

UTILITY POSITIONING CLASSIFICATION	
* A	- DENOTES CLASS 'A' SERVICE LOCATION WITH TOP OF SERVICE.
*10.18 +0.98	- DENOTES CLASS 'B' SERVICE LOCATION WITH GROUND LEVEL & DEPTH
+IL10.18	- DENOTES INVERT LEVEL OF SERVICE



DISCLAIMER - TOLERANCES

Identifying and mapping underground utilities is a result of gathering information in the various "Quality Levels", as defined by AS5488 -2013, and as a result exact utility locations cannot be guaranteed unless visually exposed (Quality Level A) and surveyed by a qualified surveyor and then only at those specific locations.

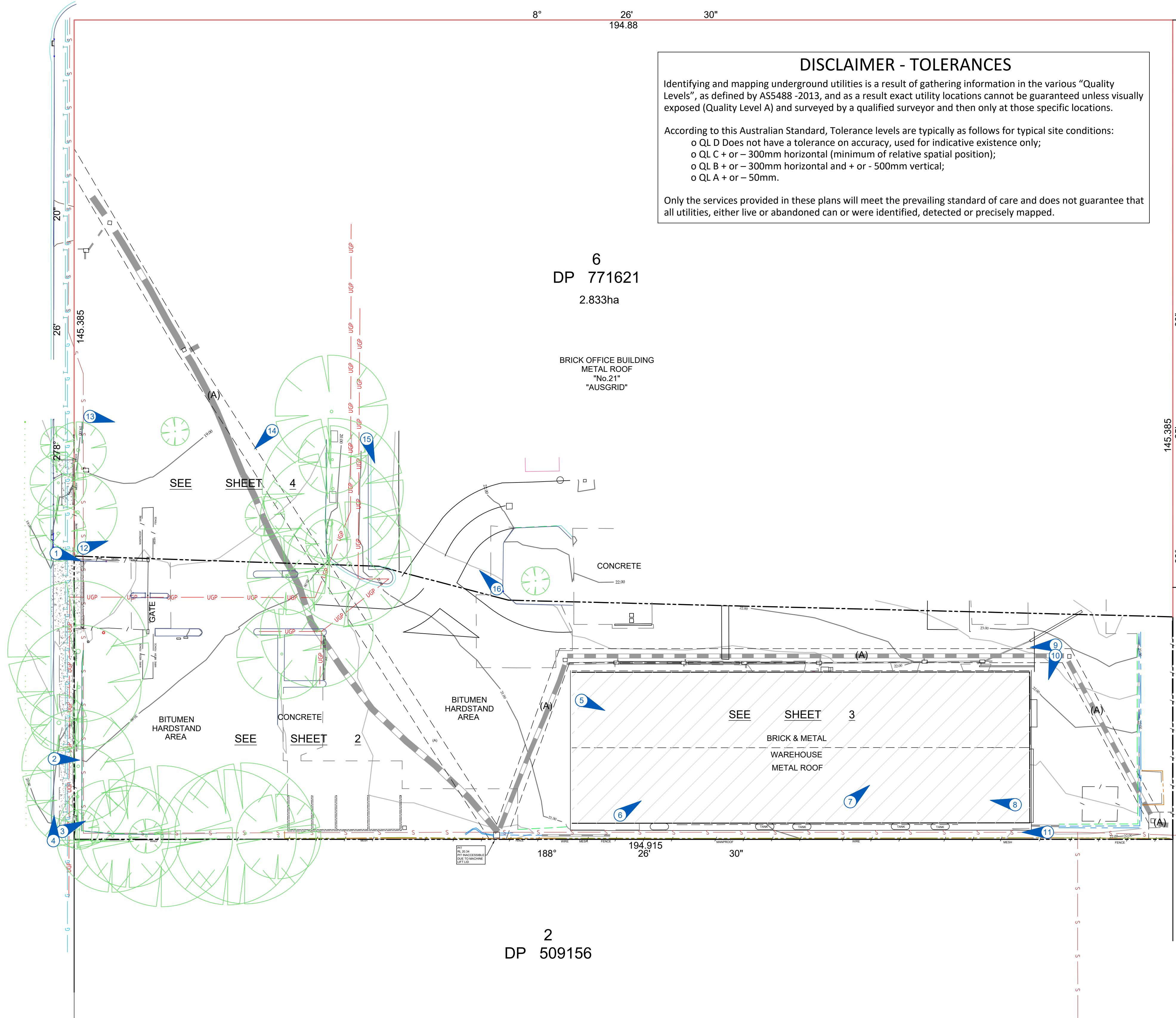
According to this Australian Standard, Tolerance levels are typically as follows for typical site conditions:

- o QL D Does not have a tolerance on accuracy, used for indicative existence only;
- o QL C + or - 300mm horizontal (minimum of relative spatial position);
- o QL B + or - 300mm horizontal and + or - 500mm vertical;
- o QL A + or - 50mm.

Only the services provided in these plans will meet the prevailing standard of care and does not guarantee that all utilities, either live or abandoned can or were identified, detected or precisely mapped.

LEGEND:	
	Subject Boundary
	Easement Boundary
	Fence
	UGP
	W
	S
	T
	G
	Stormwater Pipe
	Top of Kerb
	Lip of Kerb
	Crown of Road Formation
	Edge of Bitumen
	Edge of Concrete
	Top of Retaining Wall
	Bottom of Retaining Wall
	Invert of Table Drain
	Top of Table Drain
	Linemark
	Q PP Power Pole
	PB Power Box
	LP Light Pole
	TAP Tap
	SMH Sewer Maintenance Hole
	SIO Sewer Inspection Opening
	CPT Telecommunications Pit
	1 Photo Aspect
	G19.53 Gutter Level
	R20.82 Ridge Level
	FL17.15 Floor Level
	T10 Tree

MIDDLETON ROAD



(A) EASEMENT TO DRAIN WATER 4.83 AND 2.5 WIDE (VIDE DP 771621)

A
DP 419256

NOTE
INDICATIVE OUTLINE OF HARDSTAND AREA (FOR LICENSE)
(AS DETERMINED BY AERIAL PHOTO PDF - COLLIERS
INTERNATIONAL) DENOTED THUS

CAUTION: ONLY CLEARLY VISIBLE SERVICES OR UTILITY STRUCTURES, ON OR ABOVE GROUND LEVEL, HAVE BEEN SURVEYED. THE LOCATION OF ALL SERVICES OR UTILITY LINES/STRUCTURES SHOWN IN THIS DIAGRAM ARE APPROXIMATE ONLY. YOU ARE ADVISED TO SEEK INFORMATION FROM THE RELEVANT SERVICE OR UTILITY AUTHORITY FOR ALL DETAILS OF DEPTH AND/OR LOCATION OF SERVICE OR UTILITY LINES/ STRUCTURES WHICH SUPPLY THE SUBJECT PROPERTY.

THE SURVEY INFORMATION SHOWN IS FOR THE SPECIFIC PURPOSE AS INSTRUCTED BY THE CLIENT ONLY. IT SHOULD NOT BE USED FOR ANY OTHER PURPOSE WITHOUT PERMISSION OF INTRAX.

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 155986_SUR_DE_21 MIDDLETON ROAD CROMER-E	REV	REVISION DETAILS	DATE	CLIENT:	COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No.	6	CONTOUR INTERVAL:	0.5m		PLAN SHOWING LEVELS, FEATURES & CONTOURS FOR PART OF LOT 6 IN DP 771621 "No.21" MIDDLETON ROAD, CROMER	SHEET No. 1 No. of SHEETS: 8 REFERENCE No: S#155986 REV: E
	A	ADDITIONAL DETAIL	14/12/20	REF:	S#155986	SURVEY FILE:	155986_JC_201201_DE	DATUM:	AHD			
	B	ADDITIONAL DETAIL	22/12/20	SURVEYED BY:	J CLEASBY	DATE OF SURVEY:	01/12/20	AUSTRALIAN HEIGHT DATUM	SSM 10941			
	C	ADDITIONAL DETAIL	02/03/21	DRAWN BY:	E LAZZARINI	CHECKED BY:	J CLARKE	R.L.:	18.581			
	D	STORMWATER DETAIL	07/05/21									
	E	STORMWATER LOCATING	20/05/21									

LEGEND:

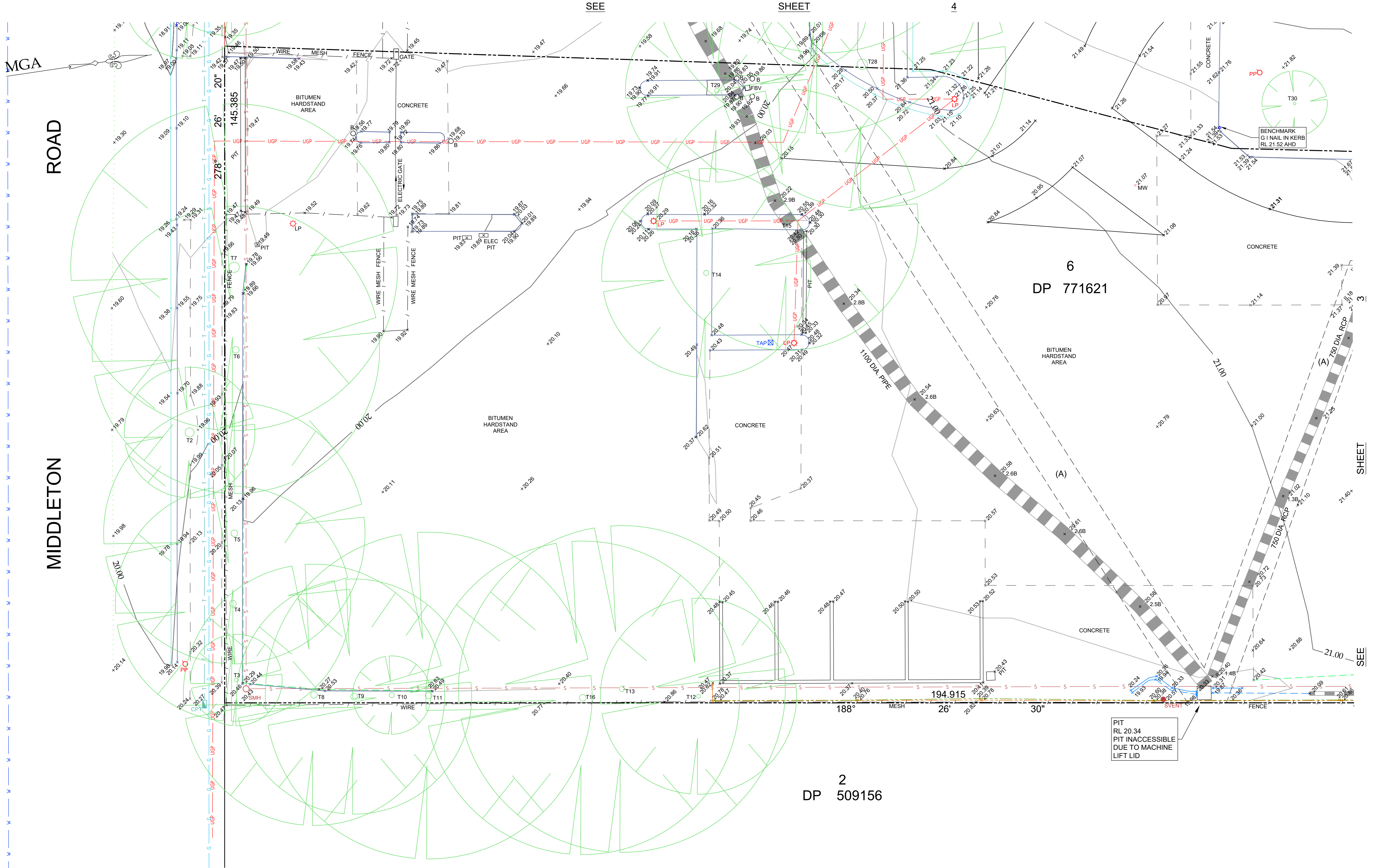
- Subject Boundary
- Easement Boundary
- Fence
- UGP UGP
- W W
- S S
- T T
- G G
- Stormwater Pipe
- Top of Kerb
- Lip of Kerb
- Crown of Road Formation
- Edge of Bitumen
- Edge of Concrete
- Top of Retaining Wall
- Bottom of Retaining Wall
- Invert of Table Drain
- Top of Table Drain
- Linemark
- Q PP Power Pole
- PB Power Box
- ☆ LP Light Pole
- ⊠ TAP Tap
- SMH Sewer Maintenance Hole
- SIO Sewer Inspection Opening
- CPT Telecommunications Pit
- Gutter Level
- Ridge Level
- Floor Level
- Bollard
- Fire Booster Valve
- Monitoring Well
- Tree

TREE SCHEDULE			
NO.	DIAMETER	SPREAD	HEIGHT
T2	0.7	10	12
T3	0.3	7	8
T4	0.5	18	20
T5	0.5	20	20
T6	0.5	22	20
T7	0.8	25	20
T8	0.5	20	20
T9	0.5	18	22
T10	0.4	6	18
T11	0.5	25	25
T12	0.3	15	20
T13	0.4	25	22
T14	0.4	16	15
T15	0.4	20	20
T16	0.5	24	25
T28	0.8	22	22
T29	0.35	14	16
T30	0.2	5	7

(A) EASEMENT TO DRAIN WATER 4.83 AND 2.5 WIDE (VIDE DP 771621)

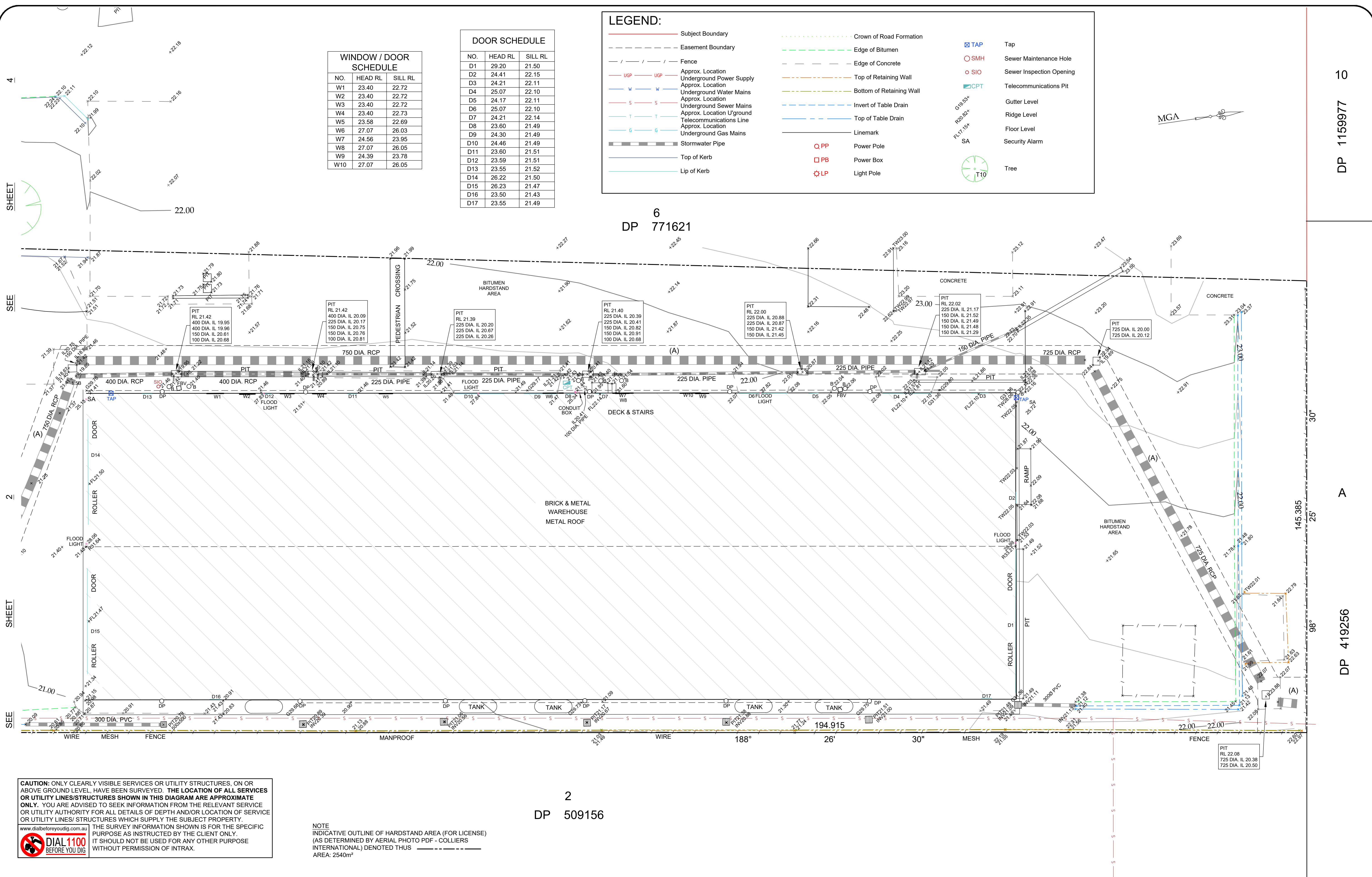
NOTE
INDICATIVE OUTLINE OF HARDSTAND AREA (FOR LICENSE)
(AS DETERMINED BY AERIAL PHOTO PDF - COLLIER'S
INTERNATIONAL) DENOTED THUS
AREA: 8540m²

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2
DP 509156

 21/05/2021 AUTHORISED OFFICER THIS PLAN TO BE READ IN CONJUNCTION WITH INTRAX REPORT WITH REFERENCE: S#155986 155986_SUR_DE_21 MIDDLETON ROAD CROMER-E	REV	REVISION DETAILS	DATE	CLIENT:	COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No.	6	CONTOUR INTERVAL:	0.5m	 www.intrax.com.au Intrax Consulting Group VIC NSW SA QLD	PLAN SHOWING LEVELS, FEATURES & CONTOURS FOR PART OF LOT 6 IN DP 771621 "No.21" MIDDLETON ROAD, CROMER	SHEET No. 2 No. of SHEETS: 8 REFERENCE No: S#155986 REV: E
	A	ADDITIONAL DETAIL	14/12/20	REF:	S#155986	SURVEY FILE:	155986_JC_201201_DE	DATUM:	AHD			
	B	ADDITIONAL DETAIL	22/12/20	SURVEYED BY:	J CLEASBY	DATE OF SURVEY:	01/12/20	ORIGIN OF LEVELS:	SSM 10941			
	C	ADDITIONAL DETAIL	02/03/21	DRAWN BY:	E LAZZARINI	CHECKED BY:	J CLARKE	R.L.:	18.581			
	D	STORMWATER DETAIL	07/05/21									



WINDOW / DOOR SCHEDULE		
NO.	HEAD RL	SILL RL
W1	23.40	22.72
W2	23.40	22.72
W3	23.40	22.72
W4	23.40	22.73
W5	23.58	22.69
W6	27.07	26.03
W7	24.56	23.95
W8	27.07	26.05
W9	24.39	23.78
W10	27.07	26.05

DOOR SCHEDULE		
NO.	HEAD RL	SILL RL
D1	29.20	21.50
D2	24.41	22.15
D3	24.21	22.11
D4	25.07	22.10
D5	24.17	22.11
D6	25.07	22.10
D7	24.21	22.14
D8	23.60	21.49
D9	24.30	21.49
D10	24.46	21.49
D11	23.60	21.51
D12	23.59	21.51
D13	23.55	21.52
D14	26.22	21.50
D15	26.23	21.47
D16	23.50	21.43
D17	23.55	21.49

LEGEND:

Subject Boundary

Easement Boundary

Fence

UGP

UGP

W

W

S

S

T

T

G

G

Stormwater Pipe

Top of Kerb

Lip of Kerb

Approx. Location Underground Power Supply

Approx. Location Underground Water Mains

Approx. Location Underground Sewer Mains

Approx. Location U'ground Telecommunications Line

Approx. Location Underground Gas Mains

Power Pole

Power Box

Light Pole

Crown of Road Formation

Edge of Bitumen

Edge of Concrete

Top of Retaining Wall

Bottom of Retaining Wall

Invert of Table Drain

Top of Table Drain

Linemark

Q PP

PB

LP

TAP

SMH

SIO

CPT

Gutter Level

Ridge Level

Floor Level

Security Alarm

T10

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NOTE
INDICATIVE OUTLINE OF HARDSTAND AREA (FOR LICENSE)
(AS DETERMINED BY AERIAL PHOTO PDF - COLLIERIES INTERNATIONAL) DENOTED THUS
AREA: 2540m²

155986_SUR_DE_21 MIDDLETON ROAD CROMER-E

REV	REVISION DETAILS	DATE
A	ADDITIONAL DETAIL	14/12/20
B	ADDITIONAL DETAIL	22/12/20
C	ADDITIONAL DETAIL	02/03/21
D	STORMWATER DETAIL	07/05/21
E	STORMWATER LOCATING	20/05/21

CLIENT: COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD

REF: S#155986

SURVEYED BY: J CLEASBY

DRAWN BY: E LAZZARINI

SURVEY FILE: 155986_JC_201201_DE

DATE OF SURVEY: 01/12/20

CHECKED BY: J CLARKE

LOT No. 6

SECTION -

PLAN No. DP 771621

SUBURB CROMER

LGA NORTHERN BEACHES

PARISH MANLY COVE

COUNTY CUMBERLAND

CONTOUR INTERVAL: 0.5m

DATUM: AHD

AUSTRALIAN HEIGHT DATUM

SSM 10941

R.L.: 18.581

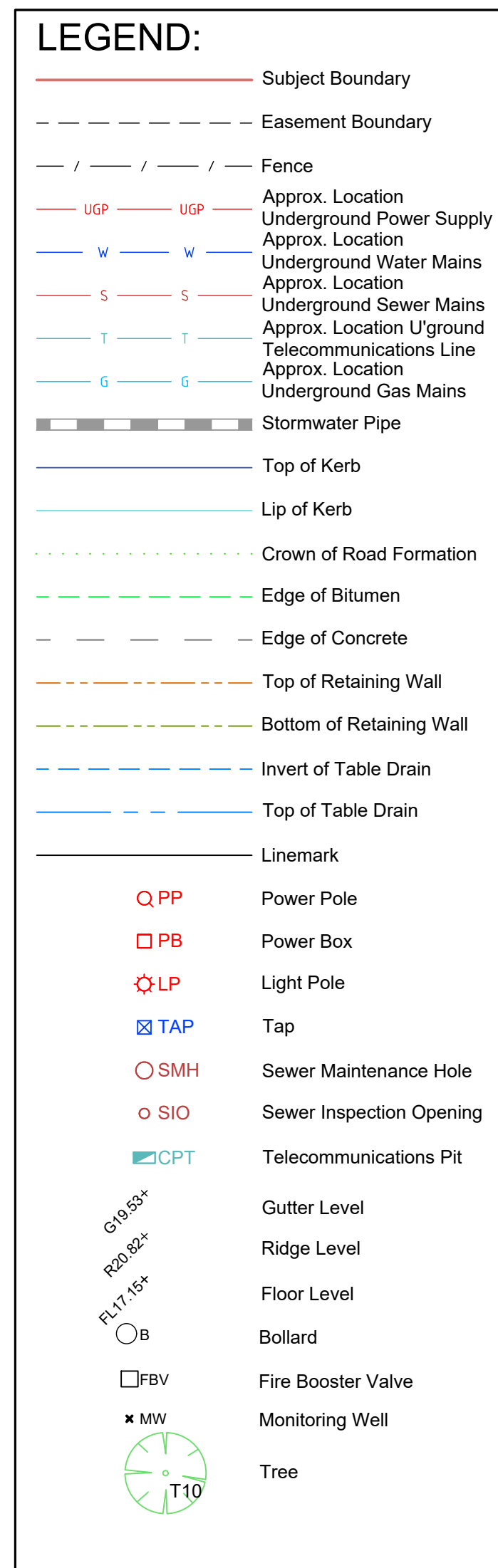
PLAN SHOWING LEVELS, FEATURES & CONTOURS FOR PART OF LOT 6 IN DP 771621 "No.21" MIDDLETON ROAD, CROMER

SHEET No. 3

No. of SHEETS: 8

REFERENCE No: S#155986

REV: E



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DYMPA

STREET

TREE SCHEDULE			
NO.	DIAMETER	SPREAD	HEIGHT
T1	0.5	10	12
T17	0.6	14	12
T18	0.4	10	8
T19	0.2	6	5
T20	0.6	10	10
T21	0.2	5	5
T22	0.5	20	22
T23	0.4	12	20
T24	0.5	25	20
T25	0.2	7	10
T26	1	25	20
T27	1	8	6
T28	0.8	22	22
T29	0.35	14	16
T30	0.2	5	7

LEGEND:

- Subject Boundary
- Easement Boundary
- Fence
- UGP UGP
- W W
- S S
- T T
- G G
- Stormwater Pipe
- Top of Kerb
- Lip of Kerb
- Crown of Road Formation
- Edge of Bitumen
- Edge of Concrete
- Top of Retaining Wall
- Bottom of Retaining Wall
- Invert of Table Drain
- Top of Table Drain
- Linemark
- Q PP
- PB
- LP
- TAP
- SMH
- SIO
- CPT
- G10.53+
- R20.02+
- FL1.16+
- B
- FBV
- MW
- T10
- Power Pole
- Power Box
- Light Pole
- Tap
- Sewer Maintenance Hole
- Sewer Inspection Opening
- Telecommunications Pit
- Gutter Level
- Ridge Level
- Floor Level
- Bollard
- Fire Booster Valve
- Monitoring Well
- Tree

ROAD

MIDDLETON

(A) EASEMENT TO DRAIN WATER 4.83 AND 2.5 WIDE
(VIDE DP 771621)

NOTE
INDICATIVE OUTLINE OF HARDSTAND AREA (FOR LICENSE)
(AS DETERMINED BY AERIAL PHOTO PDF - COLLIERS
INTERNATIONAL) DENOTED THUS
AREA: 8540m²

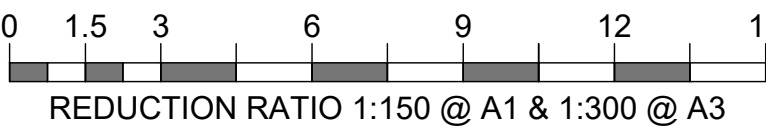
SEE

SHEET

4

J Clarke
21/05/2021
AUTHORISED OFFICER
THIS PLAN TO BE READ IN CONJUNCTION
WITH INTRAX REPORT WITH REFERENCE: S#155986
155986_SUR_DE_21 MIDDLETON
ROAD CROMER-E

REV	REVISION DETAILS	DATE
A	ADDITIONAL DETAIL	14/12/20
B	ADDITIONAL DETAIL	22/12/20
C	ADDITIONAL DETAIL	02/03/21
D	STORMWATER DETAIL	07/05/21
E	STORMWATER LOCATING	20/05/21



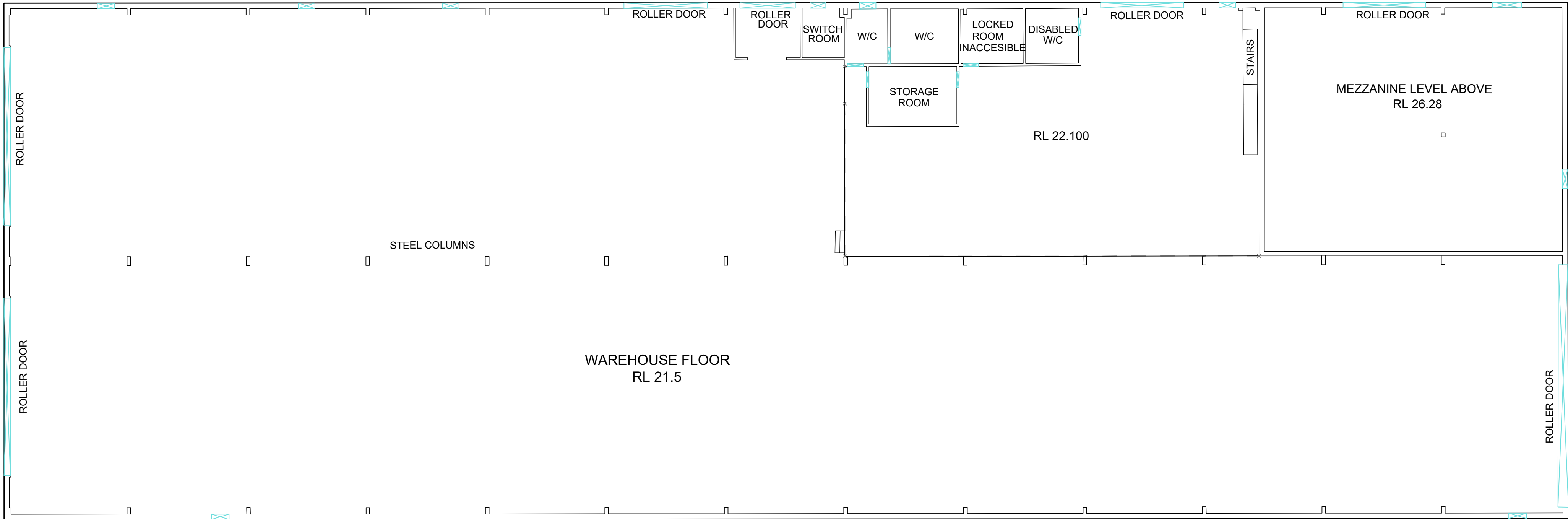
CLIENT:	COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No.	6
REF:	S#155986	SECTION	-
SURVEY FILE:	155986_JC_201201_DE	PLAN No.	DP 771621
SURVEYED BY:	J CLEASBY	SUBURB	CROMER
DATE OF SURVEY:	01/12/20	LGA	NORTHERN BEACHES
DRAWN BY:	E LAZZARINI	PARISH	MANLY COVE
CHECKED BY:	J CLARKE	COUNTY	CUMBERLAND

CONTOUR INTERVAL:	0.5m
DATUM:	AHD
AUSTRALIAN HEIGHT DATUM	
ORIGIN OF LEVELS:	SSM 10941
R.L.:	18.581

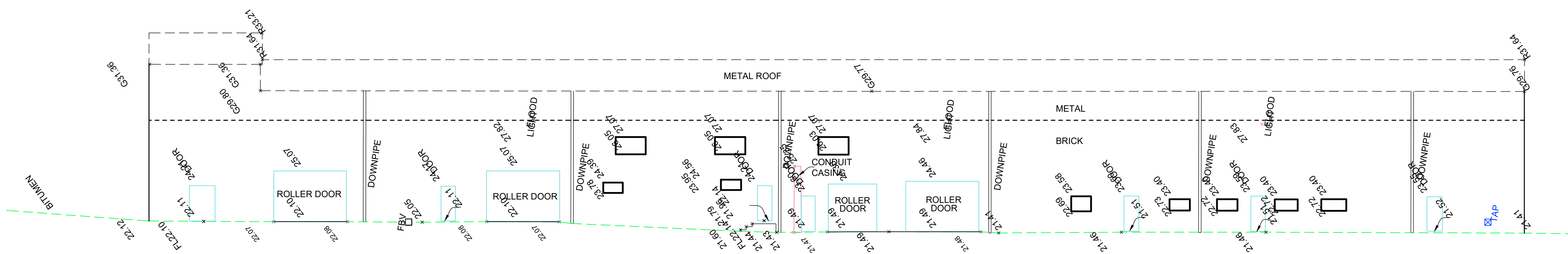
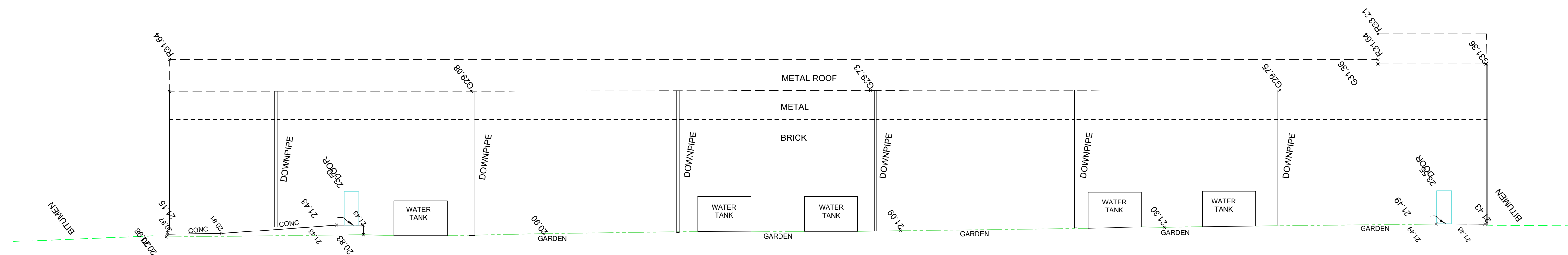
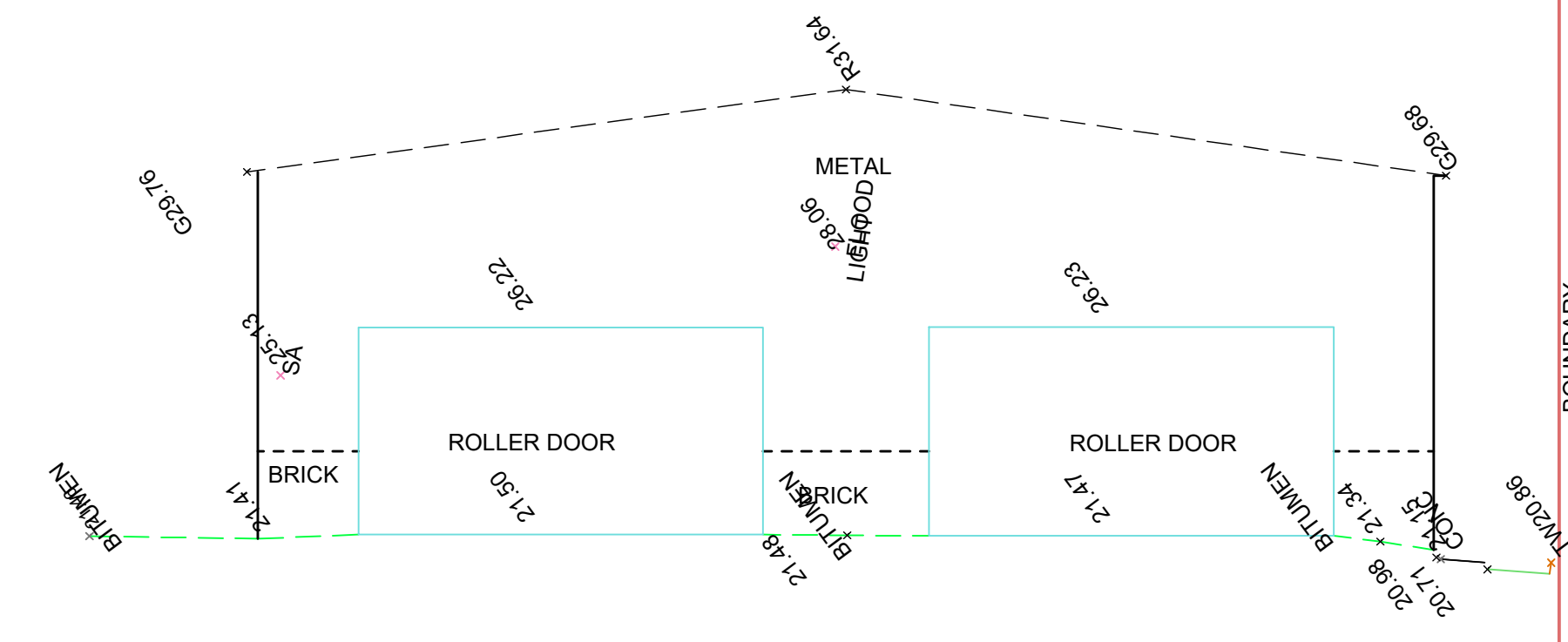
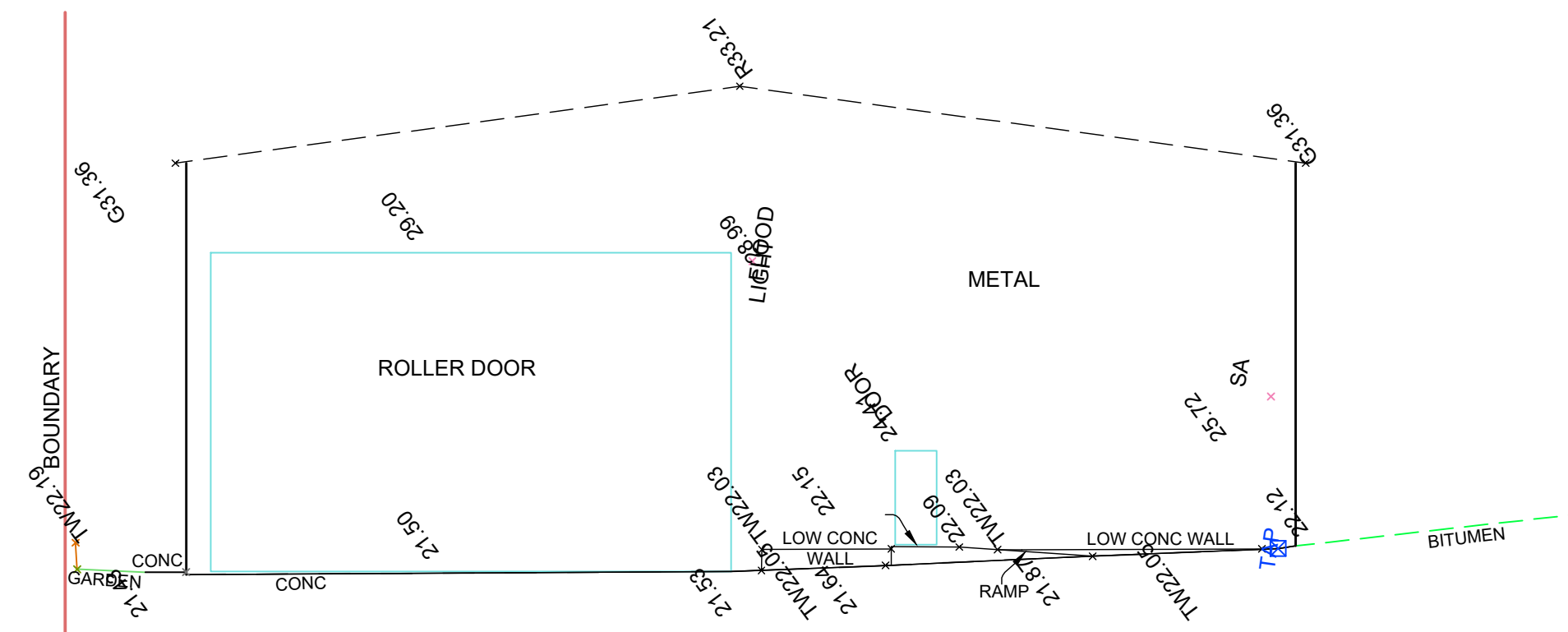


PLAN SHOWING LEVELS,
FEATURES & CONTOURS
FOR PART OF LOT 6 IN DP 771621
"No.21" MIDDLETON ROAD,
CROMER

SHEET No.	5
No. of SHEETS:	8
REFERENCE No:	S#155986
REV:	E

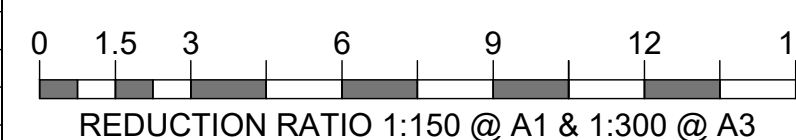


BRICK & METAL WAREHOUSE
INTERNAL LAYOUT



BRICK & METAL WAREHOUSE ELEVATIONS

REV	REVISION DETAILS	DATE
A	ADDITIONAL DETAIL	14/12/20
B	ADDITIONAL DETAIL	22/12/20
C	ADDITIONAL DETAIL	02/03/21
D	STORMWATER DETAIL	07/05/21
E	STORMWATER LOCATING	20/05/21



CLIENT:	COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No.	6
REF:	S#155986	SECTION	-
	155986_JC_201201_DE	PLAN No.	DP 771621
SURVEYED BY:	J CLEASBY	SUBBURB	CROMER
	DATE OF SURVEY: 01/12/20	LGA	NORTHERN BEACHES
DRAWN BY:	E LAZZARINI	PARISH	MANLY COVE
	CHECKED BY: J CLARKE	COUNTY	GIMBERLAND

CONTOUR INTERVAL:	0.5m
DATUM:	AHD
AUSTRALIAN HEIGHT DATUM	
ORIGIN OF LEVELS:	SSM 10941
R.L.:	18.581



PLAN SHOWING LEVELS,
FEATURES & CONTOURS
FOR PART OF LOT 6 IN DP 771621
"No.21" MIDDLETON ROAD,
CROMER

SHEET No. 7
No. of SHEETS: 8
REFERENCE No: S#155986
REV: E

ROAD

MIDDLETON

6
DP 771621

2
DP 509156

PROPOSED LICENCE AREA
6131m²
(HARDSTAND)

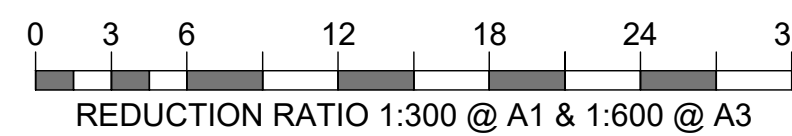
PROPOSED LEASE AREA
2408m²
(BUILDING A)

PROPOSED LEASE & LICENCE AREA



J. Clarke
21/05/2021
Authorised Officer
THIS PLAN TO BE READ IN CONJUNCTION
WITH INTRAX REPORT WITH REFERENCE: S#155986
155986_SUR_DE_21 MIDDLETON
ROAD CROMER-E

REV	REVISION DETAILS	DATE
A	ADDITIONAL DETAIL	14/12/20
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CLIENT:	COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No.	6
REF:	S#155986	SECTION	-
SURVEYED BY:	J CLEASBY	PLAN No.	DP 771621
DRAWN BY:	E LAZZARINI	SUBURB	CROMER
CHECKED BY:	J CLARKE	LGA	NORTHERN BEACHES
		PARISH	MANLY COVE
		COUNTY	CUMBERLAND

CONTOUR INTERVAL:	0.5m
DATUM:	AHD
ORIGIN OF LEVELS:	SSM 10941
R.L.:	18.581



PLAN SHOWING LEVELS,
FEATURES & CONTOURS
FOR PART OF LOT 6 IN DP 771621
"No.21" MIDDLETON ROAD,
CROMER

SHEET No.	8
No. of SHEETS:	8
REFERENCE No:	S#155986
REV:	E

DP 419256 A
DP 1159977 10