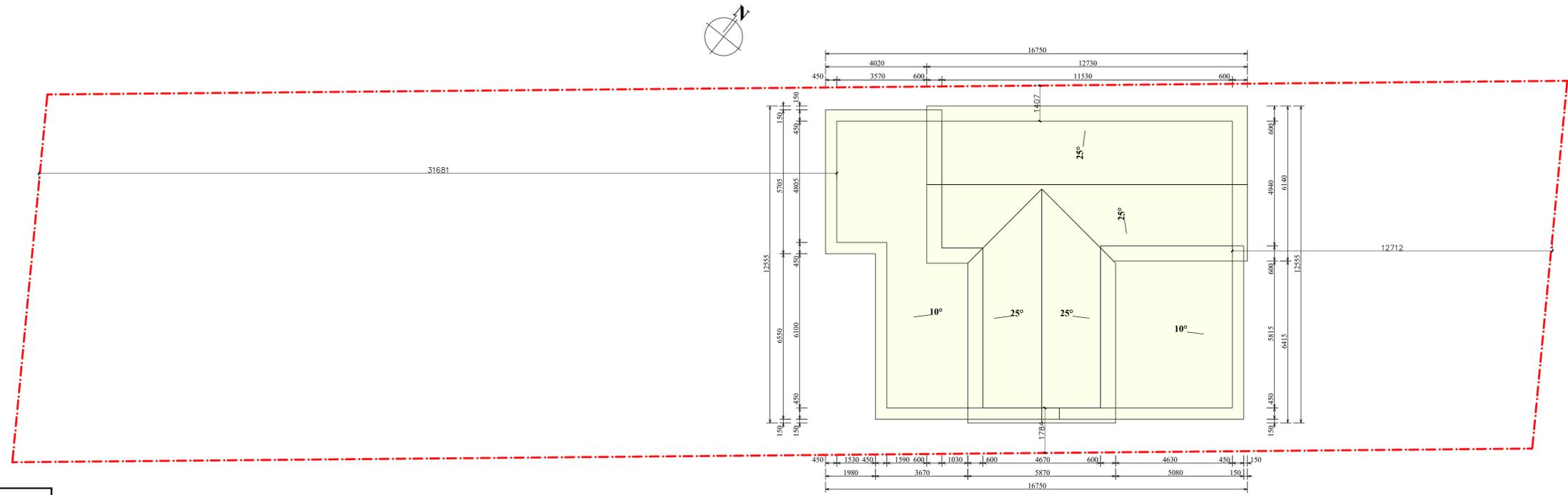
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NEW FRONT DECK AND ENTRY

LEGEND:
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 --- SMOKE ALARMS TO COMPLY WITH AS 3786



ROOF PLAN - EXISTING
 SCALE 1:100



ROOF PLAN - PROPOSED
 SCALE 1:100

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ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- PROPOSED WORK

General Notes

Project Addition and Alteration
 Date: 27-Sep-22
 Scale: AS SHOWN

Sheet **5**

DP No. **11909**
 LOT No. **53**

No.	Revision/Issue	Date
A	ISSUED FOR DA	10.01.25

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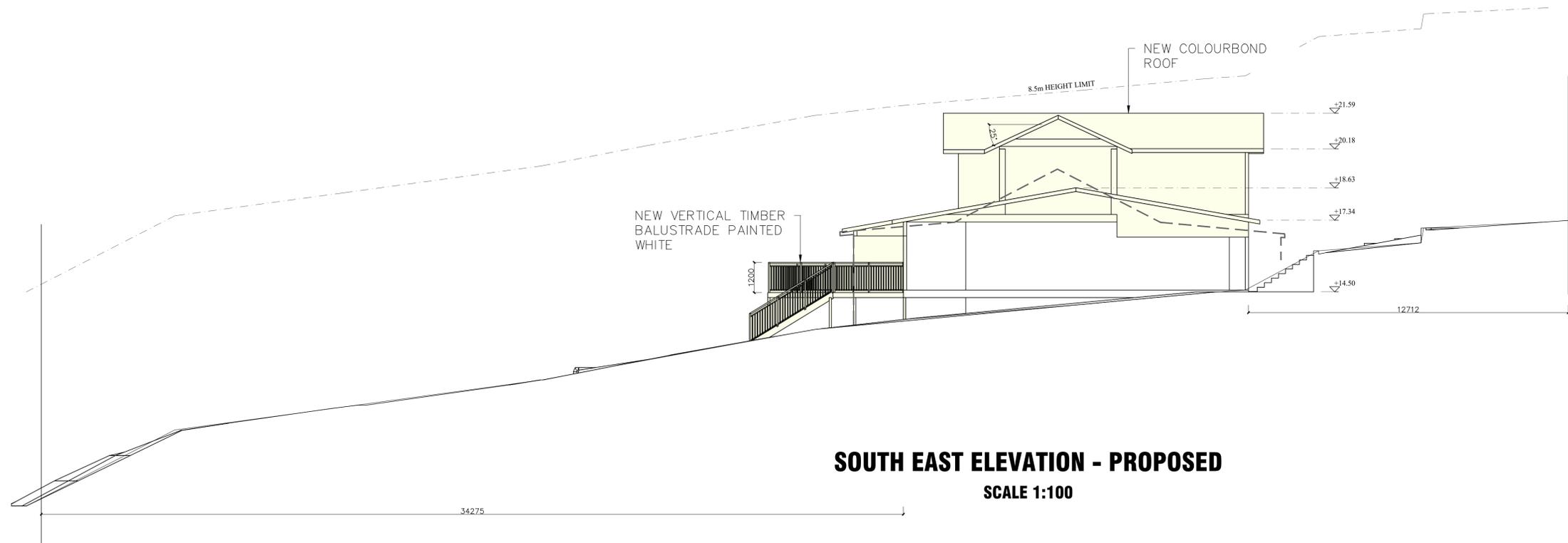
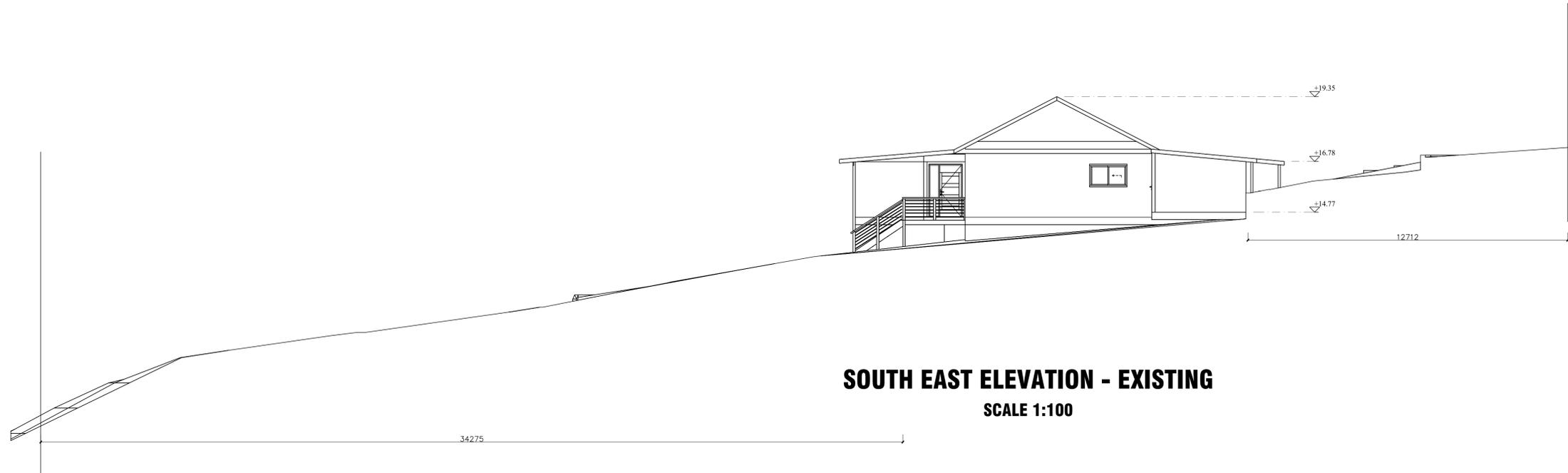
Project Name and Address
JESSICA L' GREEN
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DEVELOPMENT PROPOSAL

DP: **11909**
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NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- SMOKE ALARMS TO COMPLY WITH AS 3786
 ☆



GENERAL NOTES
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**728 BARRENJOEY RD
 AVALON BEACH
 2107**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- PROPOSED WORK
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Project Additions and Alterations
 Date: 27-Sep-22
 Scale: AS SHOWN
 Sheet: **6**

DP No. **11909**
 LOT No. **53**

A ISSUED FOR DA 10.01.25
 No. Revision/Issue Date

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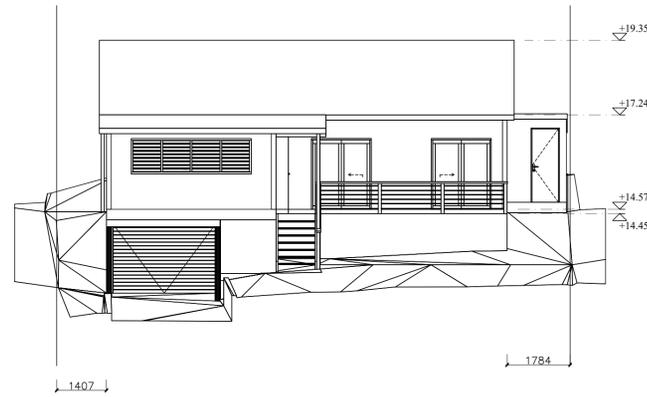
Project Name and Address
JESSICA L' GREEN
728 BARRENJOEY RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL

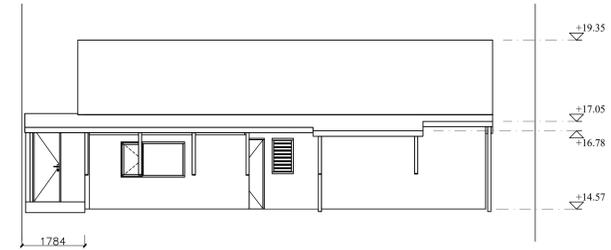
DP: **11909**
 LOT No. **53**
 SITE AREA: **866.30MSQ.**
 EXIST. GFA: **112.00MSQ.**
 PROPOSED GFA: **253.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- SMOKE ALARMS TO COMPLY WITH AS 3786
 ☆



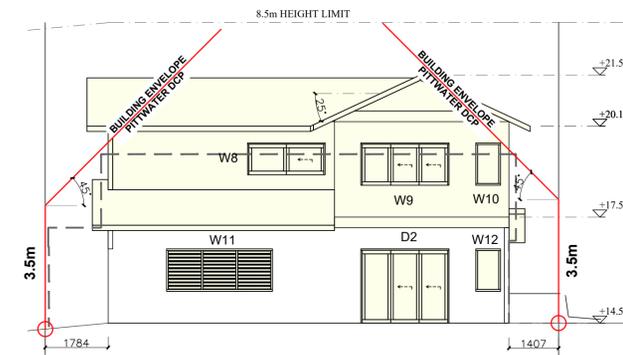
SOUTH WEST ELEVATION - EXISTING
 SCALE 1:100



NORTH EAST ELEVATION - EXISTING
 SCALE 1:100



SOUTH WEST ELEVATION - PROPOSED
 SCALE 1:100



NORTH EAST ELEVATION - PROPOSED
 SCALE 1:100

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS
 *CONNECT UPS TO EXISTING STORMWATER SYSTEM
 ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- PROPOSED WORK
 General Notes

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Project Addition and Alteration	Sheet
Date 27-Sep-22	7
Scale AS SHOWN	

DP No. **11909**

LOT No. **53**

A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

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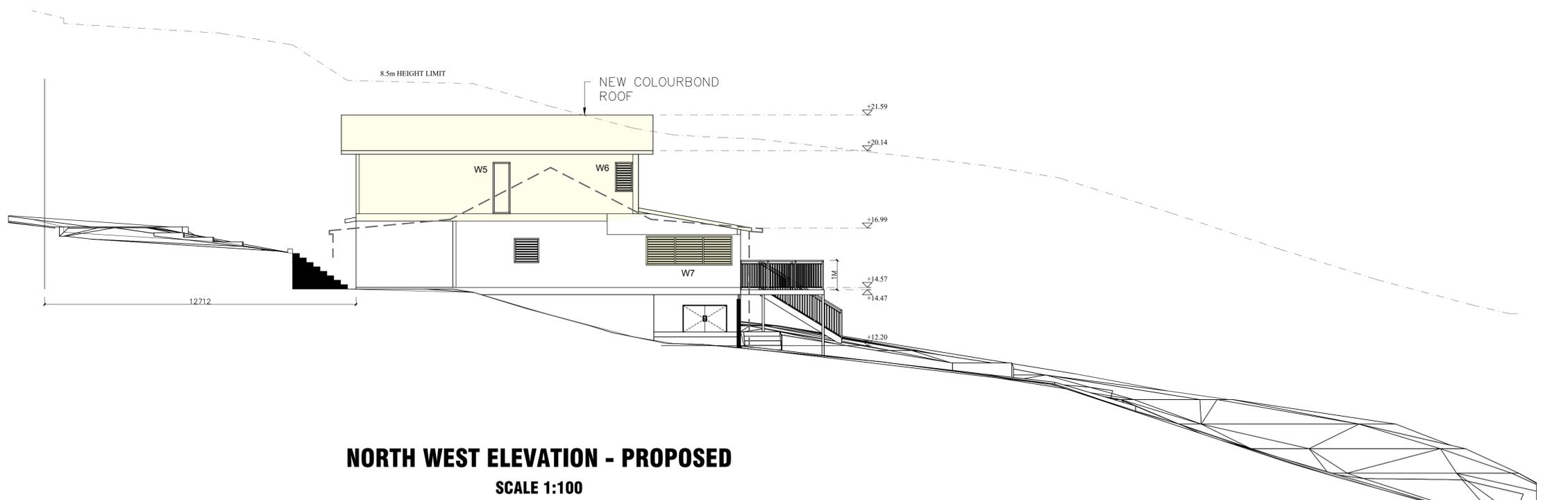
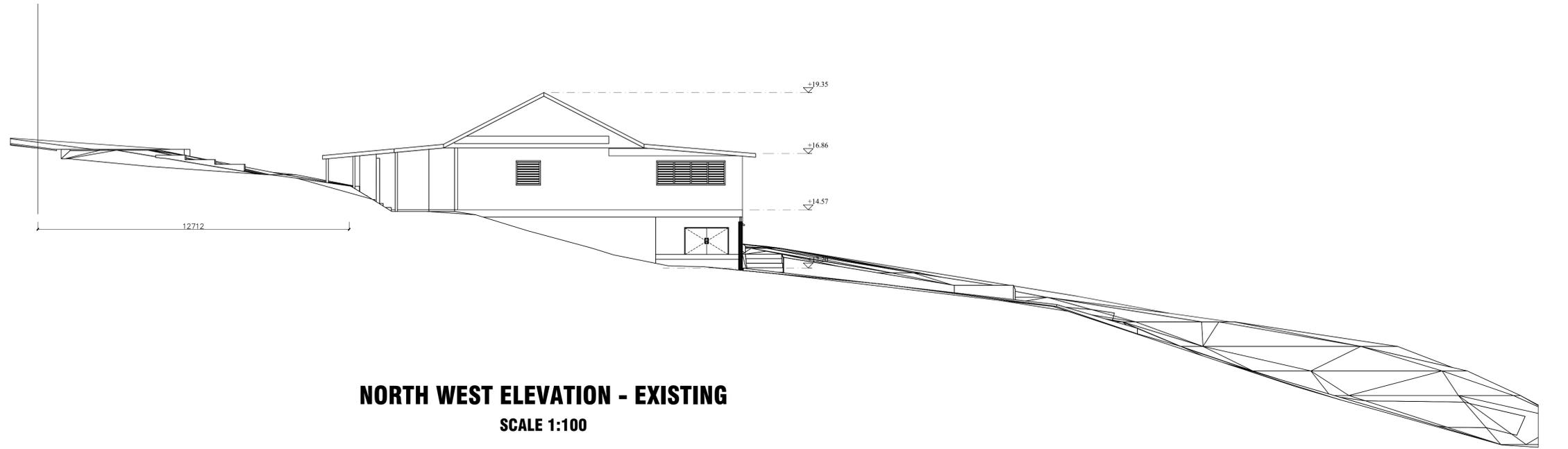
Project Name and Address
JESSICA L' GREEN
728 BARRENJOEY RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL

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INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
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GENERAL NOTES
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 AVALON BEACH
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ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
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 --- PROPOSED WORK
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Project Addition and Alteration
 Date: 27-Sep-22
 Scale: AS SHOWN
 Sheet: **8**

DP No. **11909**
 LOT No. **53**

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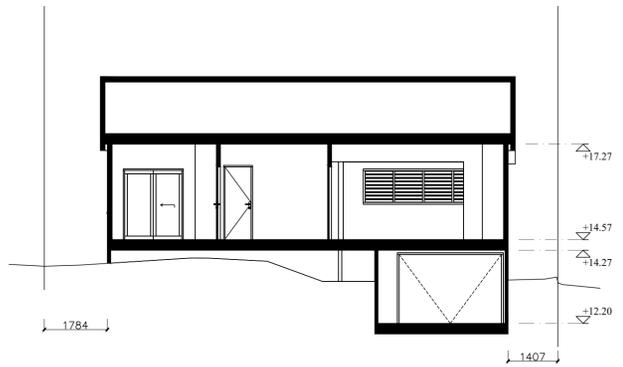
Project Name and Address
JESSICA L' GREEN
728 BARRENJOEY RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL

DP: **11909**
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NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- SMOKE ALARMS TO COMPLY WITH AS 3786
 ☆



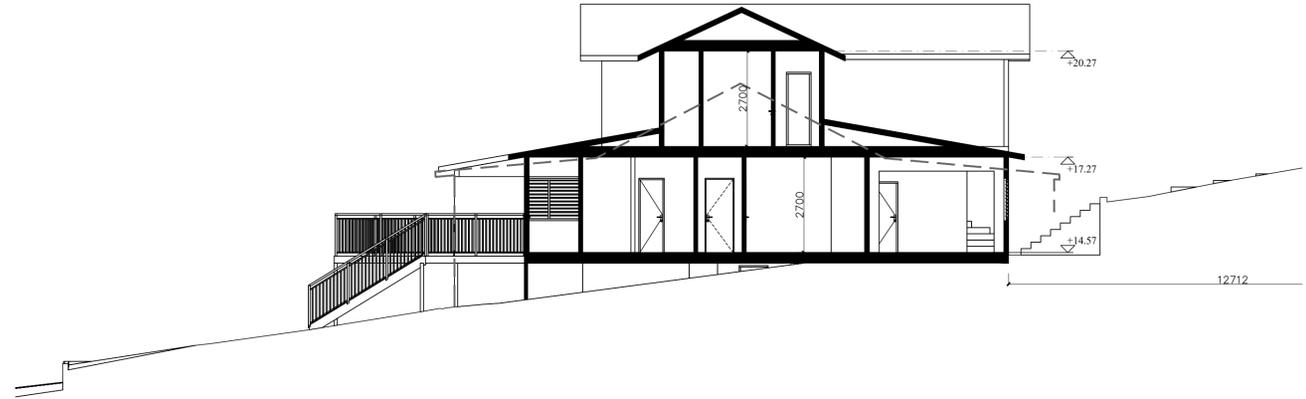
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 SCALE 1:100



SECTION - EXISTING
 SCALE 1:100



SECTION - PROPOSED
 SCALE 1:100



SECTION - PROPOSED
 SCALE 1:100

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ARCHITECTURAL DRAFTING
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LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- PROPOSED WORK

General Notes

Project Additions and Alterations
 Date: 27-Sep-22
 Scale: AS SHOWN

Sheet **9**

DP No. **11909**
 LOT No. **53**

No.	Revision/Issue	Date
A	ISSUED FOR DA	10.01.25

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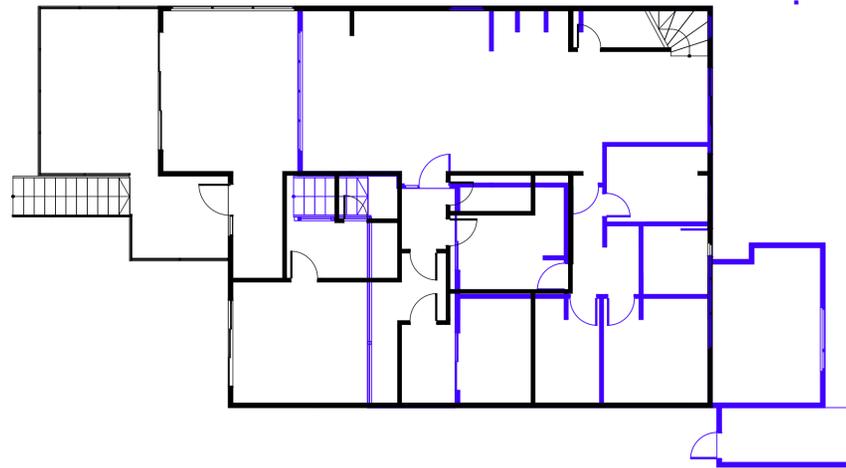
Project Name and Address
JESSICA L' GREEN
728 BARRENJOEY RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL

DP: **11909**
 LOT No. **53**
 SITE AREA: **866.30MSQ.**
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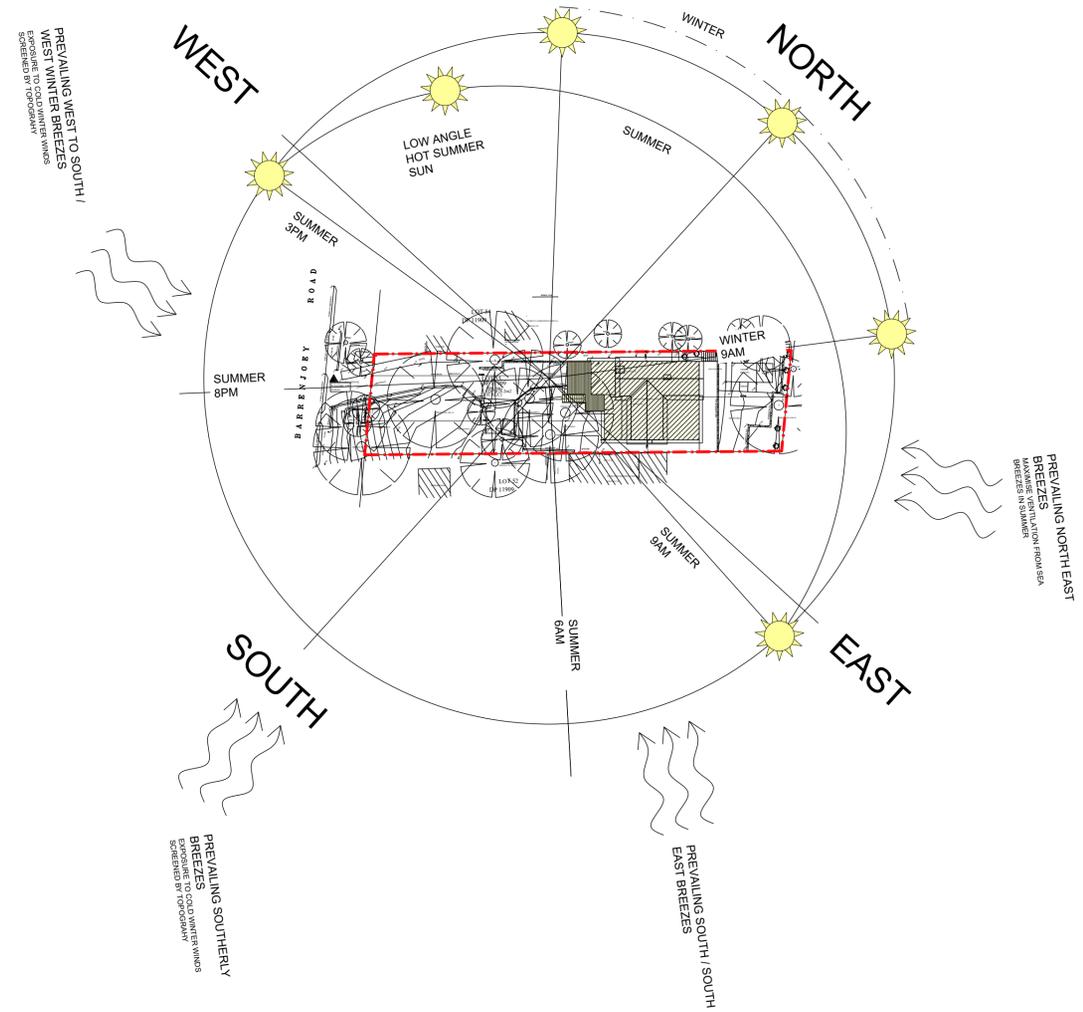
NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- SMOKE ALARMS TO COMPLY WITH AS 3786
 ☆



GROUND FLOOR DEMO PLAN
 SCALE 1:100

LEGEND:
 ■ EXISTING WORKS TO BE REMOVED



SITE ANALYSIS PLAN
 SCALE NTS

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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ARCHITECTURAL DRAFTING
 3D VISUALISATION
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LEGEND:
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Project Additions and Alterations
 Date: 27-Sep-22
 Scale: AS SHOWN
 Sheet: **10**

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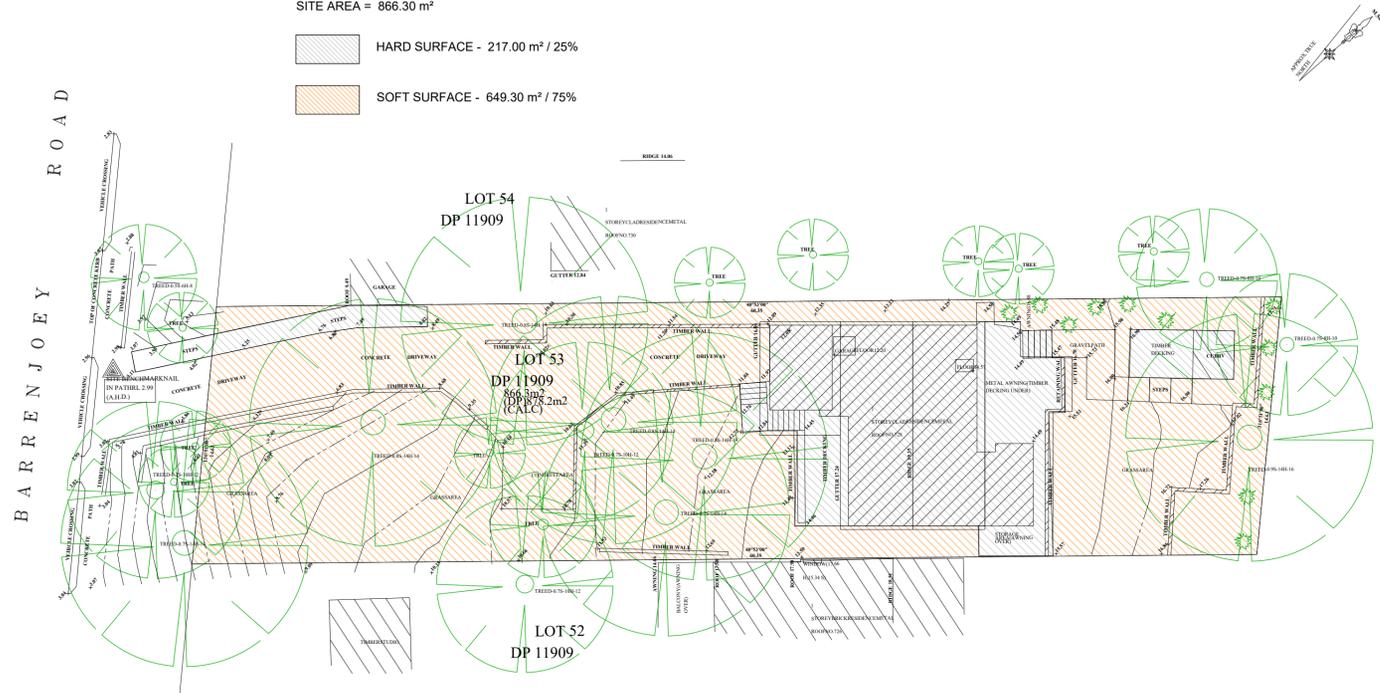
DEVELOPMENT PROPOSAL

DP: 11909
 LOT No. 53
 SITE AREA: 866.30MSQ.
 EXIST. GFA: 112.00MSQ.
 PROPOSED GFA: 253.00MSQ
 MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

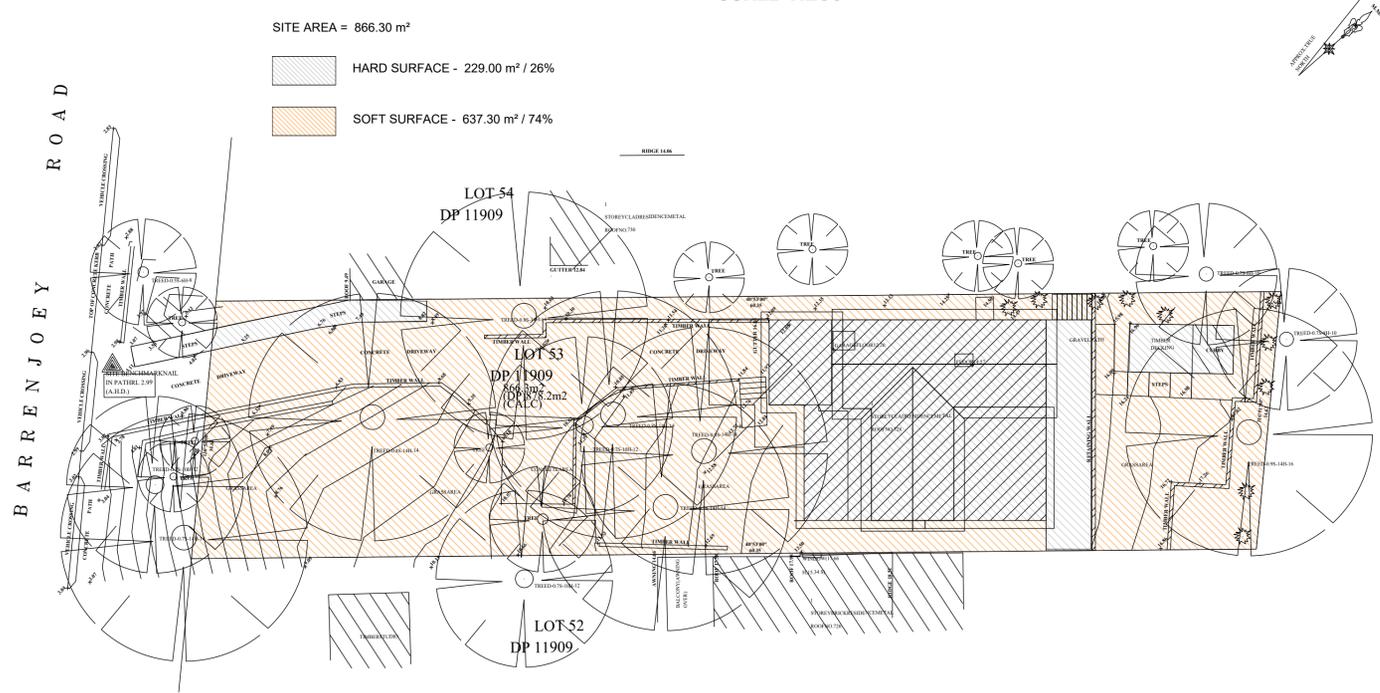
LEGEND:
 --- EXISTING BUILDING OUTLINE
 * SMOKE ALARMS TO COMPLY WITH AS 3786

SITE AREA = 866.30 m²
 HARD SURFACE - 217.00 m² / 25%
 SOFT SURFACE - 649.30 m² / 75%



LANDUSE DIAGRAM - EXISTING
 SCALE 1:200

SITE AREA = 866.30 m²
 HARD SURFACE - 229.00 m² / 26%
 SOFT SURFACE - 637.30 m² / 74%



LANDUSE DIAGRAM - PROPOSED
 SCALE 1:200

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ARCHITECTURAL DRAFTING
 3D VISUALISATION
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LEGEND:
 --- EXISTING BUILDING OUTLINE
 --- PROPOSED WORK

General Notes

Project Name and Address
JESSICA L' GREEN
728 BARRENJOEY RD
AVALON BEACH
2107

Project Addition and Alteration
 Date: 27-Sep-22
 Scale: AS SHOWN

Sheet **10**

DP No. 11909
 LOT No. 53

No.	Revision/Issue	Date
A	ISSUED FOR DA	10.01.25

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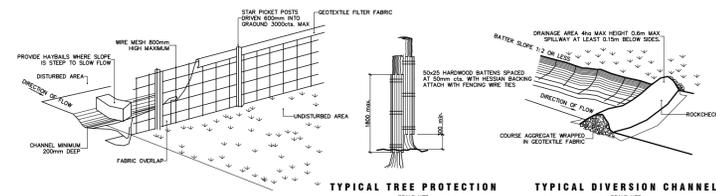
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INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

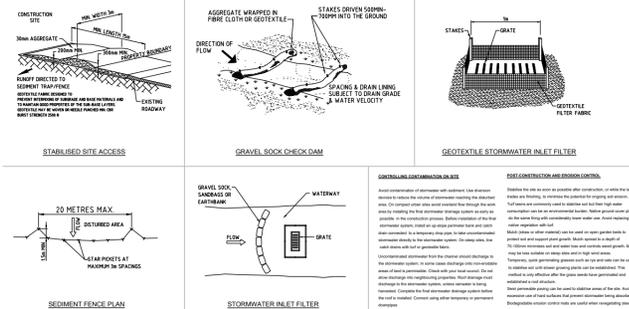


Designated Site Manager/Builder
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

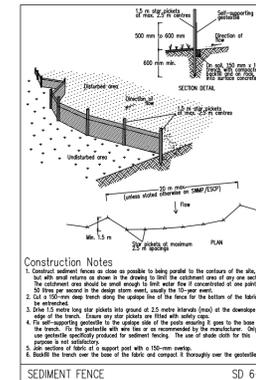
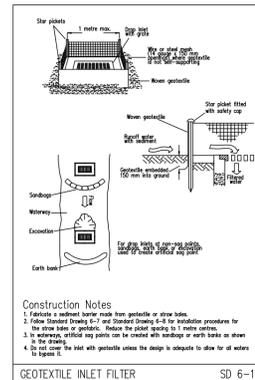
Topsoil Management
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

Building Material Stockpiling
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

Sediment Fences
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.



SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS



Vehicle Movements
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

Sediment Traps
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

Diversion Channels
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

Erosion & Sediment Controls
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

Dust Control
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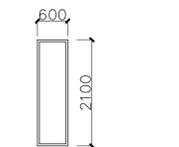
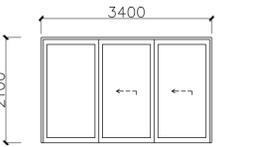
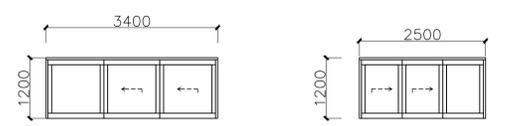
Gravel Sock
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

Stormwater Inlet Filter
 MUST BE COMPLETED BY THE DESIGNER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE DESIGNER OR ARCHITECT MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

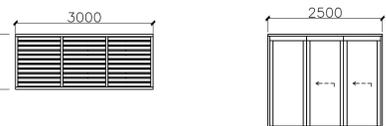
Sediment Fence
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NEW WINDOWS AND DOORS FOR BASIX

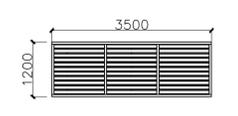
SOUTH WEST ELEVATION



NORTH EAST ELEVATION

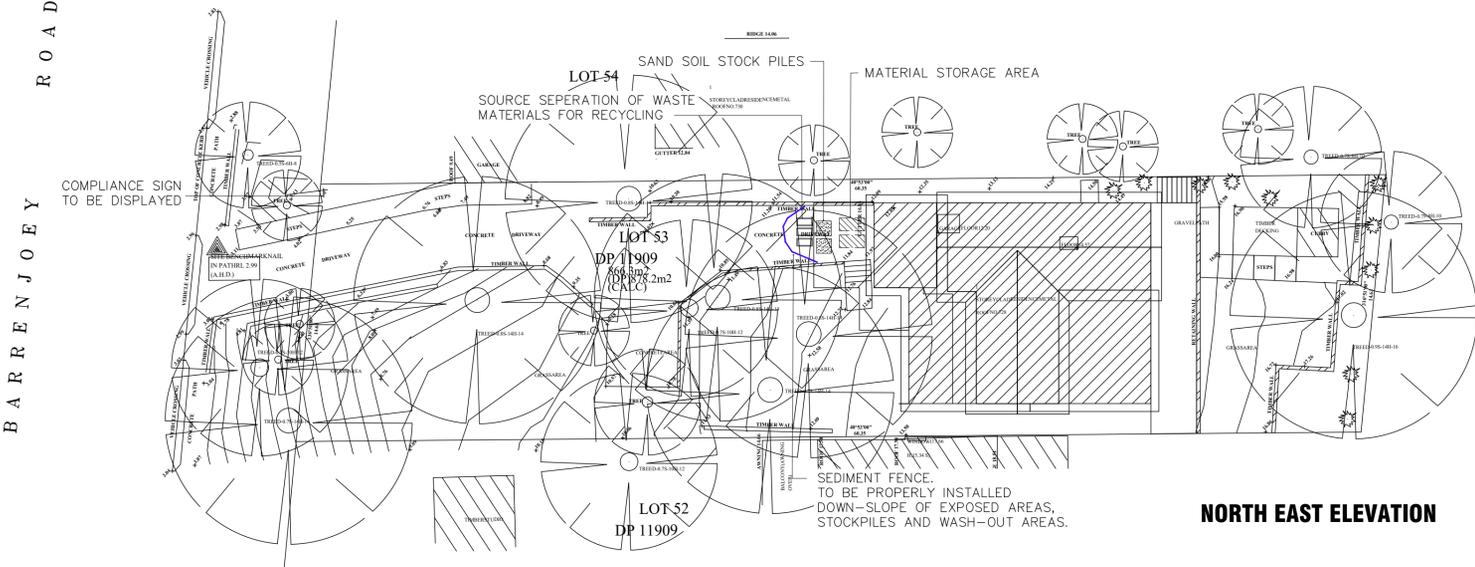


NORTH WEST ELEVATION



SEDIMENT & EROSION PLAN

SCALE 1:200



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NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING

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ARCHITECTURAL DRAFTING
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LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

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Project Additions and Alterations
 Date: 22-Sep-22
 Scale: AS SHOWN

Sheet: **11**

DP No. 11909
 LOT No. 53

A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

DRAFTING HELP PTY LTD
 18/12-14 WARATAH ST
 MONA VALE 2103
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 02 8778 3474

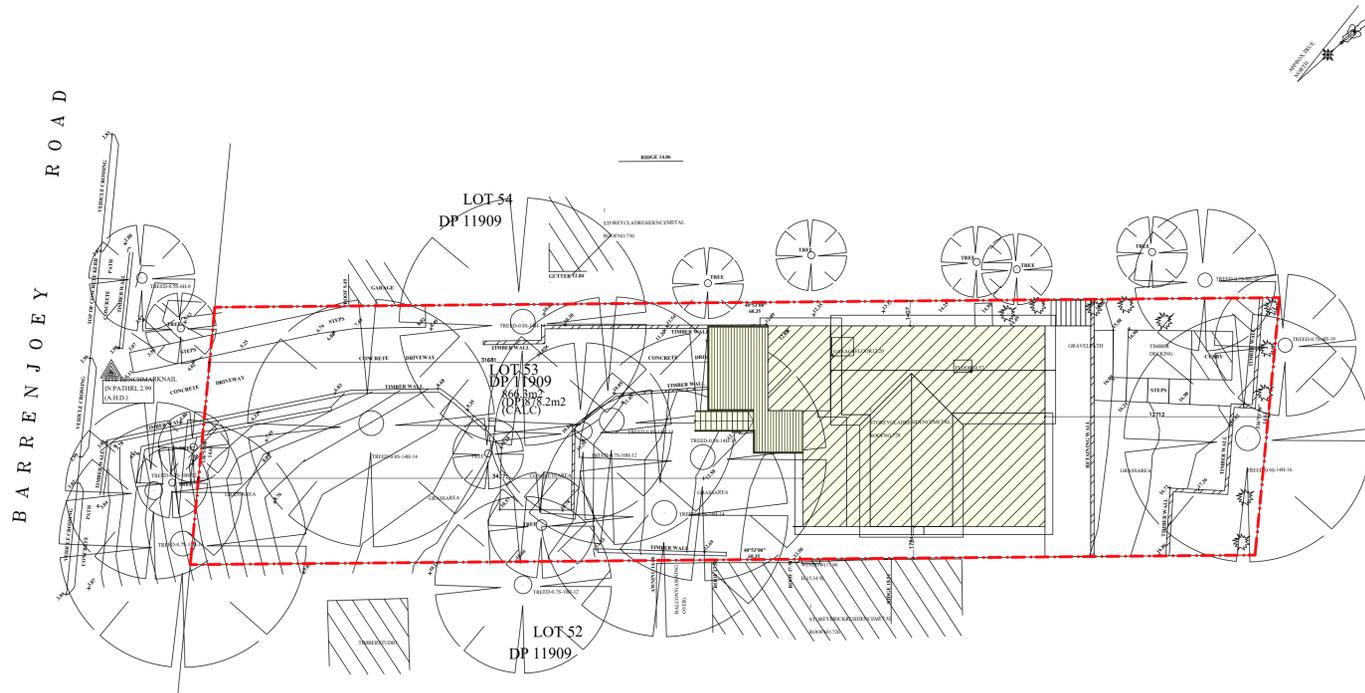
Project Name and Address
JESSICA L' GREEN
728 BARRENJOEY RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL

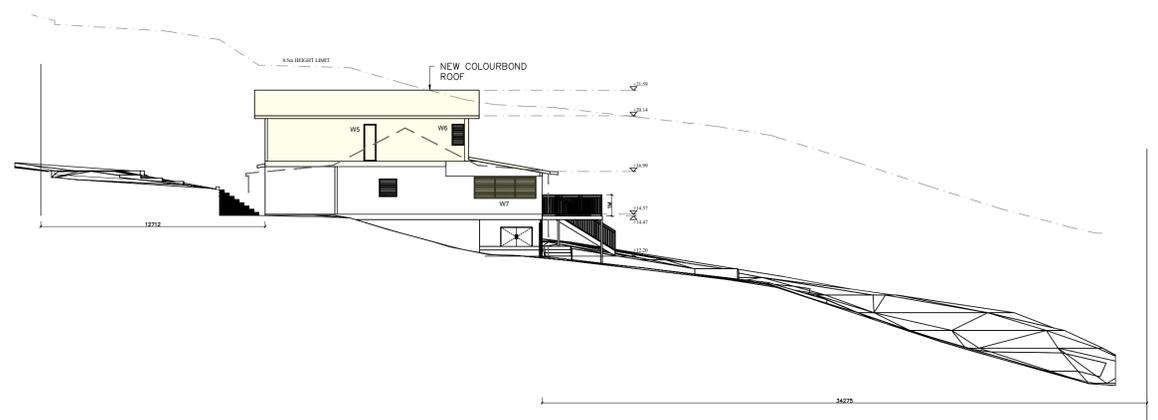
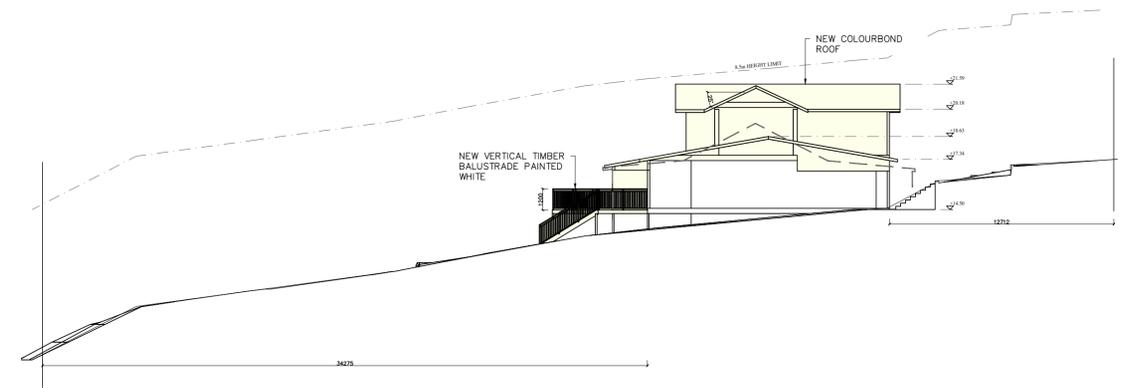
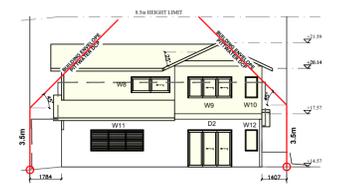
DP: 11909
 LOT No. 53
 SITE AREA: 866.30MSQ.
 EXIST. GFA: 112.00MSQ.
 PROPOSED GFA: 253.00MSQ
 MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786



NOTIFICATION PLAN



GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS
 *CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**728 BARRENJOEY RD
 AVALON BEACH
 2107**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes

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Project Additions and Alterations	Sheet
Date: 22-Sep-22	12
Scale: AS SHOWN	

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