




Reference number 2912

Member of the Fire Protection Association of Australia

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## **Lot 138, DP 16902, 35a Plateau Road, Avalon Beach, NSW 2107.**

Sunday, 19 July 2020

Prepared and certified by:	Matthew Willis <b>BPAD – Level 3 Certified Practitioner</b> Certification No: BPD-PA 09337		19/07/2020 14/09/2021
Can this proposal comply with AS3959-2018 (inc section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019)?	<b>Yes</b>		
What is the recommended AS 3959-2018 level of compliance?	<b>BAL-FZ</b>		
Is referral to the RFS required?	<b>Yes</b>		
Can this development comply with the requirements of PBP?	<b>Yes</b>		
Plans by "Barker Architects" (Appendix 1) dated.	<b>14/7/21</b>		

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# **Bushfire Risk Assessment**

***Sunday, 19 July 2020***

## **Contact**

*Jess and Phill Nosworthy*

*35a Plateau Road*

*Avalon Beach NSW 2107*

## **Subject Property**

*Lot 138, DP 16902*

*35a Plateau Road*

*Avalon Beach NSW 2107*

## BUSHFIRE RISK ASSESSMENT CERTIFICATE

**THIS FORM IS TO BE COMPLETED BY A RECOGNISED CONSULTANT IN BUSHFIRE RISK ASSESSMENT IN ACCORDANCE WITH SECTION 79BA 1(b) OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 NO 203**

Property Address	Lot 138, DP 16902, number 35a Plateau Road Avalon Beach
Description of the Proposal	Alterations and additions to an existing dwelling
Plan Reference	14/7/21
BAL Rating	BAL-FZ
Does the Proposal Rely on Alternate Solutions?	<b>Yes</b>

**I, Matthew Willis of Bushfire Planning Services Pty Ltd** have carried out a bushfire risk assessment on the above-mentioned proposal and property. A detailed Bushfire Assessment Report is attached which includes the submission requirements set out in Appendix 4 of Planning for Bushfire Protection 2006 together with recommendations as to how the relevant Specifications and requirements are to be achieved.

I hereby certify, in accordance with Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203:

1. That I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment; and
2. That subject to the recommendations contained in the attached Bushfire Risk Assessment Report the proposed development conforms to the relevant specifications and requirements\*

\*The relevant specifications and requirements being specifications and requirements of the document entitled Planning for Bush Fire Protection prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other document as prescribed by Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203.

I am aware that the Bushfire Assessment Report, prepared for the above-mentioned site is to be submitted in support of a development application for this site and will be relied upon by Pittwater Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with Planning for Bushfire Protection 2006.

<b>REPORT REFERENCE</b>	<i>Sunday, 19 July 2020</i>
<b>REPORT DATE</b>	<i>Sunday, 19 July 2020</i>
<b>CERTIFICATION NO/ACCREDITED SCHEME</b>	<i>FPAF BPAD A BPD-PA 09337</i>

### Attachments:

- Bushfire Risk Assessment Report
- Recommendations

**SIGNATURE:** ---  ----- **DATE:** -----Sunday, 19 July 2020

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# 1 Executive Summary.

Bushfire Planning Services has been requested by Jess and Phill Nosworthy to supply a bushfire compliance report on lot 138, DP 16902, 35a Plateau Road, Avalon Beach.

The works proposed for the subject lot are for the alterations and additions to an existing dwelling, see attached plans for details.

The subject lot is a battle-axe lot on the southern side of Plateau Road and at its closest point to the hazard the proposed new work has a separation distance to the west of approximately 1.54m.

The vegetation that is considered to be the hazard to this proposal is situated on land that slopes down slope away from the property at an angle of approximately 1.34° deg.

For the purposes of this assessment this vegetation is considered to be Forest.

The remaining vegetation within the study area is contained within the boundaries of established allotments and is managed land and of low threat to this proposal.

The calculations and assumptions outlined in this report show that the development will be required to comply with the construction requirements of AS 3959-2018 BAL-FZ and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

It should be noted that the proposal has virtually no separation distance to the undeveloped land to the west. To provide for defendable space it is strongly suggested that the neighbouring land manager should clear and manage a minimum 6 to 10m wide strip of land along the hazard/lot interface as Defendable Space.

The following table is a summary of the pertinent findings of this assessment.

Aspect	North	East	South	West
<b>Vegetation type</b>	Managed land	Managed land	Managed land/forest	Forest
<b>Slope</b>	N/A	N/A	10-15 degrees downslope	0-5 degrees downslope
<b>Setback within lot 138</b>	N/A	N/A	9.25m	1.540m
<b>Setback outside lot 138</b>	N/A	N/A	17.0m	0m
<b>Total setback</b>	N/A	N/A	26.25m	1.54m
<b>Bal level</b>	N/A	N/A	F/Z	F/Z
<p><i>Note: The above table is a summary of the significant variables used to determine the highest BAL for this proposal. THIS TABLE IS NOT INTENDED FOR CONSTRUCTION! Only the highest BAL level is shown, aspects marked as N/A will still have a BAL. Refer to section 11 for construction requirements for these other aspects.</i></p>				

## 2 General.

---

This proposal relates to the alterations and additions to an existing dwelling on the subject lot and its ability to comply with the rules and regulations for building in a bushfire prone area.

The methodology used on this report is based on Planning for Bushfire Protection 2019 (PBP) as published by the New South Wales Rural Fire Service.

Any wording that appears in *blue italics* is quotes from Planning for Bushfire Protection 2019. Some of the measurements used in this report have been taken from aerial photographs and as such are approximate only.

## 3 Block Description.

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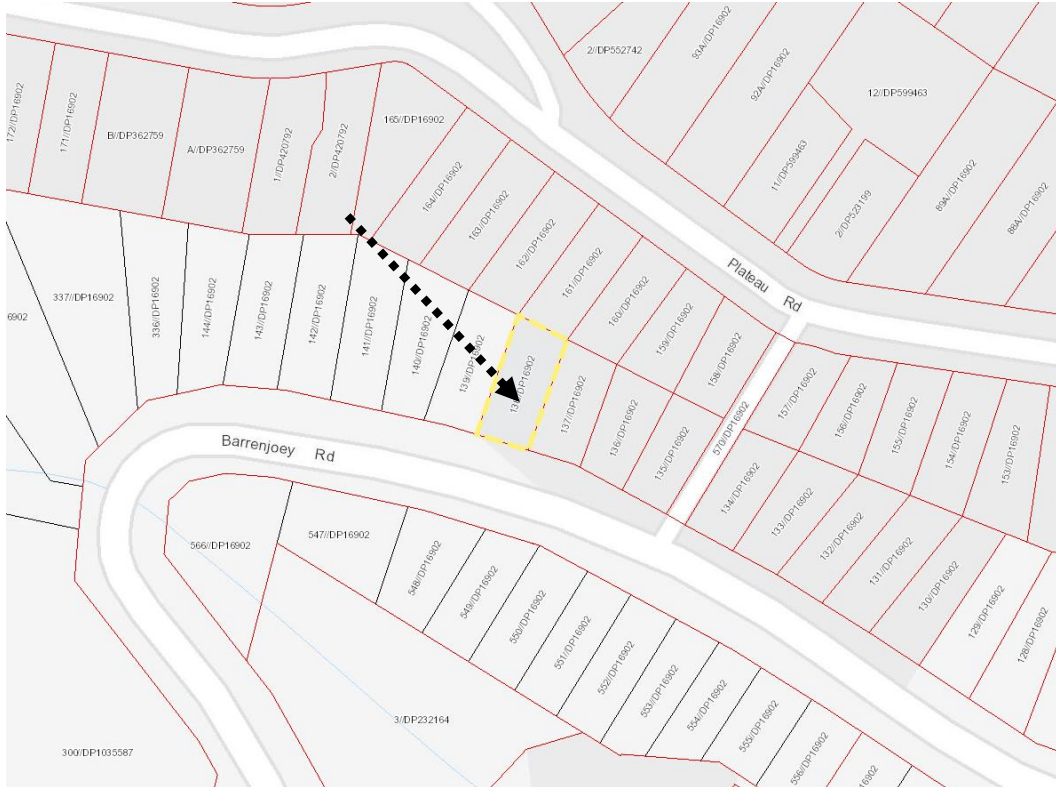
The subject block is situated on the southern side of Plateau Road in an established area of Avalon Beach.

The lot currently contains a single-level class 1 dwelling.

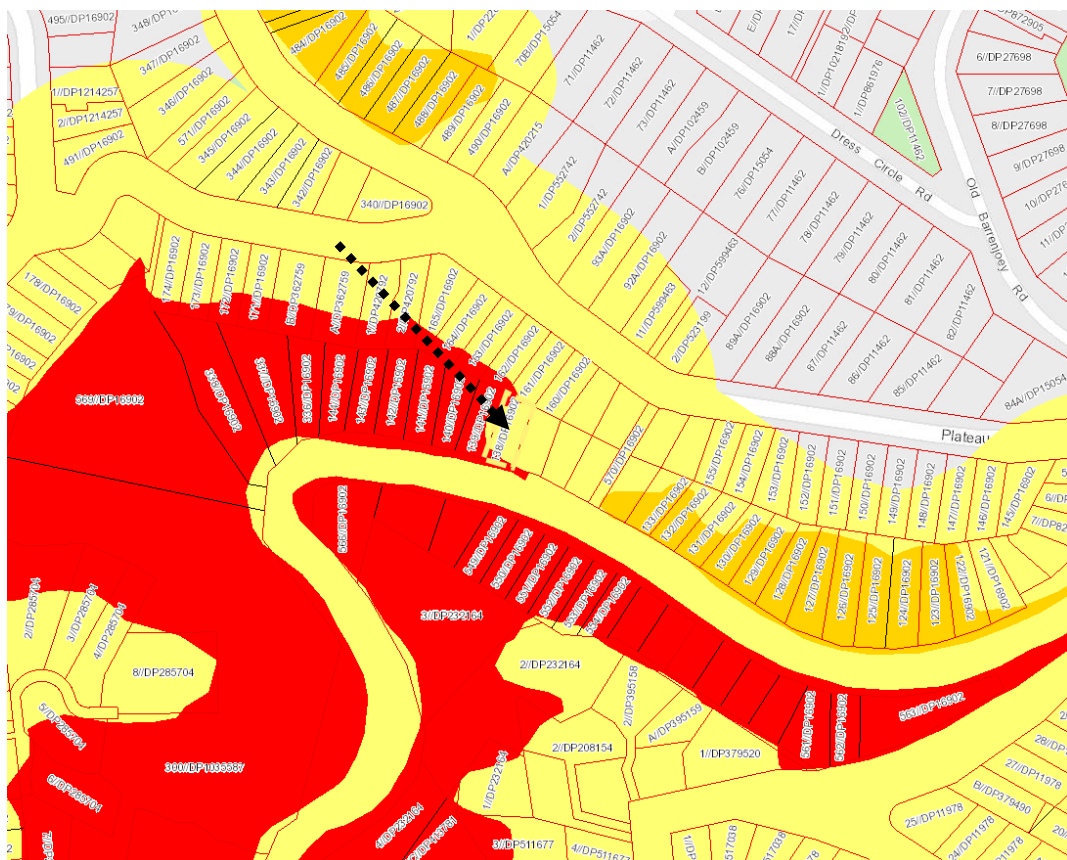
There is mapped hazard to the west, south and east of the lot.

- Lot; 138
- DP; 16902.
- LGA; Pittwater.
- Area; 519.8m<sup>2</sup>.
- Address; 35a Plateau Road, Avalon Beach.

*This section has been left blank.*



Map 1 shows the cadastral layout around the subject lot.



Map 2 is an extract from the councils' bushfire prone land map. The map shows lot 138 to be within the buffer zone of category 1 bushfire vegetation.



## 4 Vegetation.

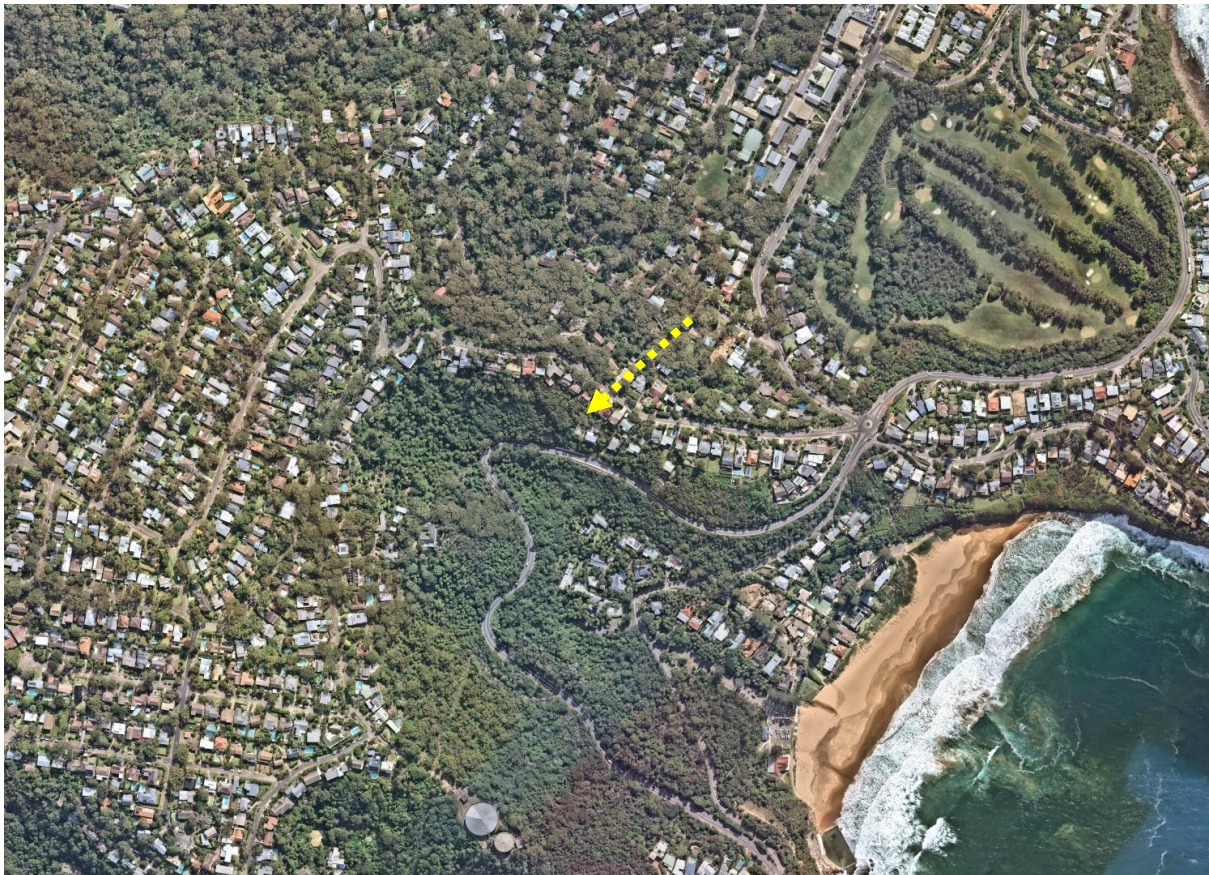
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The study area for the vegetation is 140m surrounding the subject block.

The vegetation within the study area for this development is considered to be largely managed land.

The major potential hazard to this development is the vegetation within an area of undeveloped land to the west.

For the purpose of this assessment and compliance with Planning for Bushfire Protection this area of undeveloped land is considered to be Forest and is the hazard to this proposal.



*Photo 1 - An overview of the vegetation within the general area.*

*This area has been left intentionally blank.*





*Photo 2 is a closer view of the vegetation in the area.*

Table 1 outlines the vegetation orientation and distance from the development area.

Aspect	North	East	South	West
<b>Vegetation type</b>	Managed land	Managed land	Managed land/forest	Forest
<b>Setback within lot 138</b>	N/A	N/A	9.25m	1.540m
<b>Off-site setback</b>	N/A	N/A	17.0m	0m
<b>Total setback</b>	N/A	N/A	26.25m	1.5m

*Table 1 - Any aspect marked with "N/A" in the table above indicates that it is considered there is none or only a secondary hazard in that direction.*

*This area has been left intentionally blank.*







Table 2 shows the slope beneath the hazard.

Aspect	North	East	South	West
Slope	N/A	N/A	10-15 degrees downslope	0-5 degrees downslope

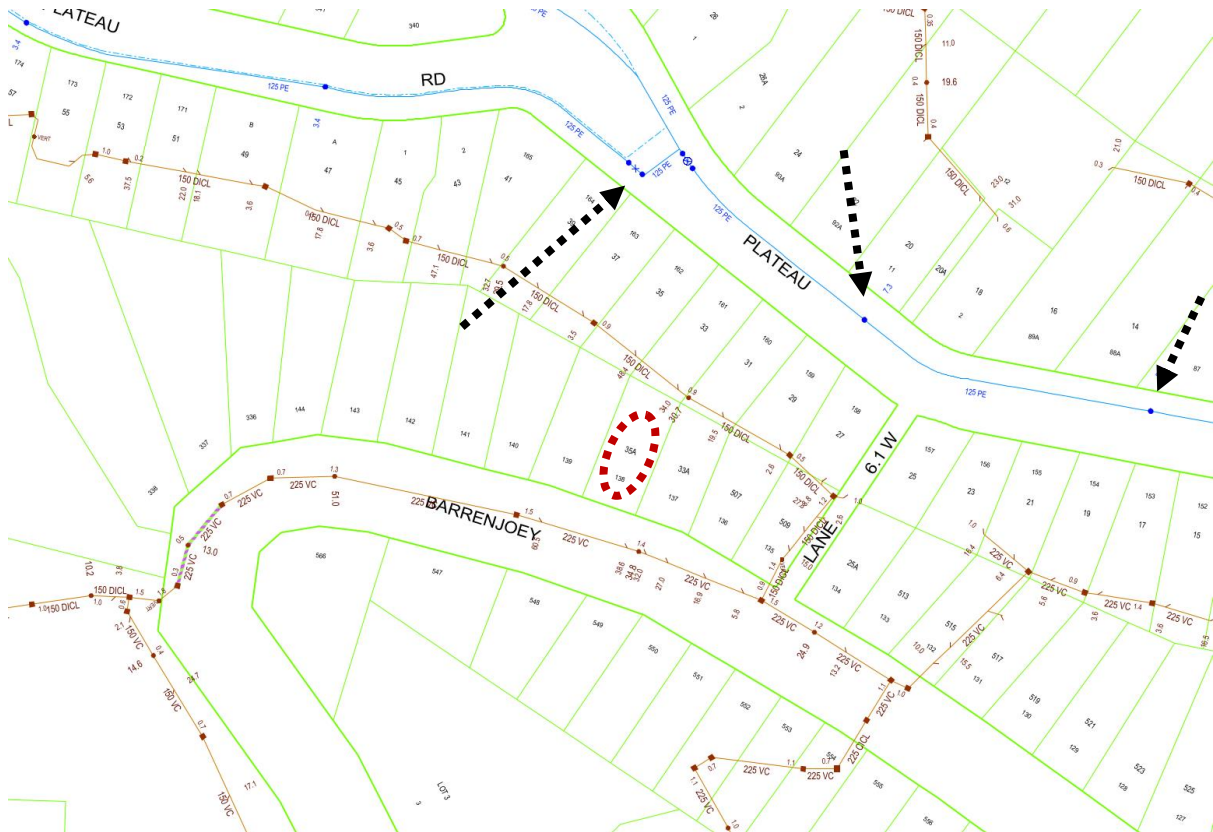
*Table 2 - Any aspect marked with "N/A" in the table above indicates that it is considered there is no hazard in that direction.*

## 7 Utilities.

### 7.1 Water.

The subject block will be serviced by a reticulated water supply.

The following map is an extract from Sydney waters hydrant map. Hydrants are indicated by a blue dot on a blue line. As can be seen there is at least one hydrant point indicated in Plateau Road.



## 7.2 Electricity

Mains electricity is available to the block.

## 7.3 Gas

It is unknown if either bottled or mains gas is to be altered or installed in this proposal.

## 8 Access/Egress.

Access to the development site will be via a short private driveway from Plateau Road.

All roads in the vicinity are considered to be capable of carrying emergency services vehicles and pedestrian access onto the lot is also considered to be adequate.



## Analysis of development and recommendation.

### 9 Compliance with Planning for Bushfire Protection setbacks.

Based on the development design, vegetation classification, effective slope estimates and setback distance already outlined in this report the subject development will be required to comply with the deemed to satisfy construction requirements of AS 3959-2018 BAL-FZ and the RFS requirements on all fire prone aspects.

The following table is an extract from table A1.12.5 of Planning for Bushfire Protection 2019. This table is used to calculate the BAL for a proposal in an area with an FDI of 100.

The variables that have already been outlined in this assessment are highlighted in red with the highest BAL highlighted in yellow.

> 0 > 5 DEGREES – DOWNSLOPE	Keith Vegetation Formation	BUSH FIRE ATTACK LEVEL (BAL)				
		BAL-FZ	BAL-40	BAL-29	BAL-19	BAL-12.5
	Rainforest	< 11	11 -< 14	14 -< 21	21 -< 29	29 -< 100
	Forest (wet and dry sclerophyll) including Coastal Swamp Forest, Pine Plantations and Sub-Alpine Woodland	< 22	22 -< 29	29 -< 40	40 -< 54	54 -< 100
	Grassy and Semi-Arid Woodland (including Mallee)	< 12	12 -< 16	16 -< 23	23 -< 32	32 -< 100
	Forested Wetland (excluding Coastal Swamp Forest)	< 9	9 -< 12	12 -< 18	18 -< 26	26 -< 100
	Tall Heath	< 13	13 -< 18	18 -< 26	26 -< 36	36 -< 100
	Short Heath	< 8	8 -< 10	10 -< 15	15 -< 22	22 -< 100
	Arid-Shrublands (acacia and chenopod)	< 5	5 -< 7	7 -< 11	11 -< 16	16 -< 100
	Freshwater Wetlands	< 4	4 -< 6	6 -< 8	8 -< 12	12 -< 100
	Grassland	< 9	9 -< 12	12 -< 17	17 -< 25	25 -< 50

For the purpose of this assessment the western aspect has been chosen as the most potentially hazardous aspect due to the effective slope, potential run of fire and the prevailing fire weather of the area.

### 10 Siting.

The current site provides adequate separation between the proposed building and surrounding vegetation for a compliant structure to be built.

Recommendation;

Nil

## 11 Construction and design.

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All new work is to be undertaken in accordance with the relevant requirements of the BCA and AS3959 2009. The following recommendations are a minimum level of construction. Constructing the proposal to a higher level than that recommended is allowable under AS3959.

### Recommendation; all new work.

1. New construction shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
2. New construction shall also comply with the requirements of BAL-FZ Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.
3. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.

*AS-3959 2018 is now available as PDF for free from;*

[https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340\\_saig\\_as\\_as\\_2685241/](https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340_saig_as_as_2685241/)

## 12 Utilities.

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### 12.1 Water.

The subject lot will be serviced by a reticulated water supply however the nearest hydrant point is beyond the maximum allowable distance from the new works resulting in the need for a Static Water Supply (SWS) to be established on site. The SWS is to be in accordance with the following.

### Recommendation;

4. A 5,000 L water supply is to be made available for firefighting purposes and be constructed in accordance with the following features.
  - A connection for firefighting purposes is located within the IPA or non-hazard side and away from the structure; 65mm Storz outlet with a ball valve is fitted to the outlet;
  - Ball valve and pipes are adequate for water flow and are metal;
  - Supply pipes from tank to ball valve have the same bore size to ensure flow volume;
  - Underground tanks have an access hole of 200mm to allow tankers to refill direct from the tank;
  - Above-ground tanks are manufactured from concrete or metal;
  - Unobstructed access can be provided at all times;
  - Underground tanks are clearly marked;

- Tanks on the hazard side of a building are provided with adequate shielding for the protection of firefighters;
- All exposed water pipes external to the building are metal, including any fittings;
- A pump is to be provided with a minimum 5hp or 3kW petrol or diesel-powered pump, and are shielded against bush fire attack; any hose and reel for firefighting connected to the pump shall be 19mm internal diameter; and
- If fitted fire hose reels are constructed in accordance with AS/NZS 1221:1997 and installed in accordance with the relevant clauses of AS 2441:2005.
- An 'SWS' marker shall be obtained from the local NSW Rural Fire Service and positioned for ease of identification by brigade personnel and other users of the SWS. In this regard:
  - a) Markers must be fixed in a suitable location so as to be highly visible; and
  - b) Markers should be positioned adjacent to the most appropriate access for the static water supply.

## 12.2 Electricity and Gas.

### Recommendation;

5. Any new electricity or gas connections are to comply with the requirements of table 7.4a of Planning for Bushfire Protection.

## 13 Asset Protection Zone (APZ).

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The Asset Protection Zone is *“An area surrounding a development managed to reduce the bushfire hazard to an acceptable level. The width of an APZ will vary with slope, vegetation and construction level”*.

### Recommendation;

6. At the commencement of building works and in perpetuity the entire property shall be managed as an Asset Protection Zone in accordance with the requirements of Planning for Bushfire Protection, the RFS document Standards for Asset Protection Zones and in a manner that does not create a bushfire hazard to the property.

## 14 Landscaping.

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### Recommendation;

7. Any new fencing is to be constructed in accordance with section 7.6 of Planning for Bushfire Protection 2019.
8. Any new landscaping to the site is to comply with the principles of Appendix 4 and section 3.7 of Planning for Bush Fire Protection 2019. In this regard the following

landscaping principles are, where applicable, to be incorporated into the development<sup>1</sup>:

- It is noted that two large Palm trees are in close proximity to the building, one near the south east corner and one near the south west corner of the existing building, these should be removed to limit the vegetation overhang of the building.
- Suitable impervious areas being provided immediately surrounding the building such as courtyards, paths and driveways;
- Grassed areas/mowed lawns/ or ground cover plantings being provided in close proximity to the building;
- Restrict planting in the immediate vicinity of the building which may over time and if not properly maintained come in contact with the building;
- Maximum tree cover should be less than 30%, and maximum shrub cover less than 20%;
- Planting should not provide a continuous canopy to the building (i.e. trees or shrubs should be isolated or located in small clusters);
- When considering landscape species consideration needs to be given to estimated size of the plant at maturity;
- Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
- Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such timber garden furniture way from the building; and
- Use of low flammability vegetation species.

## 15 Constraints on the subject block.

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None known.

Recommendation;

Nil

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<sup>1</sup>Refer to referenced documents for a complete description.



## 16 Access/Egress.

All roads in the area are considered to be capable of handling emergency service vehicles. Access from the roadway onto the property is also considered to be adequate for firefighting purposes.

### Recommendation

Nil

## 17 Compliance or non compliance with the specifications and requirements for bushfire protection measures.

<b>APZ</b> A defensible space is provided onsite. An APZ is provided and maintained for the life of the development.	Achievable with the implementation of the recommendations in section 13
<b>SITING AND DESIGN:</b> Buildings are sited and designed to minimise the risk of bush fire attack.	Achievable with the implementation of the recommendations in section 10
<b>CONSTRUCTION STANDARDS:</b> It is demonstrated that the proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact.	Achievable with the implementation of the recommendations in section 11
<b>ACCESS</b> Safe, operational access is provided (and maintained) for emergency services personnel in suppressing a bush fire while residents are seeking to relocate, in advance of a bush fire, (satisfying the intent and performance criteria for access roads in sections 4.1.3 and 4.2.7).	Achievable with the implementation of the recommendations in section 16
<b>WATER AND UTILITY SERVICES:</b> <ul style="list-style-type: none"> <li>adequate water and electricity services are provided for firefighting operations</li> <li>Gas and electricity services are located so as not to contribute to the risk of fire to a building.</li> </ul>	Achievable with the implementation of the recommendations in section 12
<b>LANDSCAPING:</b> <ul style="list-style-type: none"> <li>it is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind driven embers to cause ignitions.</li> </ul>	Achievable with the implementation of the recommendations in section 14

## 18 Conclusions.

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Based on the above report and with the implementation of the recommendation contained within this report the consent authority should determine that this development can comply with the requirements of AS 3959-2018 and 'Planning for Bushfire Protection' guidelines.

The recommendations contained within this report are to be implemented in their entirety. Changing one aspect may have an adverse effect on the rest of the recommendations.

Bushfires are affected by many external influences such as climactic conditions, vegetation type, moisture content of the fuel, slope of the land and human intervention to name a few and are difficult to predict.

This report does not intend to provide a guarantee that the subject property will survive if a bushfire should impact the surrounding area. The purpose of this report is to show the developments level of compliance or in some cases non-compliance with the New South Wales legislation regarding building in bushfire prone areas.

Where non-compliance is found measures will be suggested that should make the building less susceptible to the various attack mechanisms of a bushfire and comply with the performance requirements of the Building Code of Australia.

The opinions expressed in this report are based on the writers' experience and interpretation of the relevant guidelines and standards. Notwithstanding the above, these guidelines and standards are open to interpretation. All care has been taken to ensure that the opinions expressed in this report are consistent with past successful outcomes.

Some of the information used in the compilation of this assessment has been provided by the proponent or the proponent's representatives. While we believe this information to be true and have accepted the information in good faith however this company or its representatives will not accept any responsibility if the provided information is determined to be incorrect.

This document is to assist the consenting authorities with their assessment of this proposal. The recommendations contained in this assessment reflect the normal conditions that are typically applied by the consent authority for a proposal such as this however the conditions of consent for the proposal will be supplied by the certifying authority on approval of the development and may not necessarily be the same as the recommendations of this assessment.

The recommendations in this assessment are for planning guidance only, construction details and compliance with all building requirements are the responsibility of the Architect/Designer, Builder and Certifier.

To avoid confusion, unless specifically referenced by the consenting authority, it is strongly recommended that once this proposal has been approved that this document is no longer referenced and that only the official conditions of consent as reflected in documentation by the certifying body are used for construction guidance.

If any further clarification is required for this report, please do not hesitate to contact me using the details above.

Yours Sincerely



**Matthew Willis**

*Grad Dip Planning for Bushfire Prone Areas*

*Bushfire Planning Services Pty Limited*

## 19 References.

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- *Australian Building Codes Board (2019). National Construction Code Volume One - Building Code of Australia. ABCB*
- *Australian Building Codes Board (2019). National Construction Code Volume two - Building Code of Australia. ABCB.*
- *Keith, D.A. (2004). Ocean Shores to Desert Dunes: The Native Vegetation of New South Wales and the ACT. NSW Department of Environment and Conservation.*
- *National Association of Steel Framed Housing (2014). "Steel Framed Construction in Bush Fire Areas. NASH*
- *Ramsay, C and Rudolph, L (2003) "Landscape and Building Design for Bush fire Areas". CSIRO Publishing, Collingwood.*
- *Resources and Energy NSW (2016). ISSC 3 Guide for the Managing Vegetation in the Vicinity of Electrical Assets. NSW Government*
- *Rural Fire Service NSW (2005) "Standards for Asset Protection Zones"*
- *Standards Australia (2018). "AS 3959, Construction of buildings in bush fire prone areas".*
- *Standards Australia (2018). "AS/NZS 1530.8.1 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Radiant heat and small flaming sources".*
- *Standards Australia (2018). "AS/NZS 1530.8.2 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Large flaming sources".*
- *Standards Australia (2014). "AS/NZS 1596 The storage and handling of LP Gas".*

## 20 Appendix 1 - Plans .

### NOSWORTHY HOUSE

#### UPPER LEVEL WORKS

35A PLATEAU ROAD - AVALON BEACH - NSW 2107



DRAWING LIST	
Sheet Number	Sheet Name
A000	TITLE SHEET
A001	GENERAL NOTES
A002	BASIX REQUIREMENT
A003	NOTIFICATION PLAN AT A4
A004	SITE ANALYSIS
A005	SHADOW DIAGRAM
A110	LOCATION PLAN
A111	EXISTING SITE PLAN
A112	PROPOSED SITE PLAN
A200	EXISTING / DEMOLITION PLAN - G FLOOR
A201	EXISTING / DEMOLITION PLAN - FIRST FLOOR
A210	PROPOSED FLOOR PLANS
A400	EXISTING / PROPOSED ROOF PLANS
A502	EXISTING / PROPOSED ELEVATIONS PG 1
A503	EXISTING / PROPOSED ELEVATIONS PG 2
A600	PROPOSED SECTIONS PG 1
A601	PROPOSED SECTIONS PG 2
A900	DOOR SCHEDULE
A901	WINDOW SCHEDULE
A910	EXTERNAL VIEWS - GARDEN

ISSUE	DATE	REVISION	LEGEND
1	21.01.20	CLIENT PLANNING REVIEW	
2	14.07.21	FOR DA - UPDATE 1	

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Trading as: Barker Studio  
NOMINATED ARCHITECT:  
Linda Barker (915)

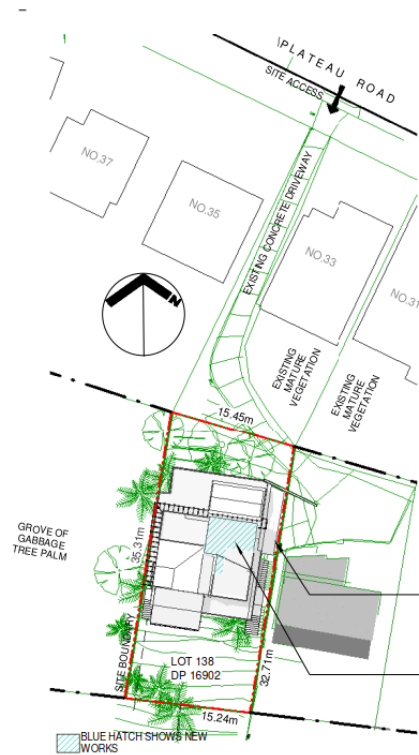
#### TITLE SHEET

1807- B UPPER LEVEL AMENDMENTS  
CLIENT NAME: PHILL & JESS NOSWORTHY  
ADDRESS: 35 A PLATEAU ROAD  
BILGOLA - LOT 138- DP.16902

sheet no.	A000
scale:	
date:	JUNE
drawn:	F.AVICE
revision	2

**BARKER**  
ARCHITECTS

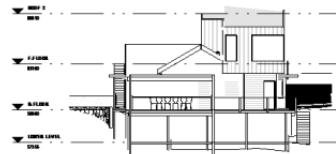




**1**  
**A502**  
**PROPOSED SITE PLAN**  
1 : 500



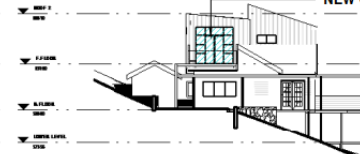
NORTH ELEVATION - NO CHANGE TO EXISTING



SOUTH ELEVATION - NO CHANGE TO EXISTING



EAST ELEVATION - NO CHANGE TO EXISTING



WEST ELEVATION - NEW GLAZED WALL TO UPPER DECK

**NEW GLAZED WALL**

BLUE HATCH SHOWS EXTENT OF NEW WORKS  
ELEVATIONS ARE AT 1.300

NEW WORKS GFA CONSISTS OF:  
F.FLOOR = 23.5m<sup>2</sup>

## NOTIFICATION PLAN AT A4

1907- B: UPPER LEVEL AMENDMENTS  
CLIENT NAME: PHILL & JESS NOSWORTHY  
ADDRESS: 35 A PLATEAU ROAD  
BILGOLA - LOT 138- DP.16902  
REVISION: 2 DRAWING No: A003  
DRAWN BY: F. AVICE

**BAR  
KER**  
ARCHITECTS



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Trading as: Barker Studio

**NOMINATED ARCHITECT:**  
Ivan Barker BS10

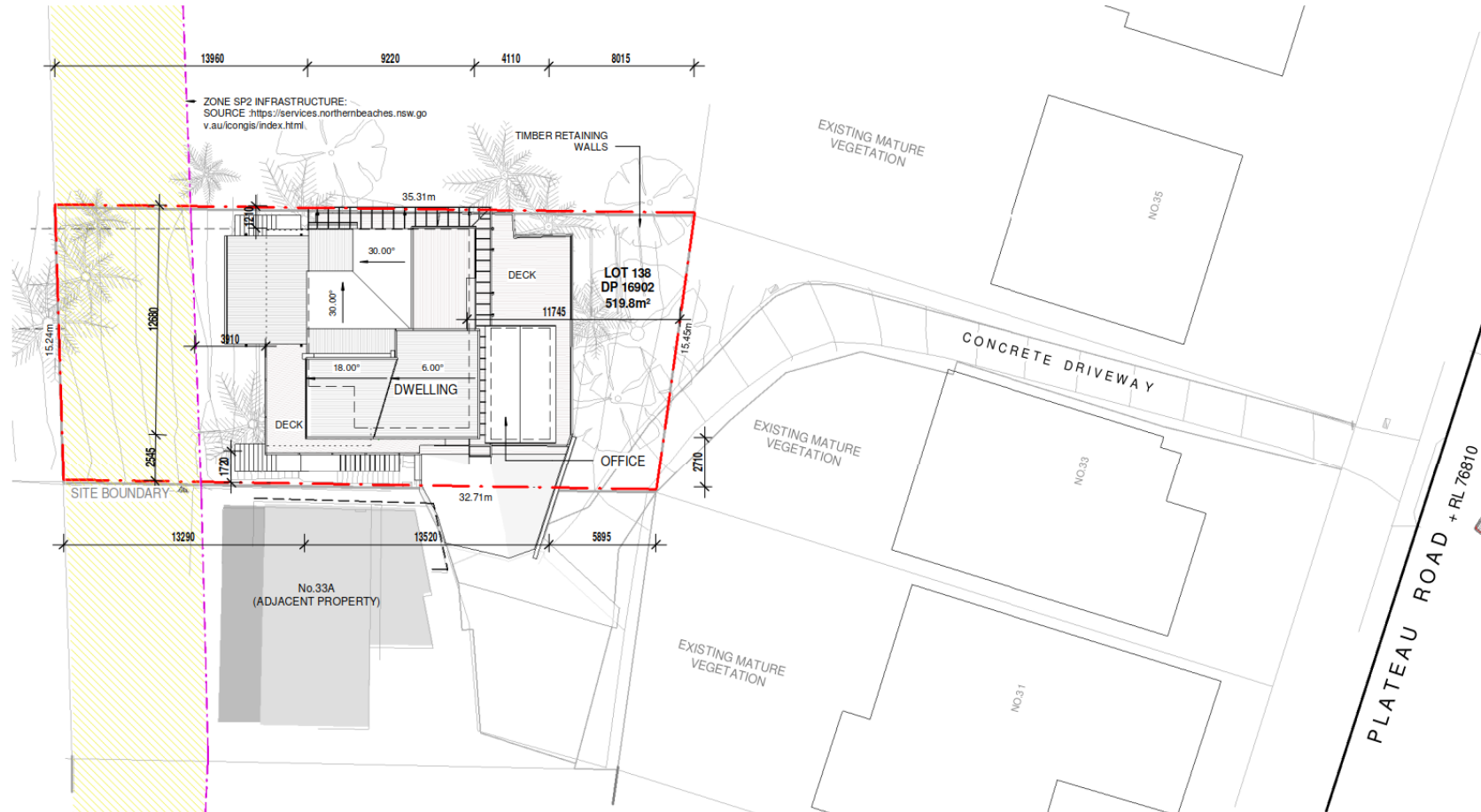
1807- B UPPER LEVEL AMENDMENTS  
CLIENT NAME: PHILL & JESS NOSWORTHY  
ADDRESS: 35 A PLATEAU ROAD  
BILGOLA - LOT 138- DP.16902



**BARKER**  
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ISSUE	DATE	REVISION
1	21.01.20	CLIENT/ PLANNING REVIEW
2	14.07.21	FOR DA - UPDATE 1

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A.B.N. 76 150 523 660  
Trading as Barker Studio  
NOMINATED ARCHITECT:  
Luke Barker (9192)

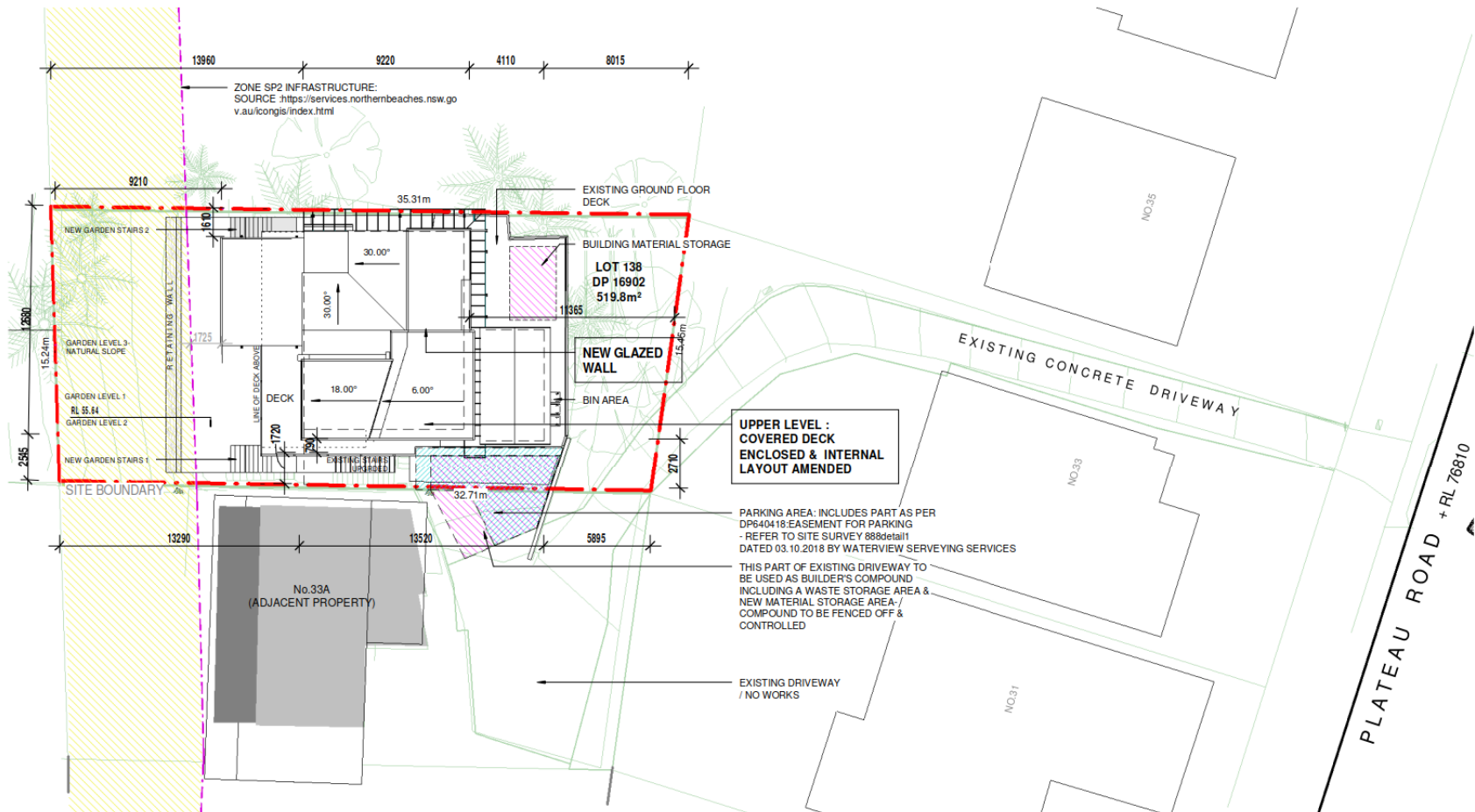
#### EXISTING SITE PLAN

1807- B UPPER LEVEL AMENDMENTS  
CLIENT NAME: PHILL & JESS NOSWORTHY  
ADDRESS: 35 A PLATEAU ROAD  
BILGOLA - LOT 138- DP.16902

sheet no.	A111
scale:	1 : 200
date:	JUNE
drawn:	F.AVICE
revision	2







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A.B.N. 78 160 523 660

Trading as: Barker Studio

NOMINATED ARCHITECT:  
Luke Barker 9103

#### PROPOSED SITE PLAN

1807- B UPPER LEVEL AMENDMENTS

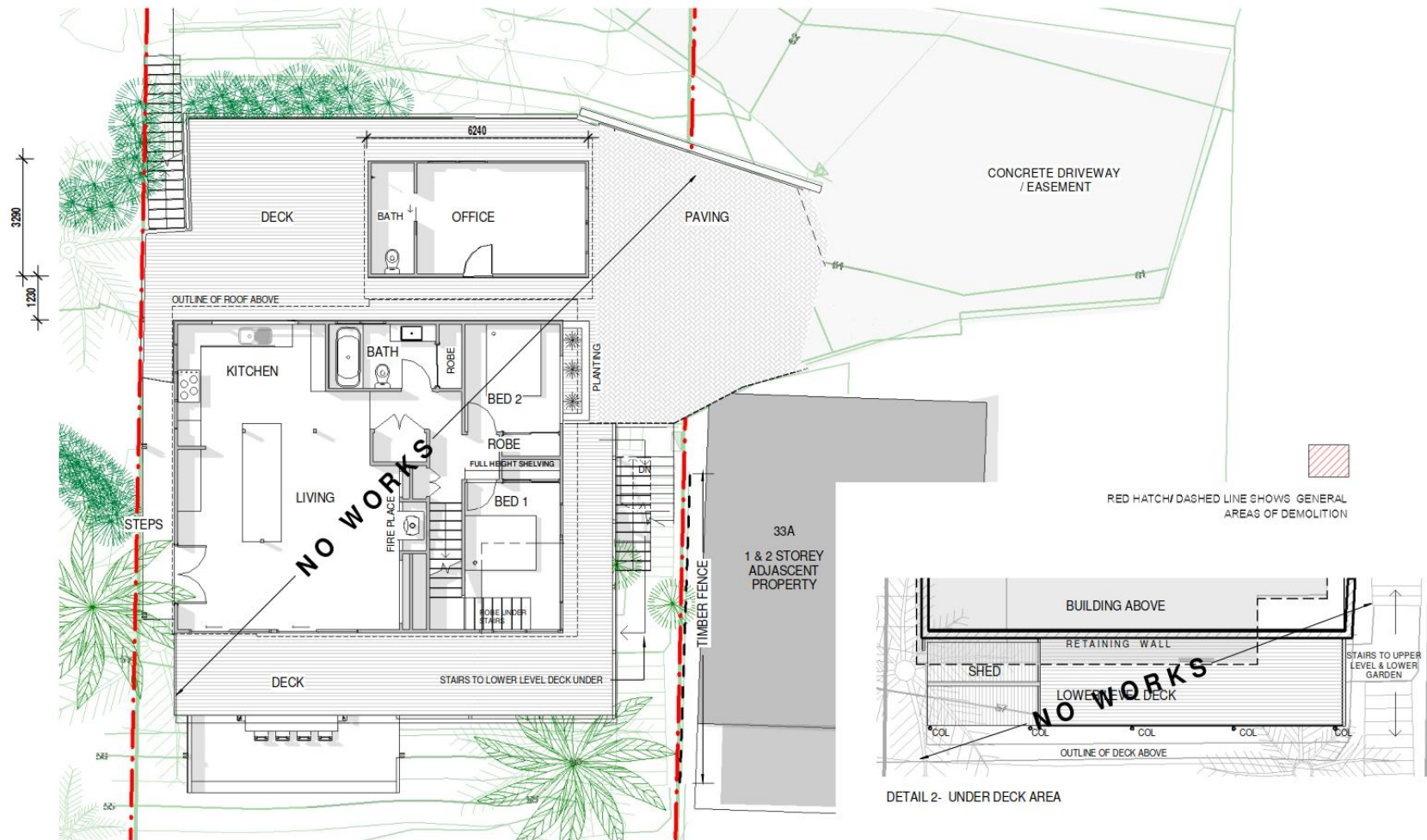
CLIENT NAME: PHILL & JESS NOSWORTHY

ADDRESS: 35 A PLATEAU ROAD

BILGOLA - LOT 138- DP.16902

sheet no.	A112
scale:	1 : 200
date:	JUNE
drawn:	F.AVICE
revision	1





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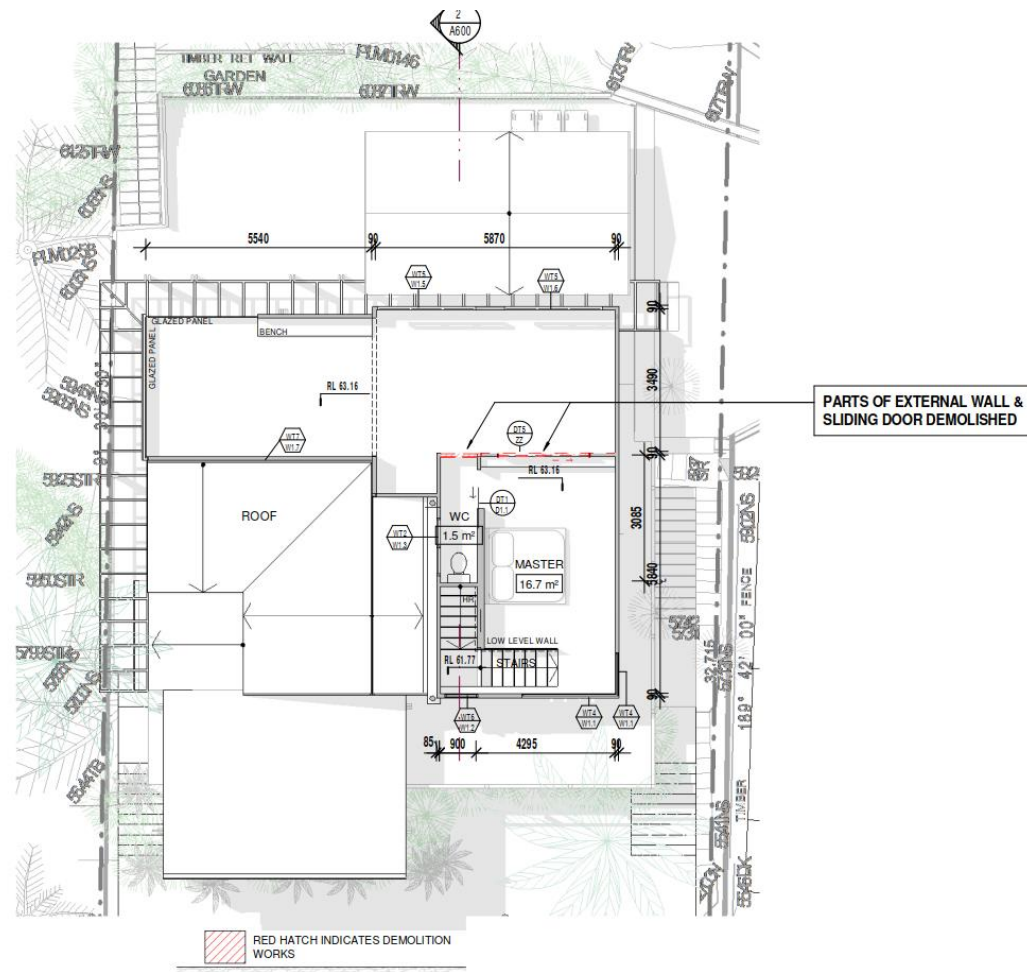
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Trading as: Barker Studio  
NOMINATED ARCHITECT:  
Luke Barker 0930

## EXISTING/ DEMOLITION PLAN - G.FLOOR

1807- B UPPER LEVEL AMENDMENTS  
CLIENT NAME: PHILL & JESS NOSWORTHY  
ADDRESS: 35 A PLATEAU ROAD  
BILGOLA - LOT 138- DP.16902

sheet no.	A200
scale:	1 : 100
date:	JUNE
drawn:	F.AVICE
revision	2

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**F.FLOOR EXISTING / DEMOLITION**  
1 : 100

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A.B.N. 35 180 523 660  
Trading as: Barker Studio

**NOMINATED ARCHITECT:**  
Luke Barker B910

**EXISTING/ DEMOLITION PLAN-FIRST FLOOR**

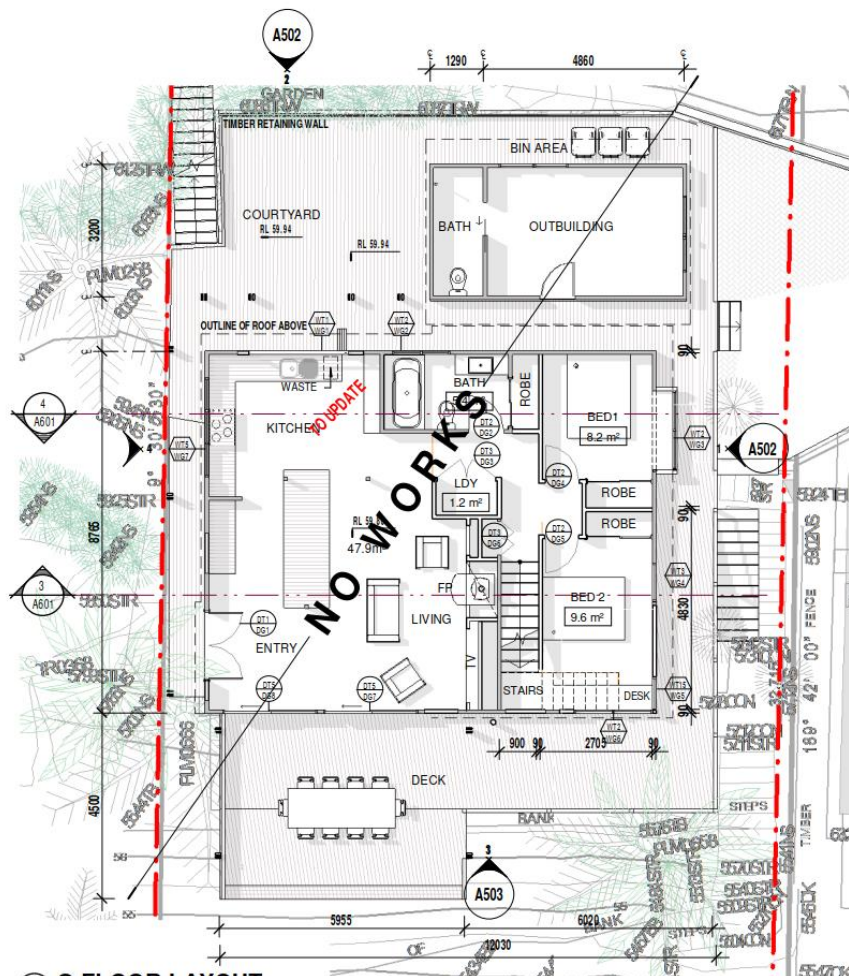
**1807- B UPPER LEVEL AMENDMENTS**

**CLIENT NAME: PHILL & JESS NOSWORTHY**  
**ADDRESS: 35 A PLATEAU ROAD**  
**BILGOLA - LOT 138- DP.16902**

sheet no.	<b>A201</b>
scale:	<b>1 : 100</b>
date:	<b>JUNE</b>
drawn:	<b>F.AVICE</b>
revision	<b>2</b>

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**1 G.FLOOR LAYOUT**  
1:100

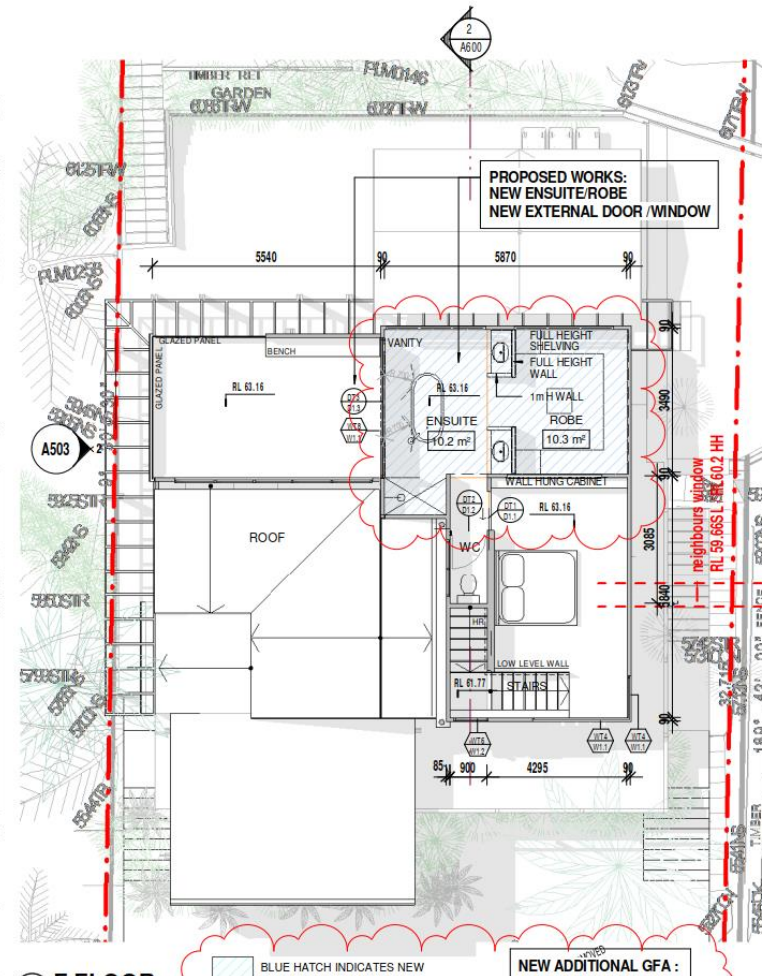
ISSUE	DATE	REVISION
1	21.01.20	CLIENT/PLANNING REVIEW
2	24.02.20	CLIENT UPDATE 1
3	14.07.21	FOR DA - UPDATE 1

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NOMINATED ARCHITECT:  
Lester Barker B930

## PROPOSED FLOOR PLANS

1807- B UPPER LEVEL AMENDMENTS  
CLIENT NAME: PHILL & JESS NOSWORTHY  
ADDRESS: 35 A PLATEAU ROAD  
BILGOLA - LOT 138- DP.16902



**2 F.FLOOR**  
1:100

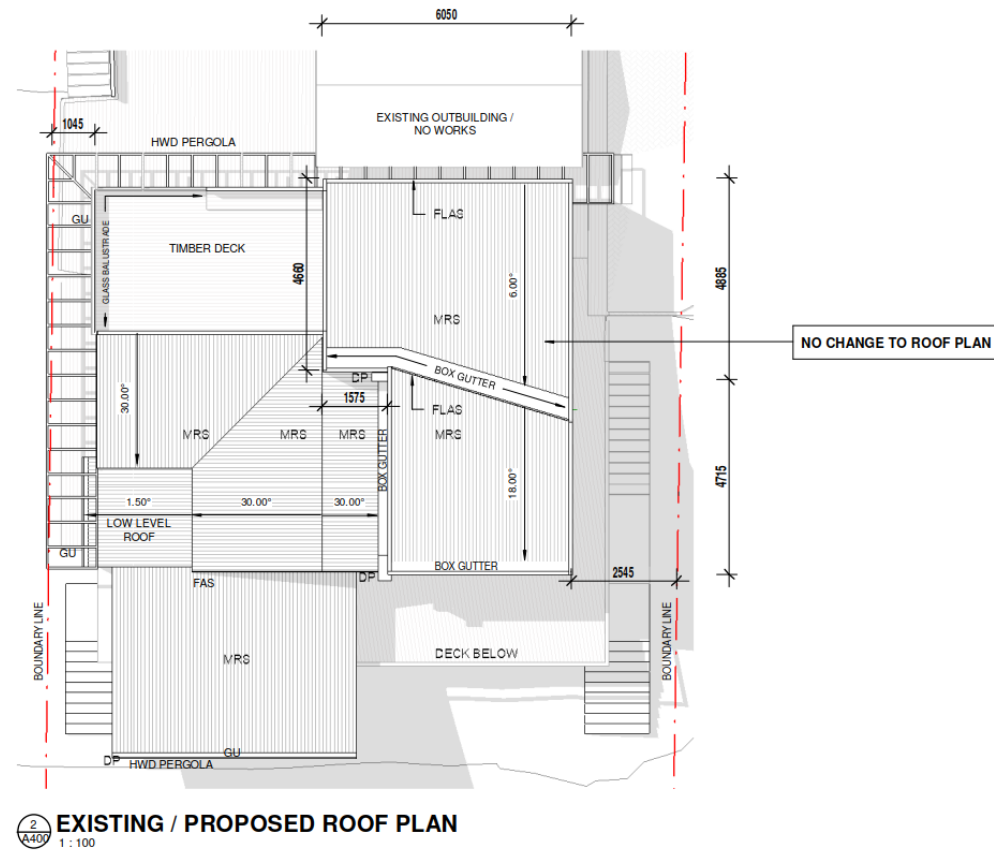
BLUE HATCH INDICATES NEW CONVERSION WORKS

NEW ADDITIONAL GFA:  
F.FLOOR = 22m2

sheet no. **A210**  
scale: **1:100**  
date: **JUNE**  
drawn: **F.AVICE**  
revision: **3**



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**NOMINATED ARCHITECT:**  
Luke Barker 9310

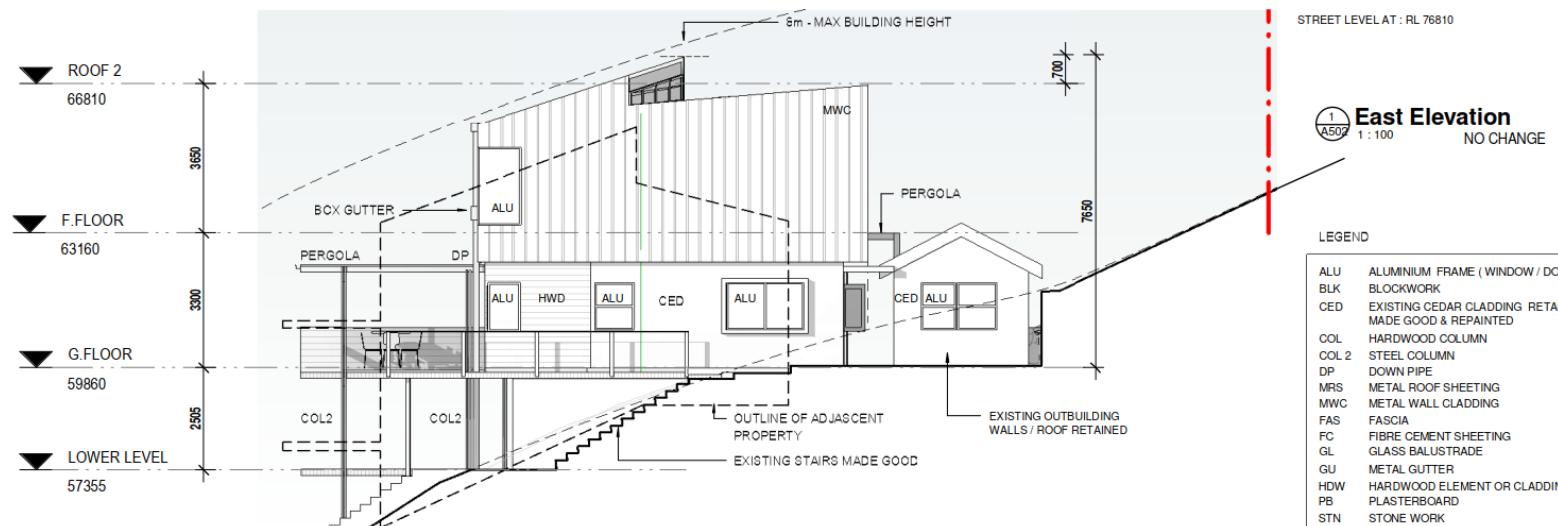
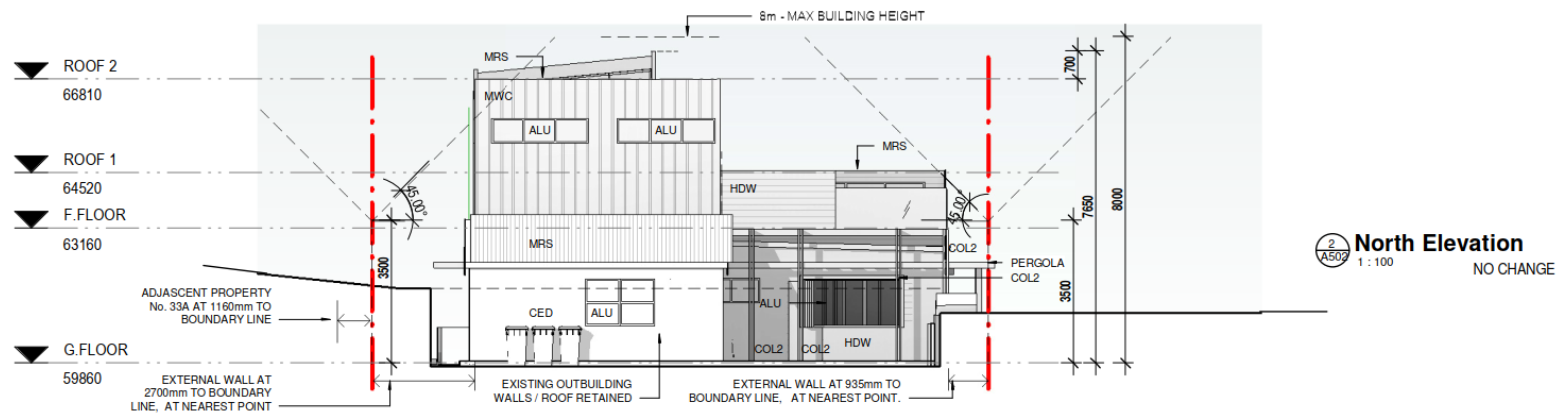
## EXISTING /PROPOSED ROOF PLANS

1807- B UPPER LEVEL AMENDMENTS  
CLIENT NAME: PHILL & JESS NOSWORTHY  
ADDRESS: 35 A PLATEAU ROAD  
BILGOLA - LOT 138- DP.16902

sheet no. **A400**  
scale: **1 : 100**  
date: **JUNE**  
drawn: **F.AVICE**  
revision **2**







LEGEND

ALU	ALUMINIUM FRAME ( WINDOW / DOOR )
BK	BLOCKWORK
CED	EXISTING CEDAR CLADDING RETAINED MADE GOOD & REPAINTED
COL	HARDWOOD COLUMN
COL 2	STEEL COLUMN
DP	DOWN PIPE
MRS	METAL ROOF SHEETING
MWC	METAL WALL CLADDING
FAS	FASCIA
FC	FIBRE CEMENT SHEETING
GL	GLASS BALUSTRADE
GU	METAL GUTTER
HDW	HARDWOOD ELEMENT OR CLADDING
PB	PLASTERBOARD
STN	STONE WORK

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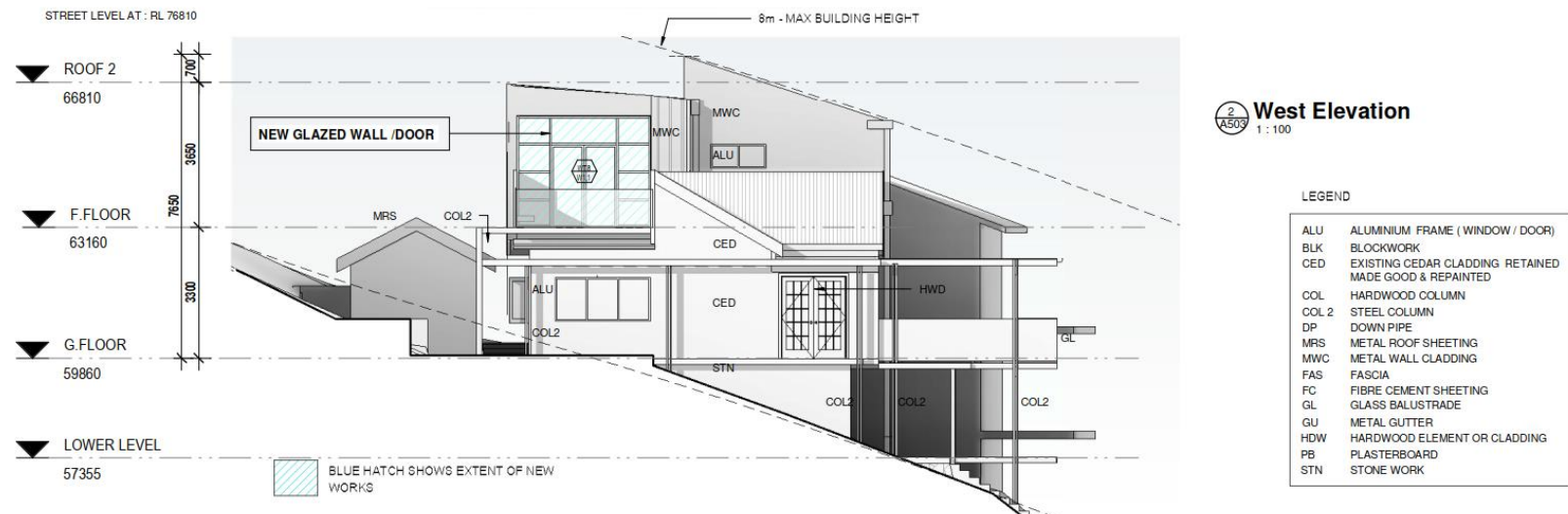
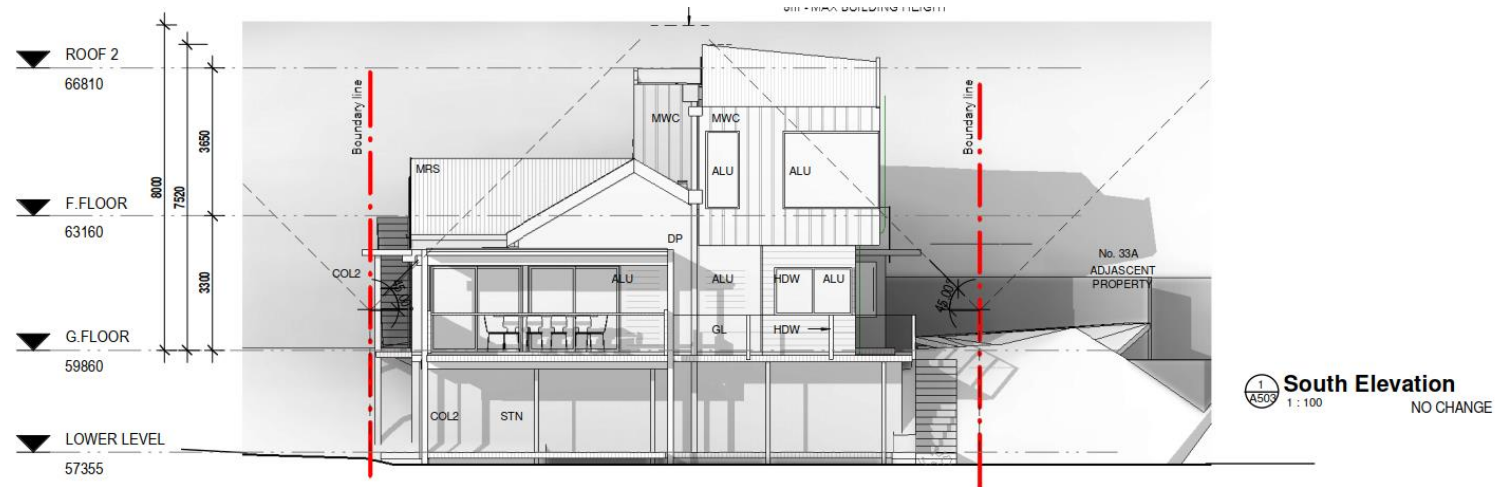
**NOMINATED ARCHITECT:**  
Luke Barker 9130

**EXISTING / PROPOSED ELEVATIONS PG 1**

**1807- B UPPER LEVEL AMENDMENTS**  
CLIENT NAME: PHILL & JESS NOSWORTHY  
ADDRESS: 35 A PLATEAU ROAD  
BILGOLA - LOT 138- DP.16902

sheet no. **A502**  
scale **As indicated**  
date: **JUNE**  
drawn: **F.AVICE**  
revision **2**

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**NOMINATED ARCHITECT:**  
Luke Barker 9910

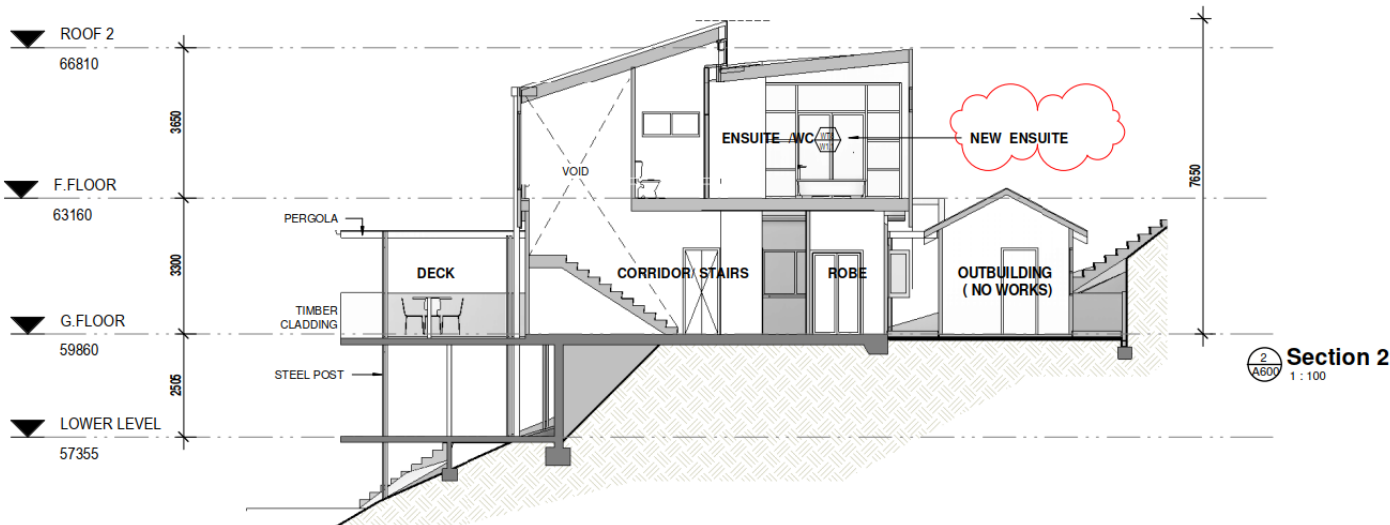
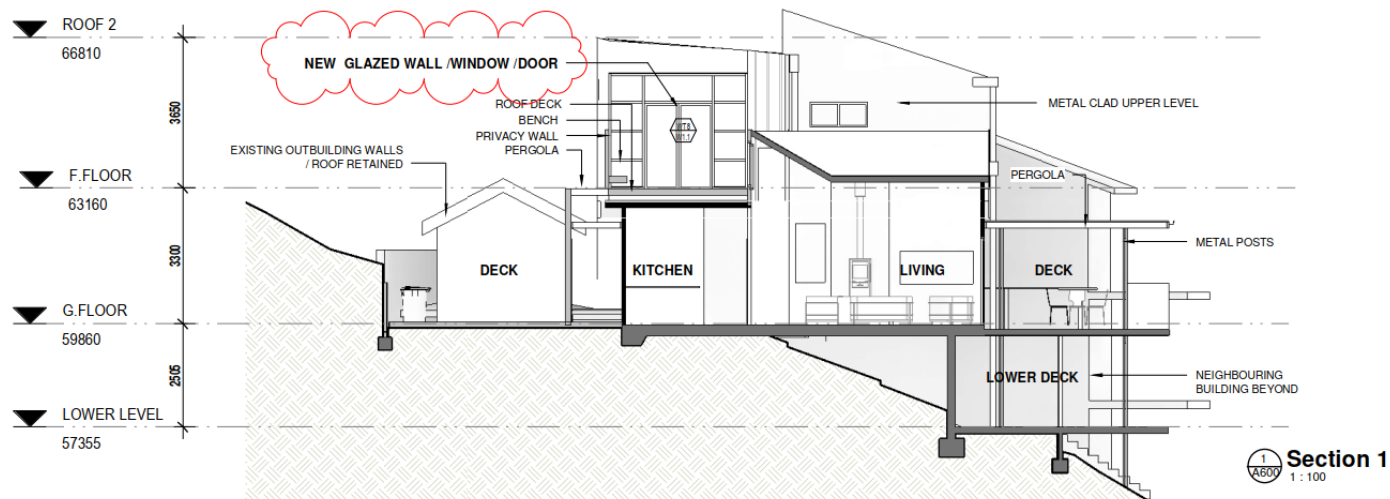
**EXISTING / PROPOSED ELEVATIONS PG 2**

**1807- B UPPER LEVEL AMENDMENTS**

**CLIENT NAME: PHILL & JESS NOSWORTHY**  
**ADDRESS: 35 A PLATEAU ROAD**  
**BILGOLA - LOT 138- DP.16902**

sheet no. **A503**  
scale **As indicated**  
date: **JUNE**  
drawn: **F.AVICE**  
revision **2**

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**NOMINATED ARCHITECT:**  
Loren Barker B0102

**PROPOSED SECTIONS PG 1**

**1807- B UPPER LEVEL AMENDMENTS**

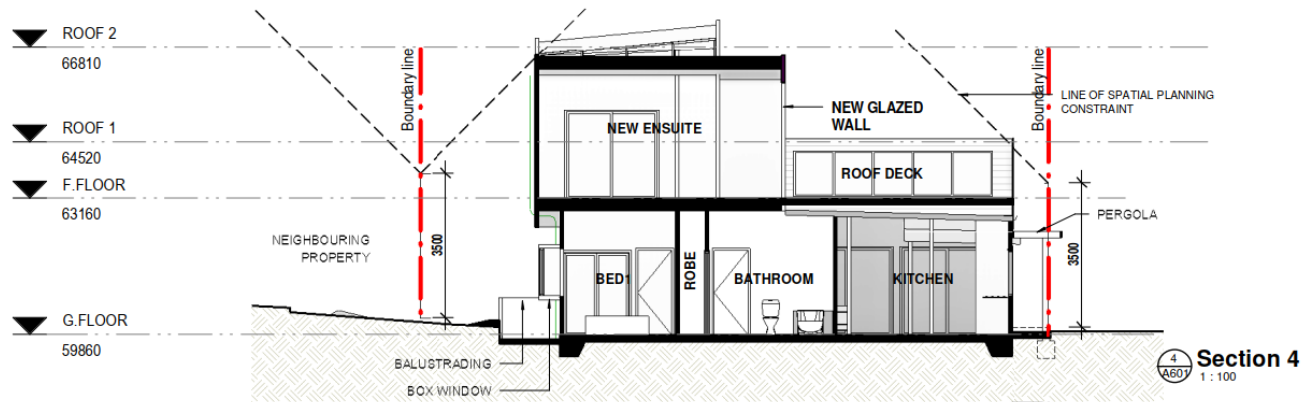
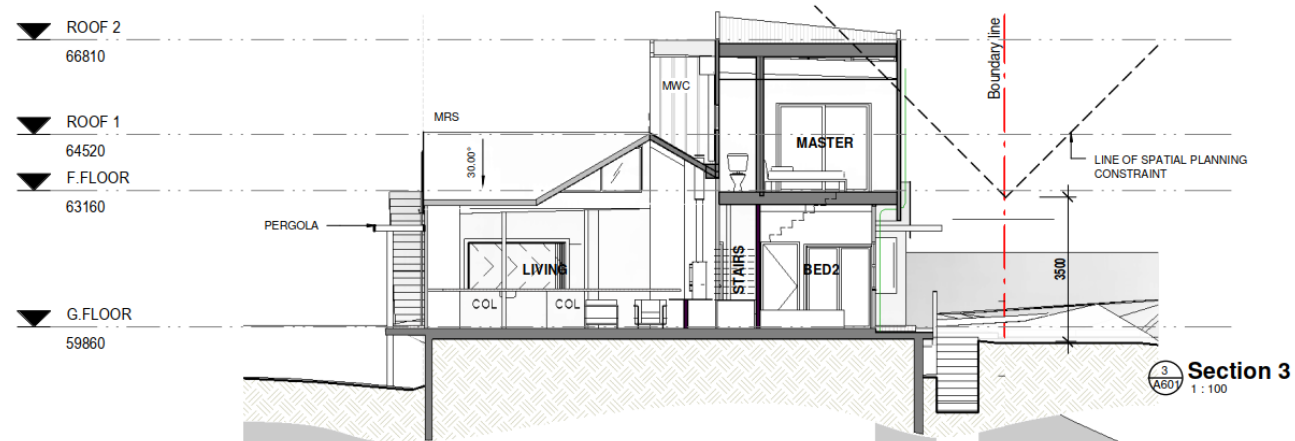
**CLIENT NAME: PHILL & JESS NOSWORTHY**

**ADDRESS: 35 A PLATEAU ROAD**

**BILGOLA - LOT 138- DP.16902**

sheet no.	<b>A600</b>
scale:	<b>1 : 100</b>
date:	<b>JUNE</b>
drawn:	<b>F.AVICE</b>
revision	<b>2</b>

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A.B.N. 20 160 523 660  
Trading as: Barker Studio  
NOMINATED ARCHITECT:  
Luke Barker 8910

## PROPOSED SECTIONS PG 2

**1807- B UPPER LEVEL AMENDMENTS**  
**CLIENT NAME: PHILL & JESS NOSWORTHY**  
**ADDRESS: 35 A PLATEAU ROAD**  
**BILGOLA - LOT 138- DP.16902**

sheet no.	<b>A601</b>
scale:	<b>1 : 100</b>
date:	<b>JUNE</b>
drawn:	<b>F.AVICE</b>
revision	<b>2</b>

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