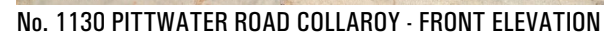
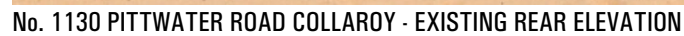


Drawing No.	Title
A0000	COVER SHEET
A0001	BASIX
A0002	SITE PLAN
A1000	DEMOLITION PLAN
A2101	GROUND PLAN
A2102	FIRST FLOOR PLAN
A2103	ROOF PLAN
A3000	NORTH/EAST ELEVATION
A3001	SOUTH/WEST ELEVATION
A3002	COURTYARD ELEVATIONS
A3101	SECTION AA
A3102	SECTION BB
A3103	SECTION CC/DD
A4000	SHADOW DIAGRAMS
A5000	AREA SCHEDULE
A6000	FRONT PERSPECTIVE
A6001	REAR PERSPECTIVE



SITE AREA	385.70m ²
-----------	----------------------

BUILDING FOOTPRINT		
ALLOWABLE:	128.40m ²	(33.3% x SITE AREA)
EXISTING:	125.38m ²	(32%)
PROPOSED:	184.79 m ²	(48%)

[illegible]

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.



project 1130 PITTWATER RD
drawing COLLAROY
drawn MA/JG checked MA
date 22.05.23 scale: 1, 1:4.15 @ A3
project no drawing no issue
2 23 10 A0000 A

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

Single Dwelling

Certificate number: 1412073S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 08 September 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	1130 Pittwater Rd HEC1482
Street address	1130 Pittwater Road Collaroy 2097
Local Government Area	Northern Beaches Council
Plan type and plan number	deposited Plan 121939
Lot no.	1
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	386
Roof area (m²)	126
Conditioned floor area (m2)	266.0
Unconditioned floor area (m2)	7.0
Total area of garden and lawn (m2)	150

Assessor details and thermal loads		
Assessor number	DMN/18/4423	
Certificate number	HR-A9EO3G-01	
Climate zone	56	
Area adjusted cooling load (MJ/m²·year)	24	
Area adjusted heating load (MJ/m²·year)	40	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	Yes	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by	
Name / Company Name: House Energy Certified	
ABN (if applicable): 81601166561	

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	

Alternative water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: • all toilets in the development		✔	✔
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔
Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor.	✔	✔	✔
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Floor and wall construction	Area
floor - concrete slab on ground	119.0 square metres
floor - suspended floor/enclosed subfloor	6.0 square metres

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	DATE
ISSUE AMENDMENT	
A FOR DA	15.09.23

NOTES
ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 2.5 Star (old label)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 2.5 Star (old label)		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: electric floor heating; Energy rating: n/a		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 2.5 Star (old label)		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off			
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off			
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off			
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 4 of the bedrooms / study; dedicated • at least 1 of the living / dining rooms; dedicated • the kitchen; dedicated			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated			
• the laundry; dedicated		✔	✔
• all hallways; dedicated		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✔	

Assessor Construction Summary

Issued for information only - refer to the NatHERS Certificate(s).

Project:	Address:	1130 Pittwater Road Collaroy NSW 2097	File Ref:	HEC1482
-----------------	-----------------	---------------------------------------	------------------	---------

Applicant:	Name:	Azzwic Holdings Pty Ltd	Designer:	Map Architects Pty Ltd
-------------------	--------------	-------------------------	------------------	------------------------

Assessor:	Name:	Paul Gradwell	Company:	House Energy Certified
	Address:	PO BOX 3136 Tamarama NSW 2026	Number:	DMN/18/4423
	Contact:	02 9130 2068	Email:	paul@houseenergycertified.com

Ext. Walls:	Construction	Insulation	Colour	Details
	Cavity Brick	25mm Kooltherm K8 or equiv (R1.1)	Light	As per plans
	Metal Clad	R2.5 added	Dark	As per plans

Int. Walls:	Construction	Insulation	Details
	Plasterboard on Stud	R2.5 added	To garage

Floors:	Construction	Insulation	Details
	Concrete	R1.0 added	To slab edge where underfloor heating
	Concrete	R1.1 added	Where open below/Above cellar
	Concrete	R4.0 added	Above garage

Ceilings:	Construction	Insulation	Details
	Plasterboard	R4.0 added	Where flat
	Plasterboard	R2.5 added	Where raked

Roof:	Construction	Insulation	Colour	Details
	Concrete	90mm PIR or equiv (R4.1)	Medium	Ground floor roof
	Metal Deck	60mm Anticon (R1.3)	Dark	First floor roof

Windows:	Product ID	Glass	Frame	Uw/SHGCw	Details
Group A	ALM-003-03 A	Double Clear	Aluminium	4.3/0.47	Casement, Entry Door
Group B	ALM-004-03 A	Double Clear	Aluminium	4.3/0.53	Fixed, Sliding
Group B	ALM-002-01 A	Single Clear	Aluminium	6.7/0.70	Louvre

Skylights:	Product ID	Glass	Type	Uw/SHGCw	Details
	VEL-011-01 W	Double Fixed	Roof Light	2.6/0.24	As per plans

Other:	Orientation	Terrain	Rangehood	Recessed Downlights	Software Version
	0	Exposed	Ducted	Sealed LED - 1 per 2.5m²	HERO

Notes

R2.5 added to the walls to roof space

Add 1 x 1200 mm ceiling fan to Living room

Nationwide House Energy Rating Scheme NatHERS Certificate No. #HR-A9EO3G-01

Generated on 08 Sep 2023 using Hero 3.0.1

Property

Address	1130 Pittwater Road, Collaroy, NSW, 2097
Lot/DP	1/121939
NCC Class*	1a
Type	New

Plans

Main Plan 2-23-10

Prepared by MA/JG

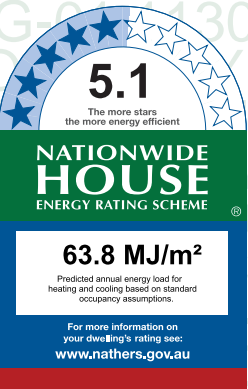
Construction and environment

Assessed floor area (m²)*	Exposure Type
Conditioned* 266.1	Exposed
Unconditioned* 7.1	NatHERS climate zone
Total 312.1	56 - Mascot AMO
Garage 38.9	



Accredited assessor

Name	Paul Gradwell
Business name	House Energy Certified
Email	paul@houseenergycertified.com
Phone	+61 410315381
Accreditation No.	DMN/18/4423
Assessor Accrediting Organisation	DMN
Declaration of interest	No Conflict of Interest



Thermal Performance

Heating	Cooling
39.6	24.2
MJ/m²	MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

To verify this certificate, scan the QR code or visit <http://www.hero-software.com.au/pdf/HR-A9EO3G-01>. When using either link, ensure you are visiting <http://www.hero-software.com.au>



National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.

State and territory variations and additions to the NCC may also apply.

* Refer to glossary.
Generated on 08 Sep 2023 using Hero 3.0.1 for 1130 Pittwater Road, Collaroy, NSW, 2097



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

1:4.15
ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION			
project	1130 PITTWATER RD COLLAROY		
drawing	BASIX		
drawn	MA/JG	checked	MA
project no	14207_22052326	drawing no	A0001
2_23_10		issue	A

EXAMPLE OF 1.8M STEEL MESH CHAIN WIRE FENCE

SITE ACCESS
PROVIDE A SINGLE STABILISED ENTRY/EXIT POINT.
SEDIMENT OR BUILDING WASTE SHOULD BE REMOVED
FROM THE ROAD BY SWEEPING, SHOVELLING OR
SPONGING; NOT WASHING.

DIVERSION OF WATER
DIVERT RUN OFF AWAY FROM DISTURBED AREAS AND
STOCKPILES USING BANKS AND CHANNELS.
RUN OFF SHOULD BE TREATED (BY SEDIMENT FENCE OR
THE LIKE) BEFORE LEAVING THE SITE.

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA).
ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS/EQUIPMENT.

DETAIL 2
GUTTER PROTECTION
GRAVEL SAUSAGES, GRAVEL BAGS OR SAND BAGS SHOULD
BE INSTALLED AROUND STORM WATER INLETS TO REDUCE
THE RISK OF UNTREATED RUN OFF ENTERING THE
WATERWAYS.

**DETAIL 3
STOCKPILES**

STOCKPILES SHOULD BE LOCATED UPSLOPE AWAY FROM DRAINAGE LINES.

RUN OFF SHOULD BE DIVERTED AWAY FROM THE STOCKPILE.

PROTECT STOCKPILES WITH WATERPROOF COVERING.

INSTALL A SEDIMENT CONTROL DEVICE ON THE DOWNSLOPE SIDE OF THE STOCKPILE.


STOCKPILES MUST NOT BE STORED ON FOOTPATHS.

[illegible]

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd..

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.




#HR-A9EO3G-01 08/09/2023

Assessor Paul Gradwell

Accreditation No. DMN/18/4423

Address

1130 Pittwater Road,
Collaroy, NSW, 2097



5.1

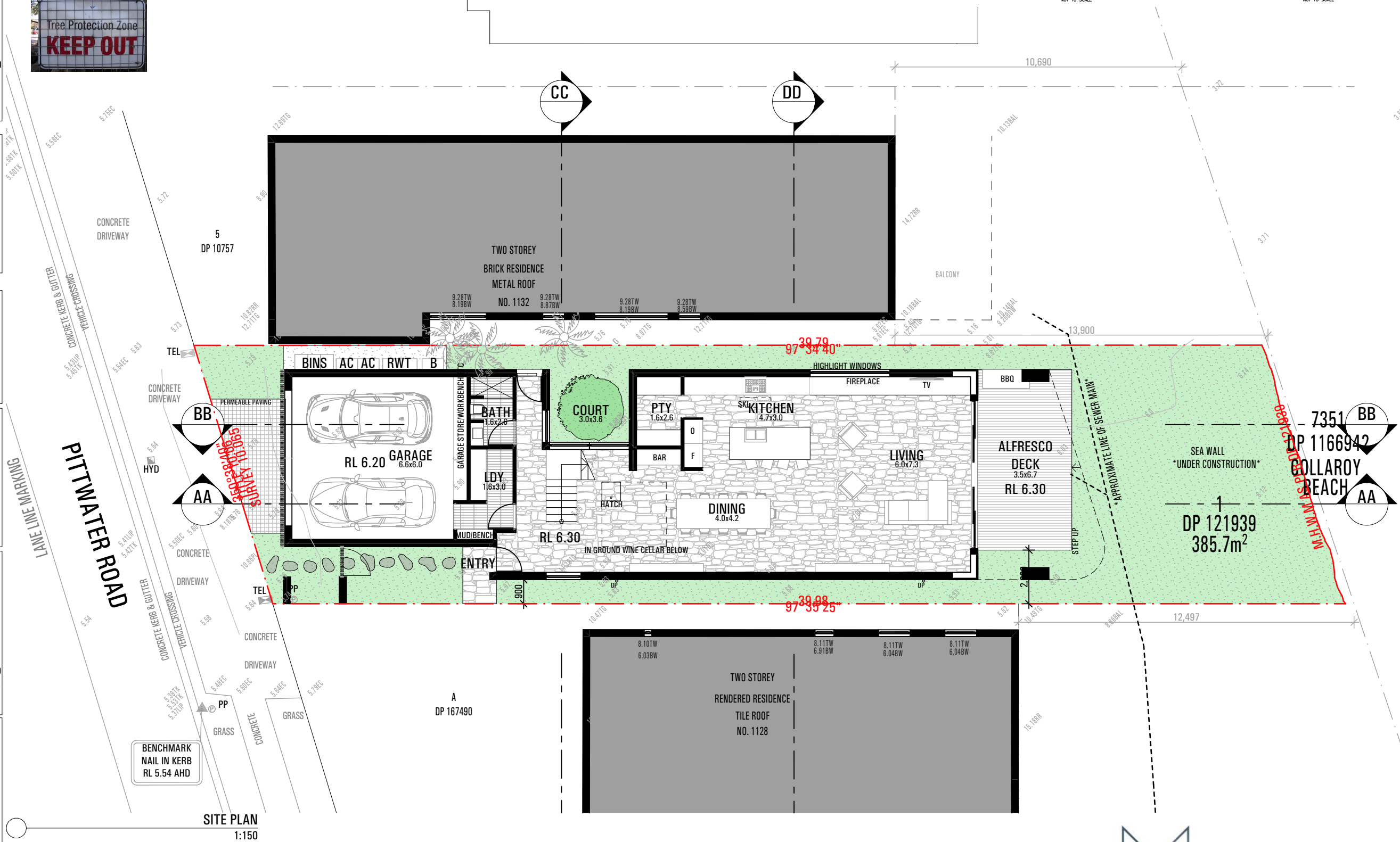
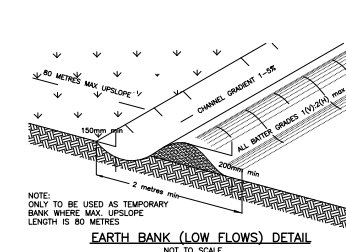
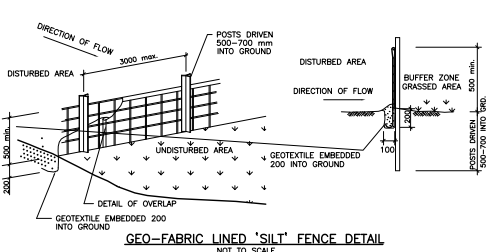
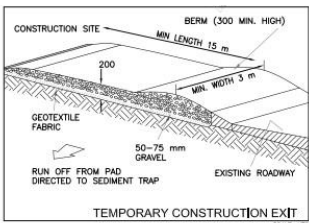
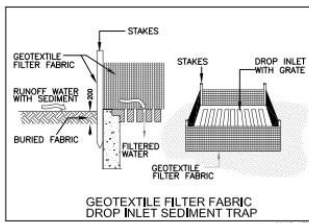
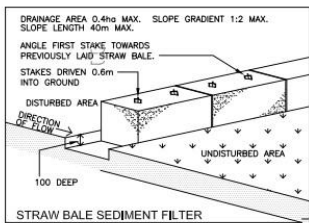
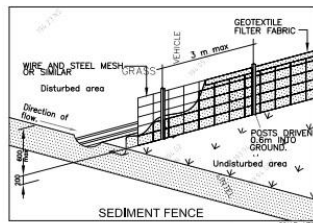
**NATIONALLY
ACCREDITED
HOUSE**

63.8

MJSP®

www.natshere.gov.au

<http://www.hero-software.com.au/pdf/HR-A9EO3G-01>



MAP
ARCHITECTS

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

project 1130 PITTSWATER RD
COLLAROY
drawing

drawn MA/JG checked MA

1:1.98 @ 1:12925	2:333, 1:4.29	1:4.15 @ A
project no	drawing no	issue
2 23 10	A0002	A

DEMOLITION

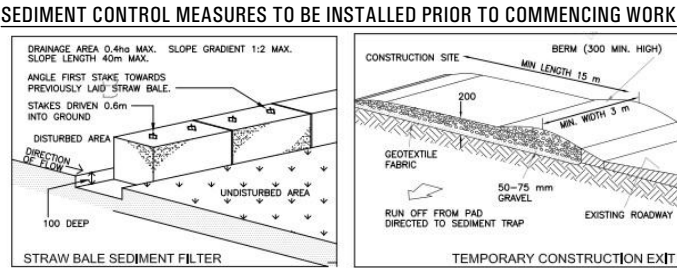
STANDARD
DEMOLITION: TO AS 2601
DEMOLISHED MATERIALS
EXCEPT FOR MATERIALS TO BE SALVAGED AND RETAINED BY THE OWNER OR RE-USED,
DEMOLISH MATERIALS AND REMOVE FROM THE SITE.
DO NOT BURN OR BURY DEMOLISHED MATERIALS ON THE SITE.
SUPPORT
PROVIDE TEMPORARY SUPPORT FOR SECTIONS OF EXISTING BUILDINGS WHICH ARE TO
BE ALTERED AND WHICH RELY FOR SUPPORT ON WORK TO BE DEMOLISHED.
ASBESTOS REMOVAL
METHOD: USE WET REMOVAL METHODS RECOMMENDED IN THE CODE OF PRACTICE FOR
THE REMOVAL OF ASBESTOS (HOHSC: 2002), INCLUDING PART 4 FOR INSULATION AND
LAGGING, AND PART 9 FOR ASBESTOS CEMENT.
MONITORING: HAVE DUST MONITORING PERFORMED BY AN INDEPENDENT TESTING
AUTHORITY.

ELEMENTS TO BE REMOVED

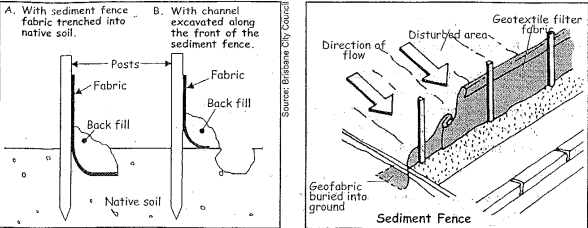
NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DEMOLITION SPECIFICATION, SCHEDULES, ENVIRONMENTAL MANAGEMENT PLAN & DA CONSENT CONDITIONS THE PUBLIC FOOTWAYS & ROADWAYS ADJACENT TO THE SITE SHALL BE MAINTAINED AT ALL TIMES DURING THE COURSE OF THE WORK IN A SAFE CONDITION. LIGHTING, FENCING, TRAFFIC CONTROL & ADVANCED WARNING SIGNS SHALL BE PROVIDED FOR THE PROTECTION OF THE WORKS & THE SAFETY & CONVENIENCE OF THE PUBLIC TO THE SATISFACTION OF THE PCA & IN ACCORDANCE WITH COUNCIL'S STANDARD SPECIFICATION FOR ENGINEERING WORKS. TRAFFIC MOVEMENT IN BOTH DIRECTIONS ON PUBLIC ROADS, AND VEHICLE ACCESS TO PRIVATE PROPERTIES IS TO BE MAINTAINED AT ALL TIMES DURING THE WORKS

CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORKS WILL INSTALL, MAINTAIN & IMPLEMENT SOIL & SEDIMENT CONTROL MEASURES AT ALL TIMES. THE MEASURES TO REMAIN IN PROPER OPERATION UNTIL ALL DEVELOPMENT ACTIVITIES HAVE BEEN COMPLETED & THE SITE FULLY STABILISED, REFER TO HYDRAULIC ENGINEER'S SEDIMENT CONTROL PLAN DRAWING 0708 SCP-01 REVISION B ISSUED 25/07/07. TOILET FACILITIES TO BE PROVIDED DURING DEMOLITION & CONSTRUCTION, AT A RATE OF 1 TOILET TO 20 PERSONS OR PART PERSONS ON SITE. DEMOLITION MUST BE UNDERTAKEN IN ACCORDANCE WITH PROVISIONS OF AS2601. DEMOLITION OF STRUCTURES. ALL EXISTING WALL FIXINGS, EXPOSED SERVICES, WIRING ETC. NOT REUSED TO BE CAPPED OFF & MADE SAFE, IN ACCORDANCE WITH DEMOLITION SPECIFICATION. ALL FILL & VEGETATION TO EXISTING PLANTERS TO BE REMOVED & ANY SERVICE CAPPED WHERE WALLS ARE TO BE REMOVED & NOT REPLACED, THE EXISTING WALLS TO BE MADE GOOD WORK MUST SATISFY APPLICABLE OCCUPATIONAL HEALTH & SAFETY, & CONSTRUCTION SAFETY REGULATIONS, INCLUDING ANY WORK COVER AUTHORITY REQUIREMENTS. SITE FENCE TO BE INSTALLED TO EXCLUDE PUBLIC FROM SITE. SAFETY SIGNS MUST BE ERECTED TO WARN PUBLIC TO KEEP OFF SITE AND PROVIDE A TELEPHONE CONTACT NUMBER FOR ENQUIRIES. WORK COVER AUTHORITY TO BE NOTIFIED IMMEDIATELY IF ANY PART OF THE BUILDING BEING DEMOLISHED OR REMOVED IS IDENTIFIED OR SUSPECTED OF CONTAINING ASBESTOS. THE REQUIREMENTS & STANDARDS IMPOSED BY THE AUTHORITY, ITS CONSULTANTS OR CONTRACTORS SHALL BE COMPLIED WITH. IF REQUIRED CONTRACTOR SHALL ENGAGE QUALIFIED CONSULTANT TO UNDERTAKE ASBESTOS & LEAD PAINT CONTAMINATION SURVEY DEMOLITION WORKS SHALL BE RESTRICTED TO WITHIN THE HOURS OF 8.00AM TO 5.00PM MONDAY TO FRIDAY ONLY. THE BUILDER SHALL DISPLAY ON-SITE, THEIR 24 HOUR CONTACT NUMBER, WHICH IS CLEARLY VISIBLE & LEGIBLE FROM ANY PUBLIC PLACE ADJOINING THE SITE NOISE EMISSIONS & VIBRATIONS TO BE MINIMISED WHERE POSSIBLE & WORK TO BE CARRIED OUT IN ACCORDANCE WITH EPA GUIDELINES & COMPLY WITH THE PROTECTION OF THE ENVIRONMENTAL OPERATIONS ACT 1997. ALL PLANT & EQUIPMENT USED DURING DEMOLITION SHALL BE SITUATED WITHIN THE BOUNDARIES OF THE SITE AND PLACED SO THAT ALL SLURRY, WATER AND DEBRIS SHALL BE DISCHARGED & CONTAINED ON SITE. ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA)
ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

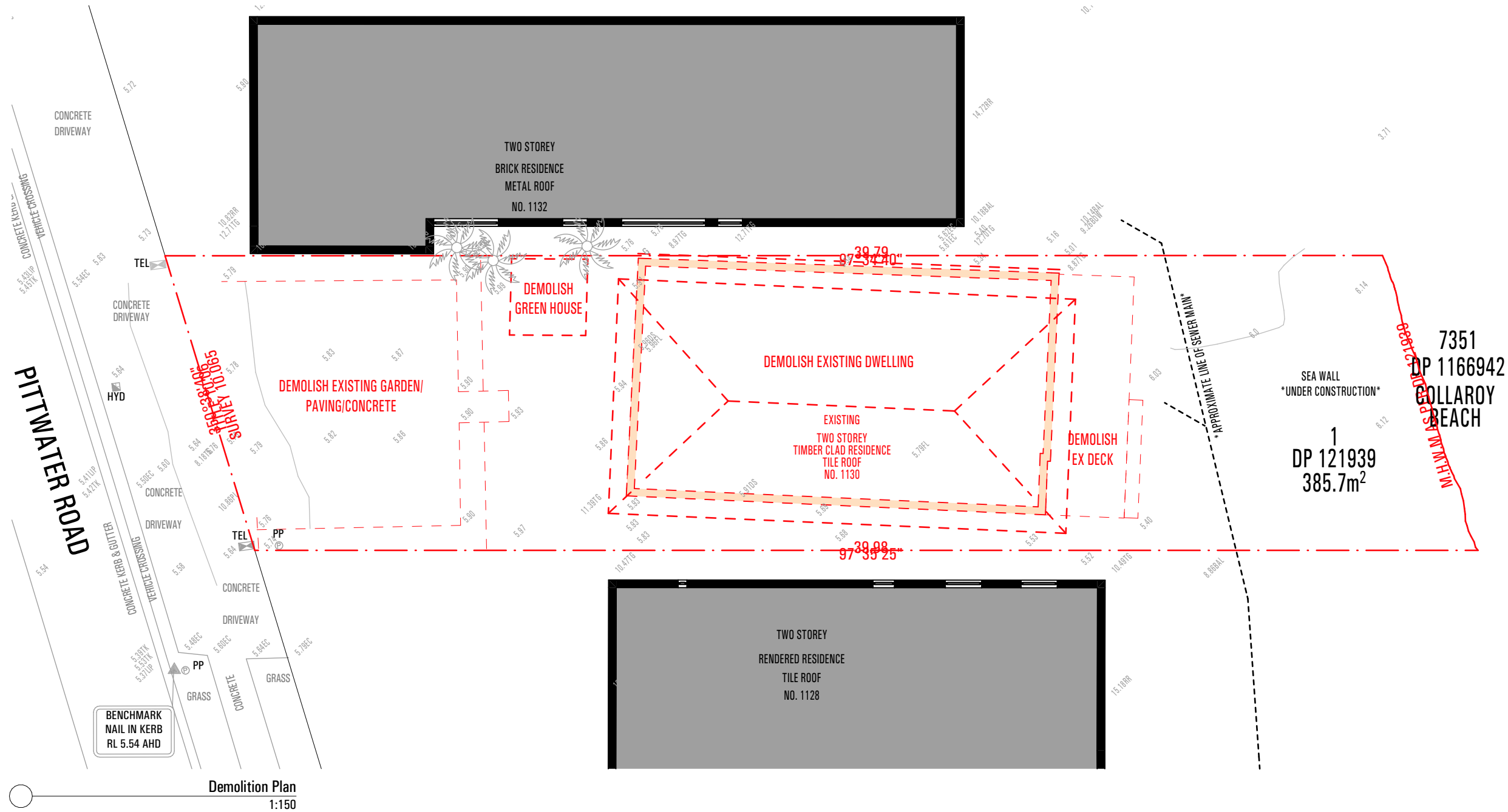
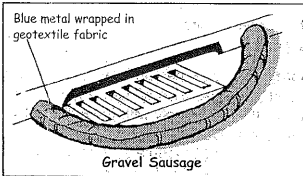


- Sediment Fences should be installed downslope to treat site run-off.
- To be effective they need to be installed properly and maintained regularly.



Cutter Protection.

As a precautionary measure, sediment controls such as gravel sausages, gravel bags or sand bags should be installed around stormwater inlets if there is a risk of untreated run-off entering the waterways.



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	ISSUE	AMENDMENT	DATE
A	FOR DA		15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



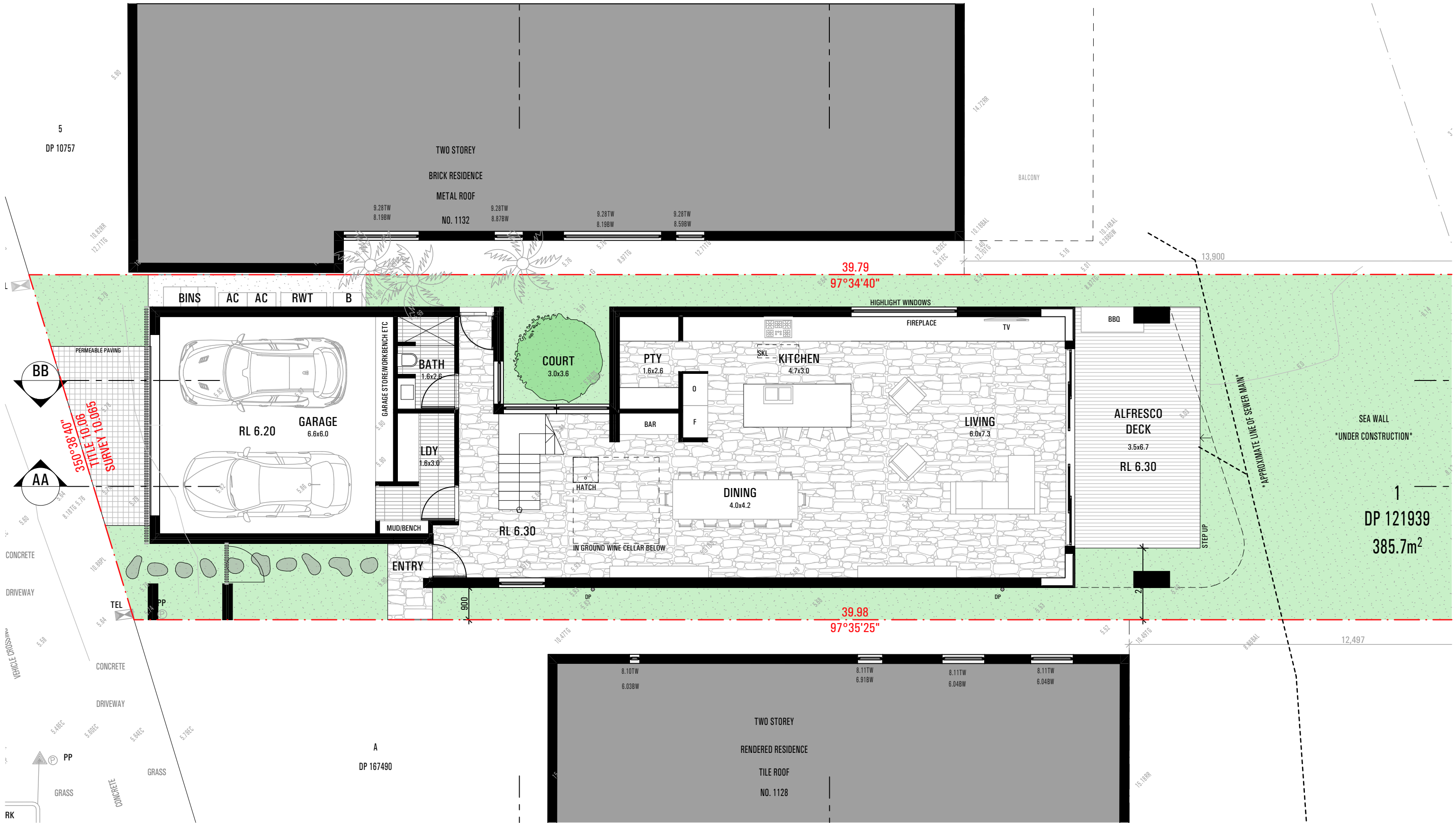
Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION	
project	1130 PITTWATER RD
drawing	COLLAROY
DEMOLITION PLAN	
drawn	MA/JG
checked	MA

1:150, 1:200, 1:400, 1:800, 1:150 @ A3

project no	drawing no	issue
2_23_10	A1000	A



GROUND FLOOR PLAN
1:100

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	ISSUE	AMENDMENT	DATE
A	FOR DA		15.09.23

NOTES
ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

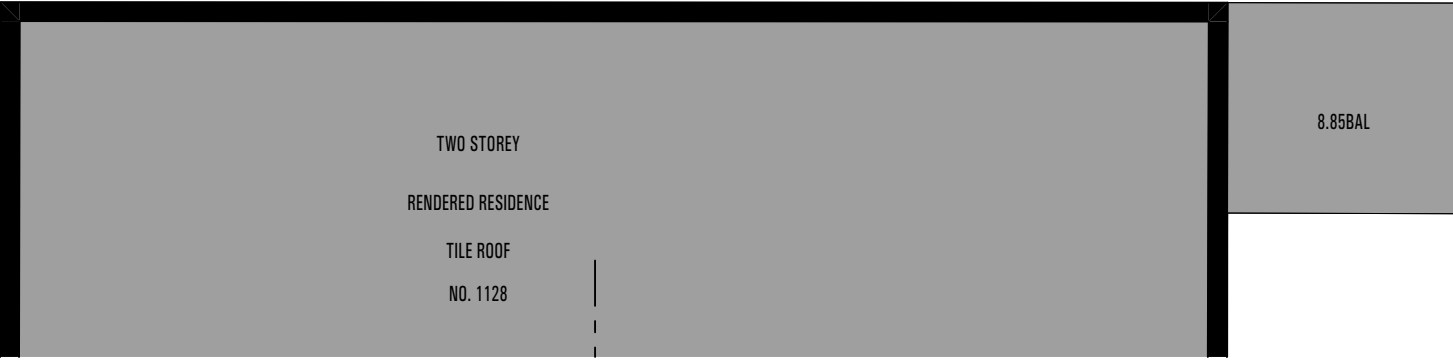
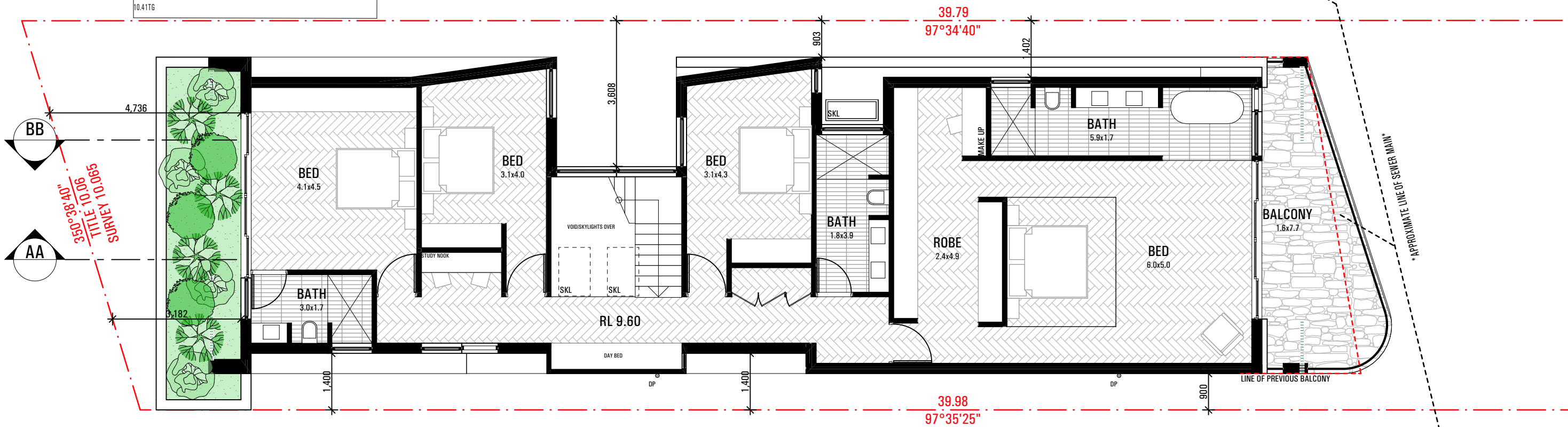
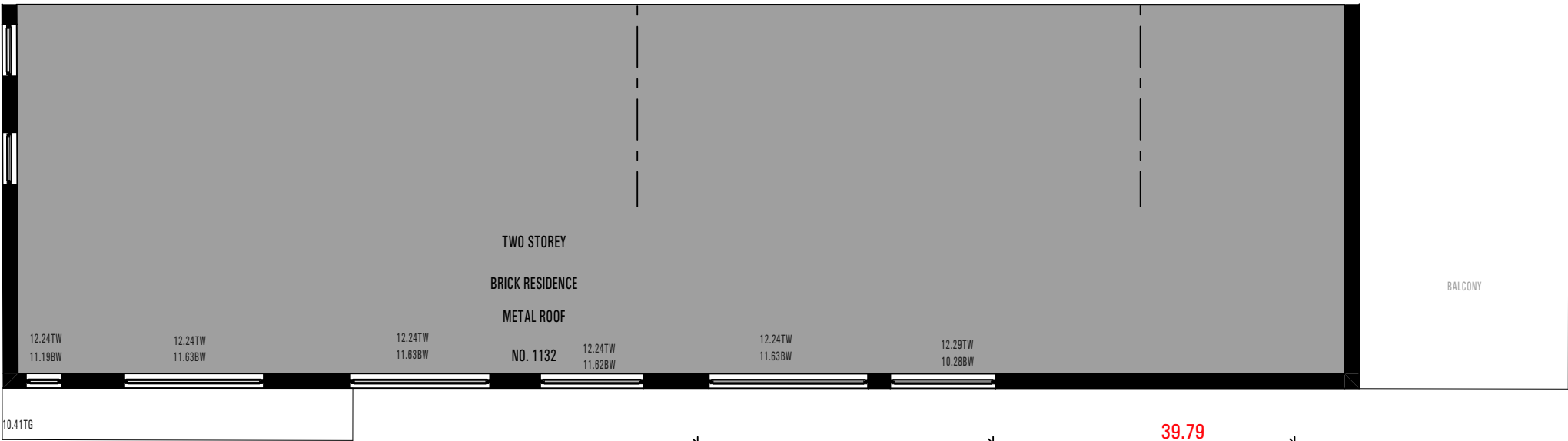
This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION			
project	1130 PITTWATER RD COLLARROY		
drawing	GROUND PLAN		
drawn	MA/JG	checked	MA
date	22.05.23	scale	A00, 1:4.15 @ A3
project no	2_23_10	drawing no	A2101
		issue	A



FIRST FLOOR PLAN
1:100

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	ISSUE	AMENDMENT	DATE
A	FOR DA		15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

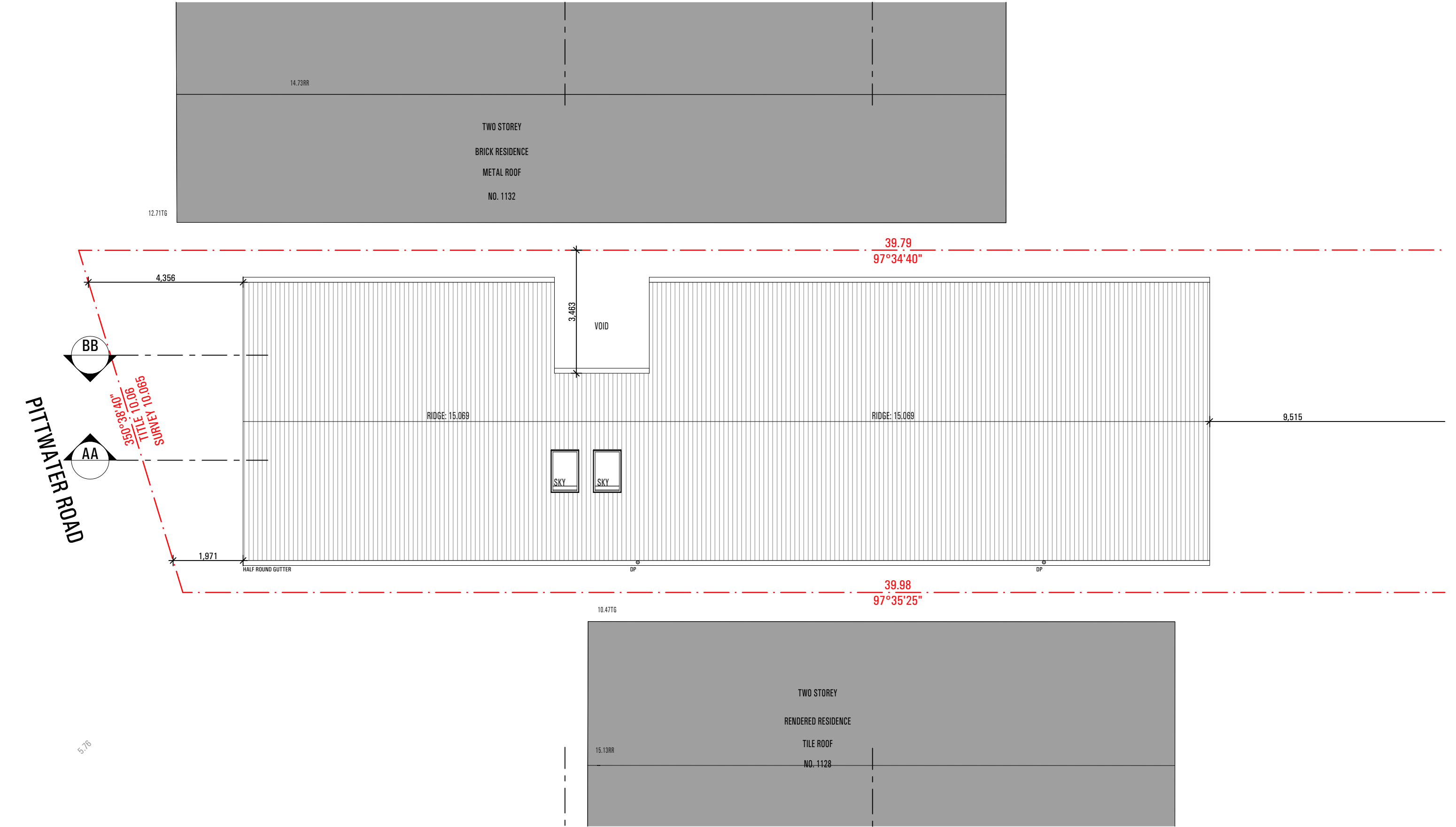
This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION			
project	1130 PITTWATER RD COLLARROY		
drawing	FIRST FLOOR PLAN		
drawn	MA/JG	checked	MA
date	22.05.23	scale	A00, 1:4.15 @ A3
project no	2_23_10	drawing no	A2102
		issue	A



ROOF PLAN

1:100

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

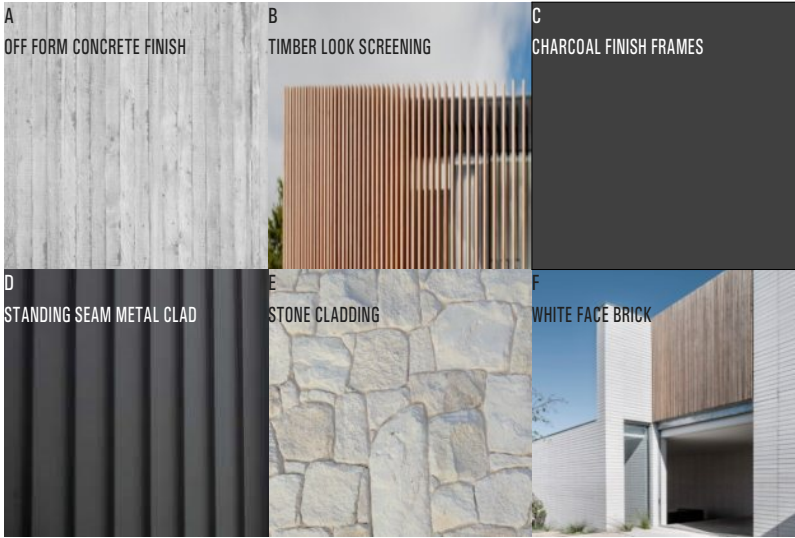
ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION			
project	1130 PITTWATER RD COLLAROY		
drawing	ROOF PLAN		
drawn	MA/JG	checked	MA
date	22.05.23	scale	A00, 1:4.15 @ A3
project no	2_23_10	drawing no	A2103
issue	A		



EAST ELEVATION
1:100

MATERIALS AND FINISHES



NORTH ELEVATION
1:100

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

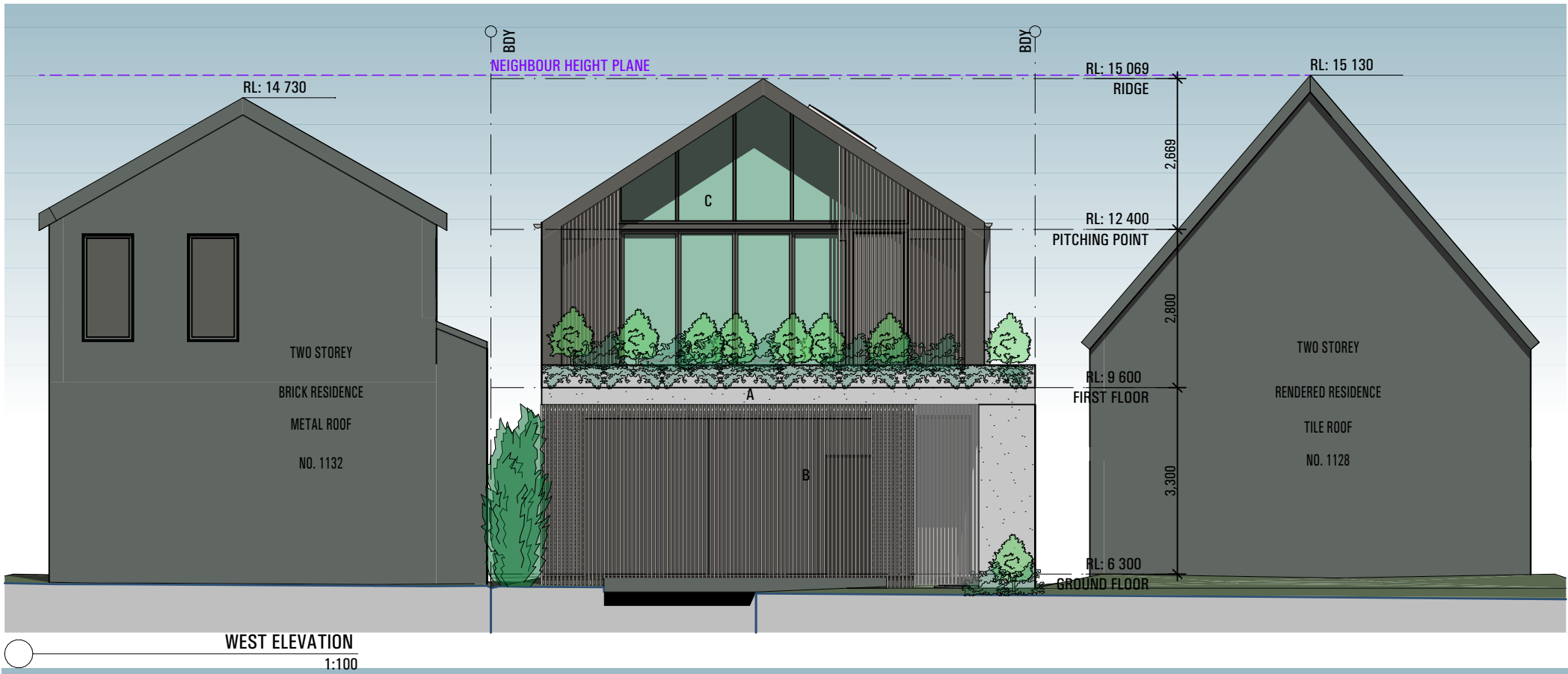


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

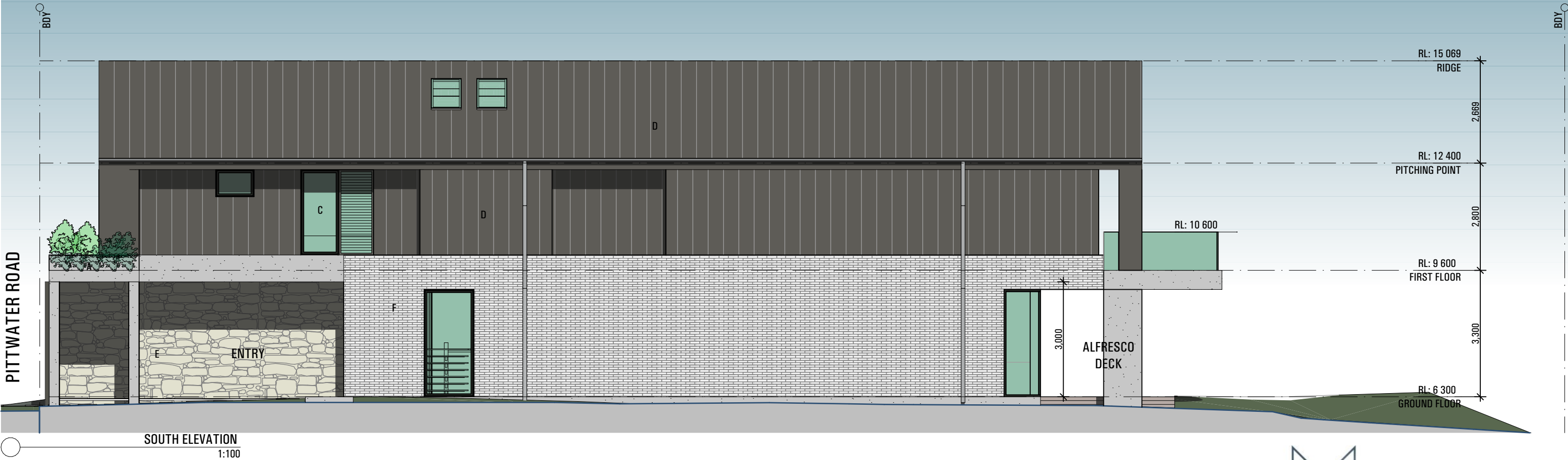
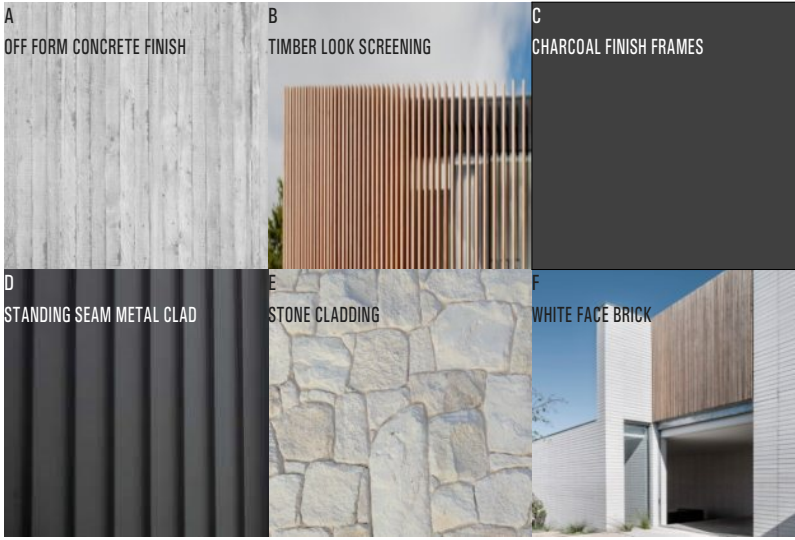
ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION

project	1130 PITTWATER RD
	COLLARROY
drawing	
drawn	MA/JG
checked	MA
date	22.05.23
scale	1:4.15 @ A3
project no	2_23_10
drawing no	A3000
issue	A



MATERIALS AND FINISHES



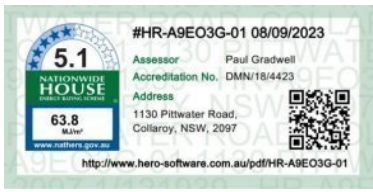
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

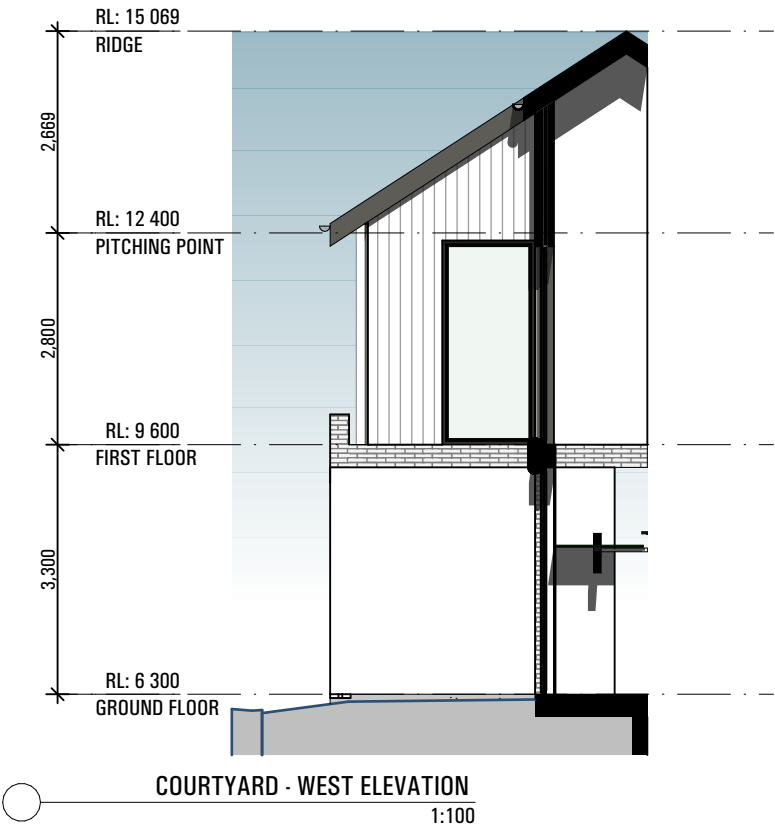
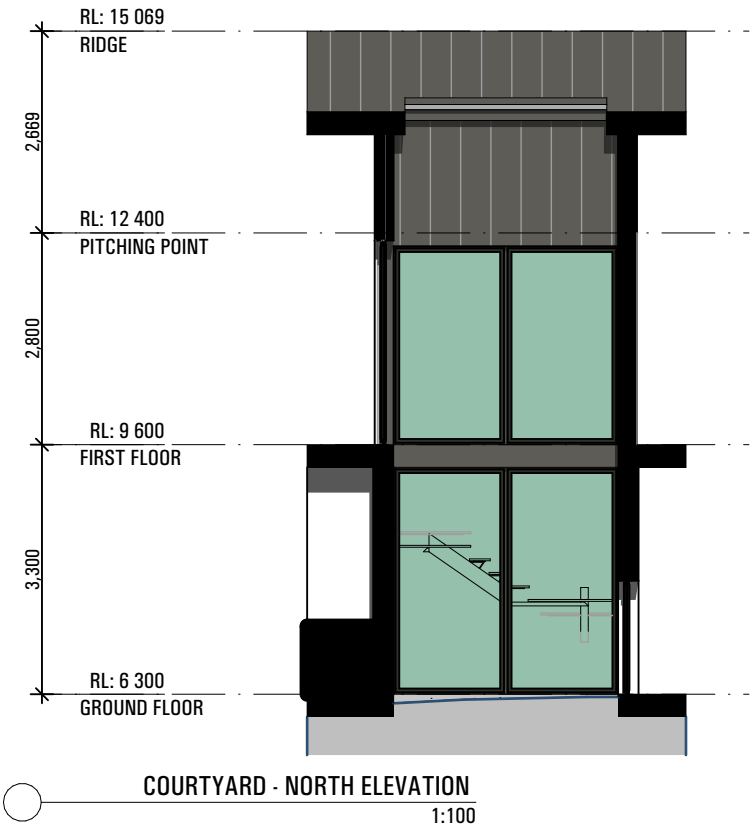
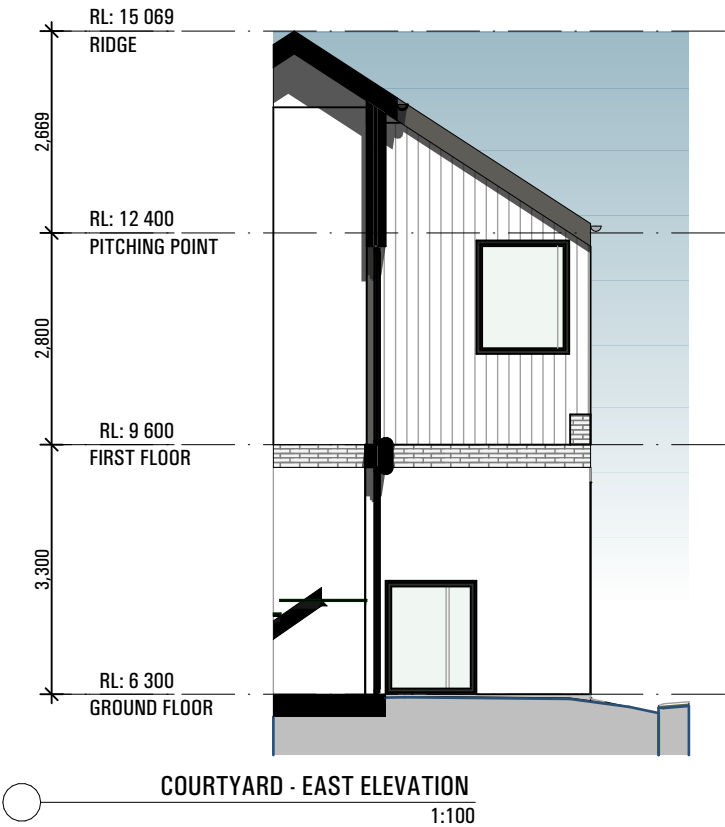
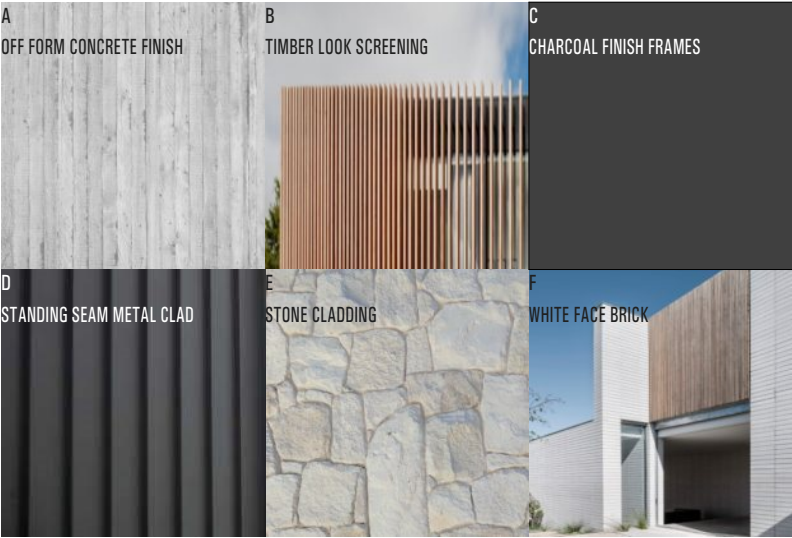


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION			
project	1130 PITTWATER RD COLLAROY		
drawing	SOUTH/WEST ELEVATION		
drawn	MA/JG	checked	MA
date	22.05.23	scale	1:4.15 @ A3
project no	2_23_10	drawing no	A3001
		issue	A

MATERIALS AND FINISHES



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.


This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

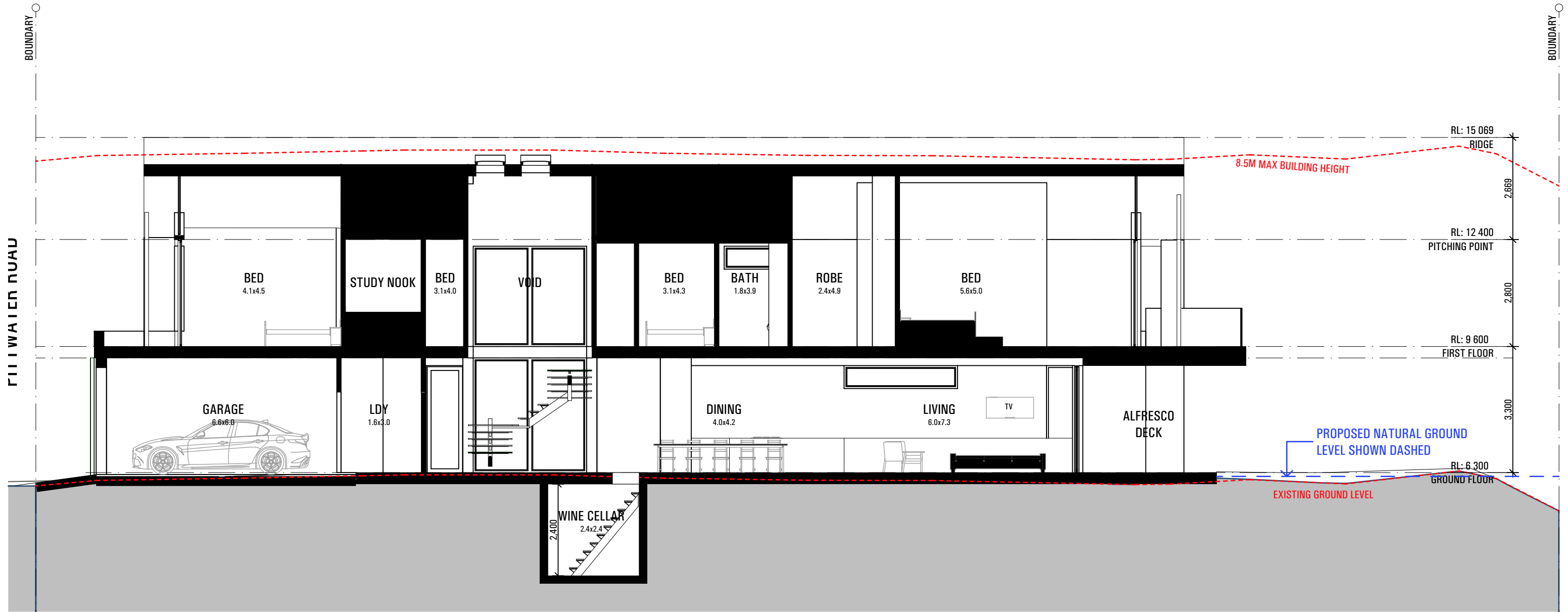
© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION		
project	1130 PITTWATER RD	
	COLLARROY	
	drawing	
COURTYARD ELEVATIONS		
drawn	MA/JG	checked MA
date	22.05.23	scale 1:4.15 @ A3
project no	drawing no	issue
2_23_10	A3002	A



AA SECTION AA
1:100

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION		
project	1130 PITTWATER RD COLLARROY	
drawing	drawing	
drawn	MA/JG	checked MA
date	22.05.23	scale 1:4.15 @ A3
project no	2_23_10	drawing no A3101
issue	A	



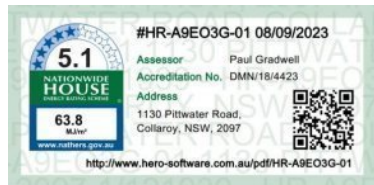
BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

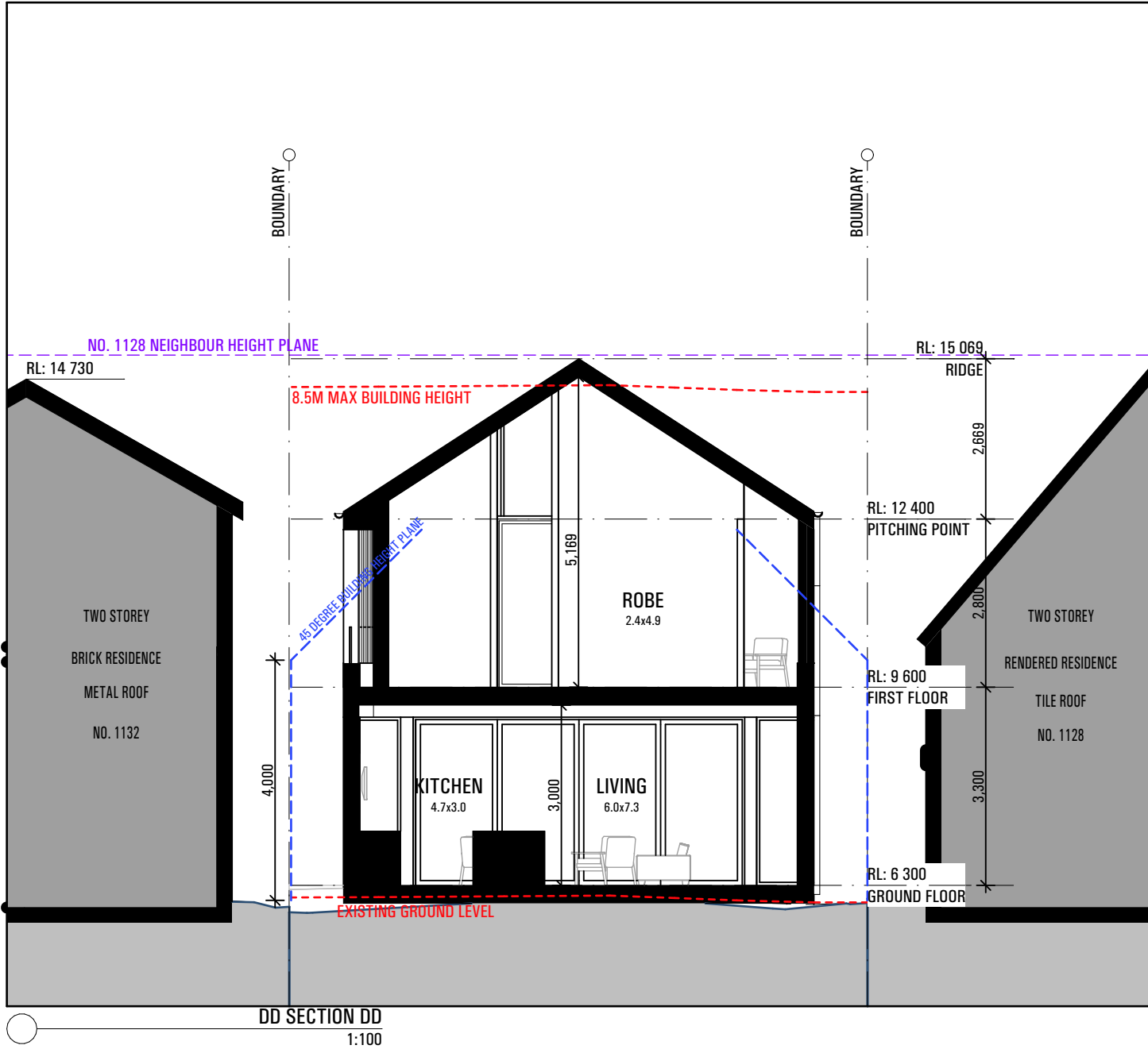
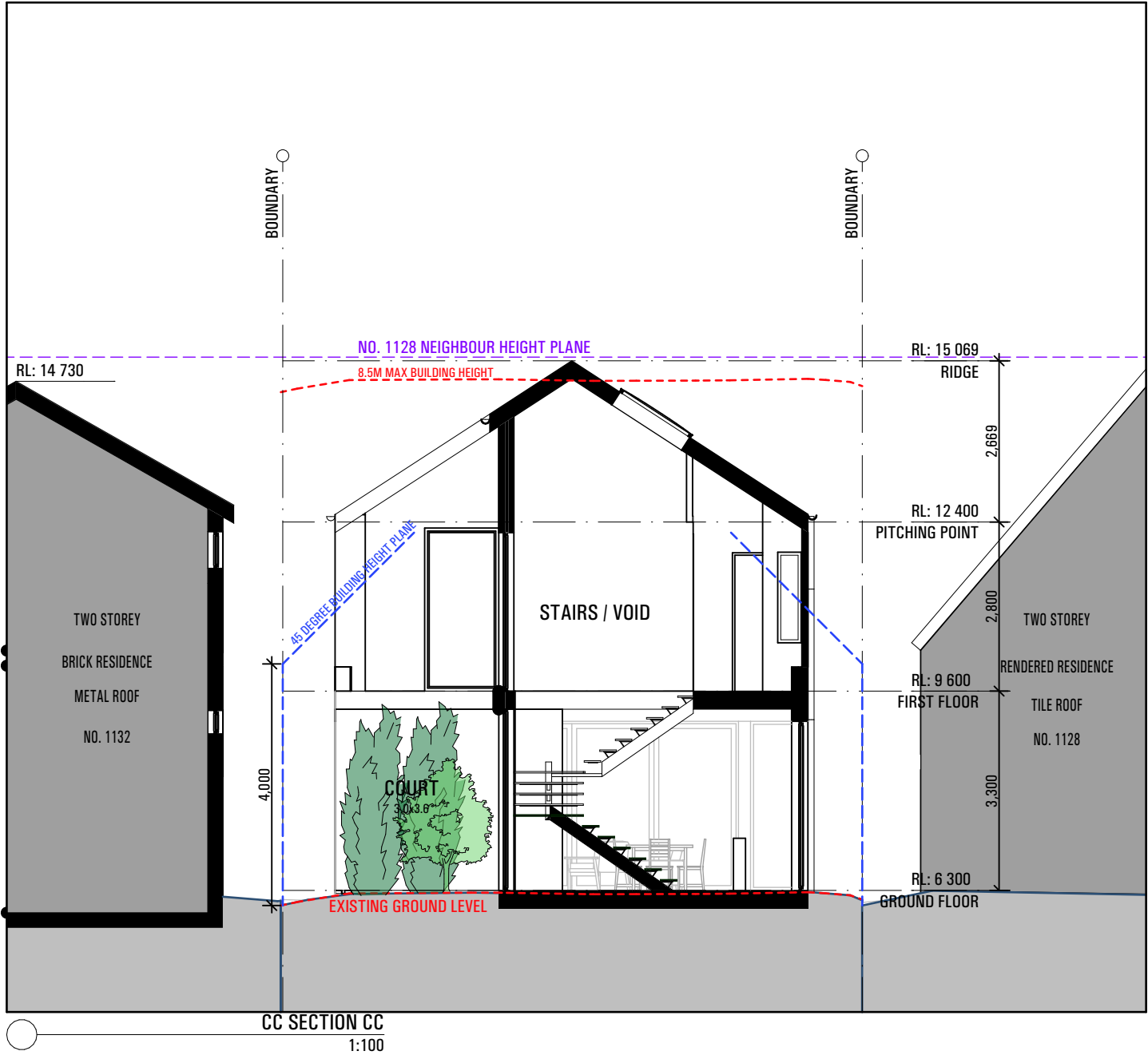
This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION		
project	1130 PITTWATER RD	
	COLLARROY	
drawing	drawing	
drawn	MA/JG	checked MA
date	22.05.23	scale 1:4.15 @ A3
project no	2_23_10	drawing no A3102
		issue A



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

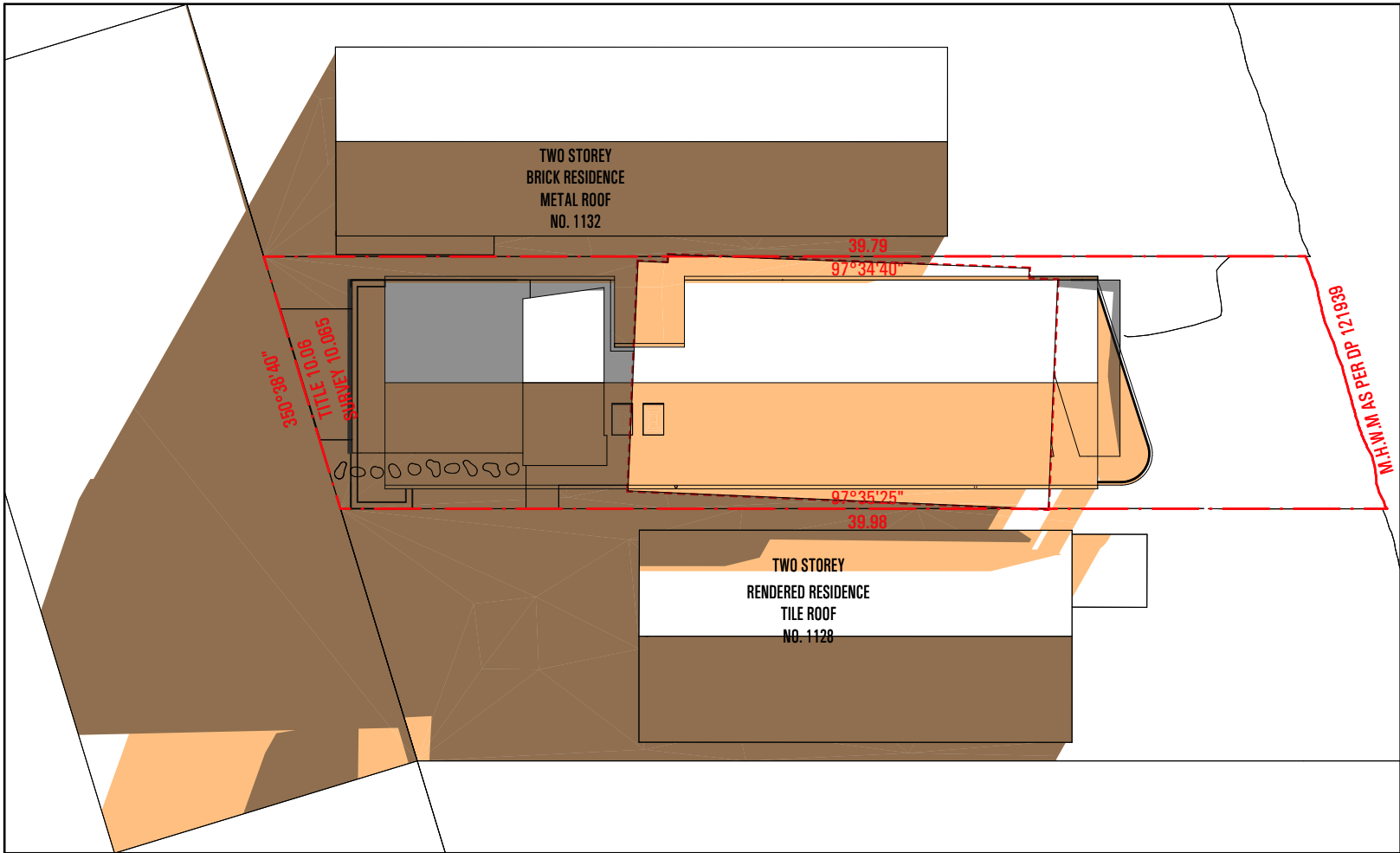
© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



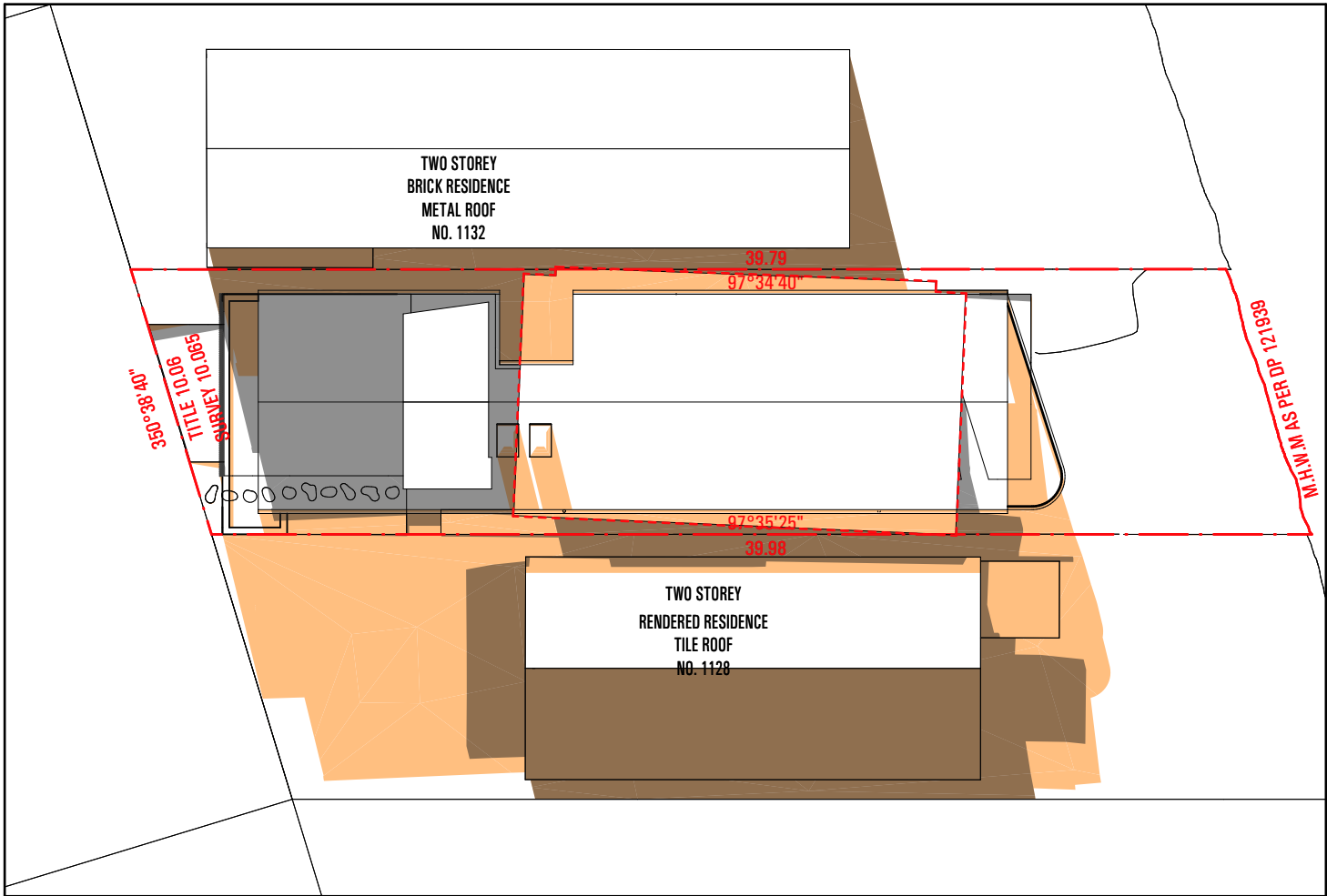
Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

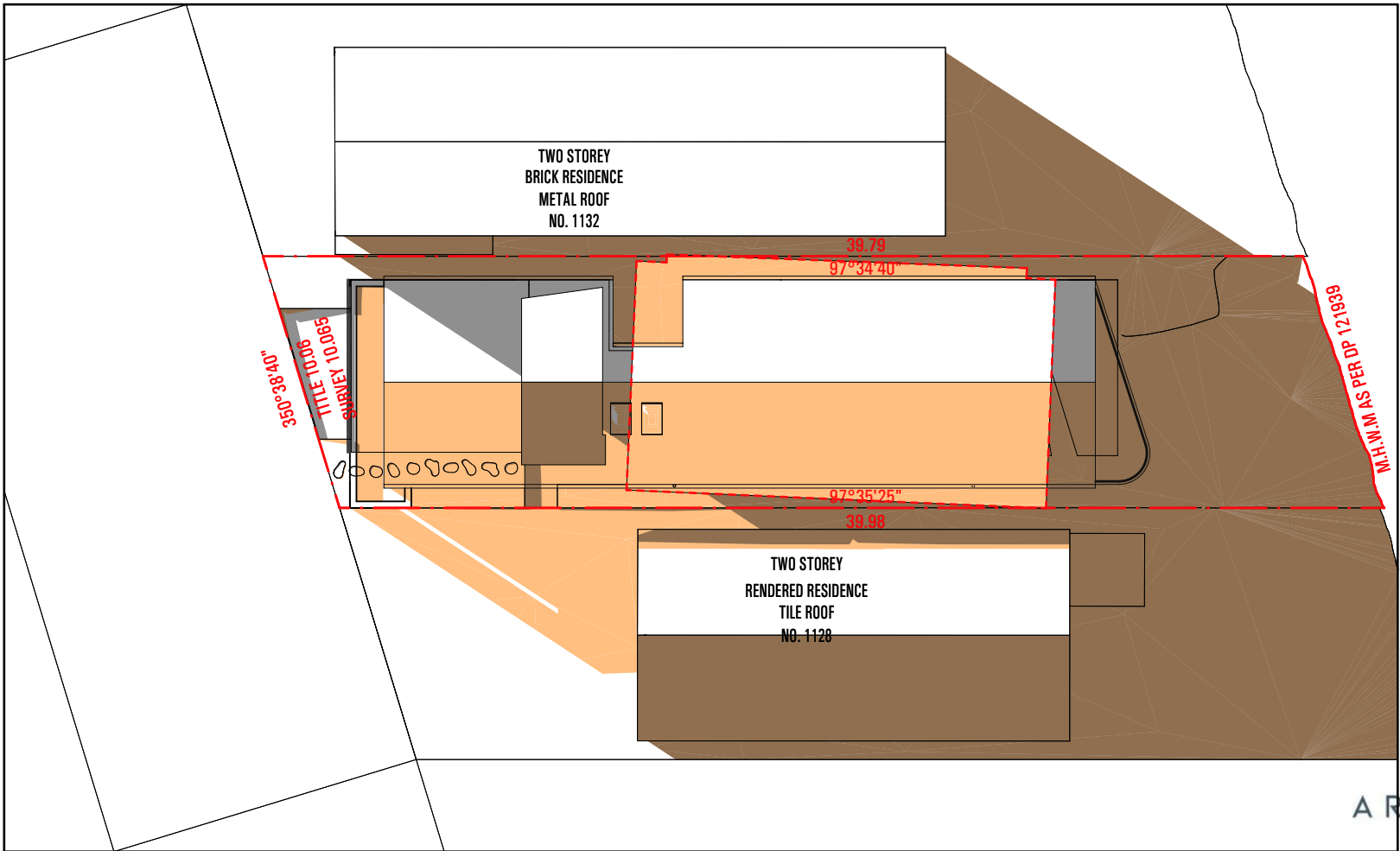
DEVELOPMENT APPLICATION		
project	1130 PITTWATER RD	
	COLLARROY	
drawing	SECTION CC/DD	
drawn	MA/JG	checked MA
date	22.05.23	scale 1:4.15 @ A3
project no	2_23_10	drawing no A3103
		issue A



PROPOSED - 22 JUN 9AM
1:250



PROPOSED - 22 JUNE 12PM
1:250



PROPOSED - 22 JUNE 3PM
1:250

LEGEND

- NEW SHADOWS
- EXISTING SHADOWS
- OVERLAPPING SHADOWS

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION			
project	1130 PITTWATER RD		
	COLLARROY		
drawing			
drawn	MA/JG	checked	MA
date	22.05.23	scale	1:250 @ A3
project no	2_23_10	drawing no	A4000
		issue	A

DEVELOPMENT SCHEDULE

SITE AREA 385.70m²

BUILDING FOOTPRINT

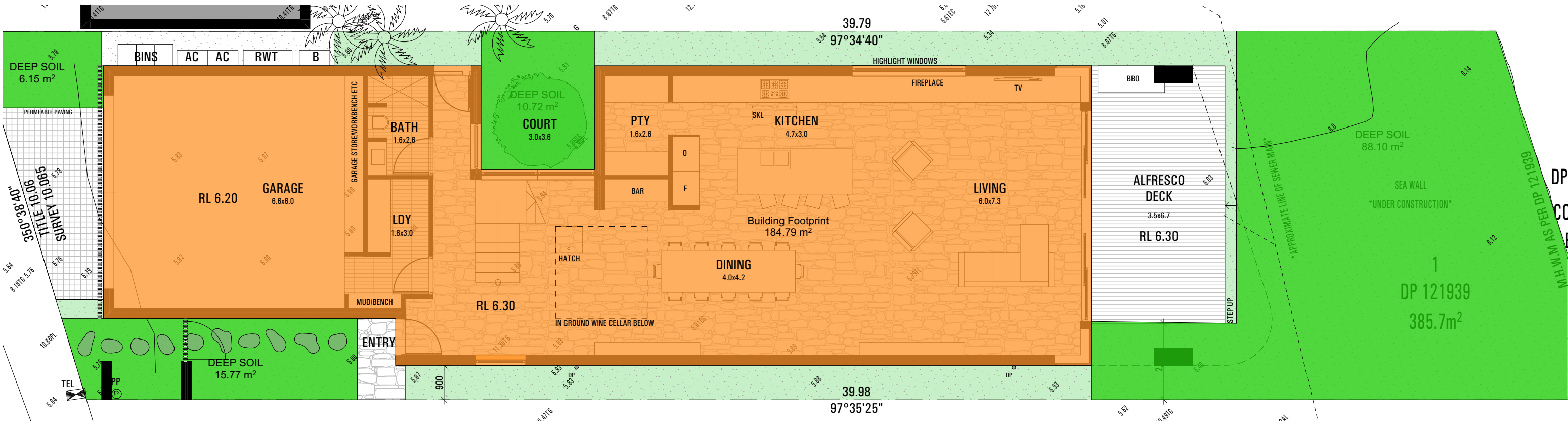
ALLOWABLE: 128.40m² (33.3% x SITE AREA)
EXISTING: 125.38m² (32%)
PROPOSED: 184.79 m² (48%)

DEEP SOIL LANDSCAPING

ALLOWABLE: 154.28m² (40% x SITE AREA)
EXISTING:
PROPOSED: ... (30%)

LEGEND:

- BUILDING FOOTPRINT
- DEEP SOIL LANDSCAPE



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.


This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



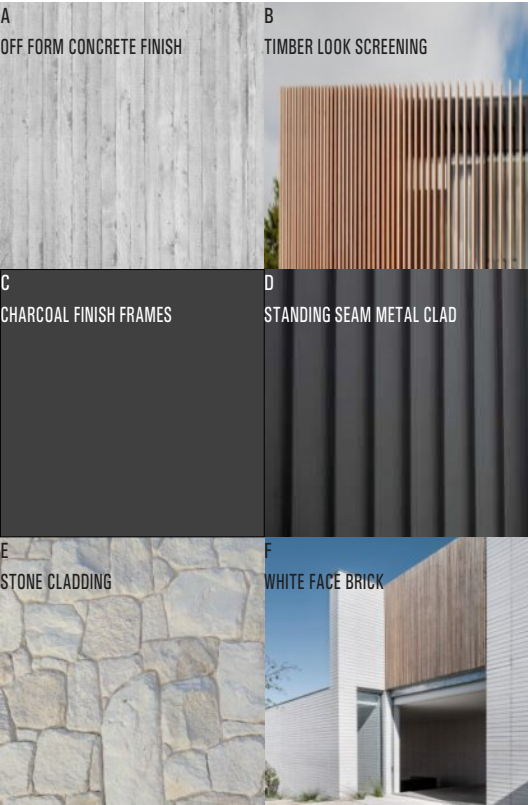
Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION		
project	1130 PITTWATER RD	
	COLLARROY	
drawing		
AREA SCHEDULE		
drawn	MA/JG	checked MA
date	22.05.23	scale 1:100 @ A3
project no	drawing no	issue
2_23_10	A5000	A



MATERIALS AND FINISHES



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.


This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975
e: mark@maparch.com.au
www.maparch.com.au

DEVELOPMENT APPLICATION			
project	1130 PITTWATER RD COLLAROY		
	drawing		
drawn	MA/JG	checked	MA
date	22.05.23	scale	@ A3
project no	2_23_10	drawing no	A6000
		issue	A

CONTOUR

LANDSCAPE ARCHITECTURE

LANDSCAPE PLAN FOR DA

PROJECT

Proposed Residence Development

CLIENT

Anthony Aziz

ADDRESS

1130 Pitterwater Road,
Collaroy NSW 2097

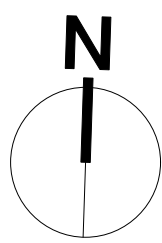
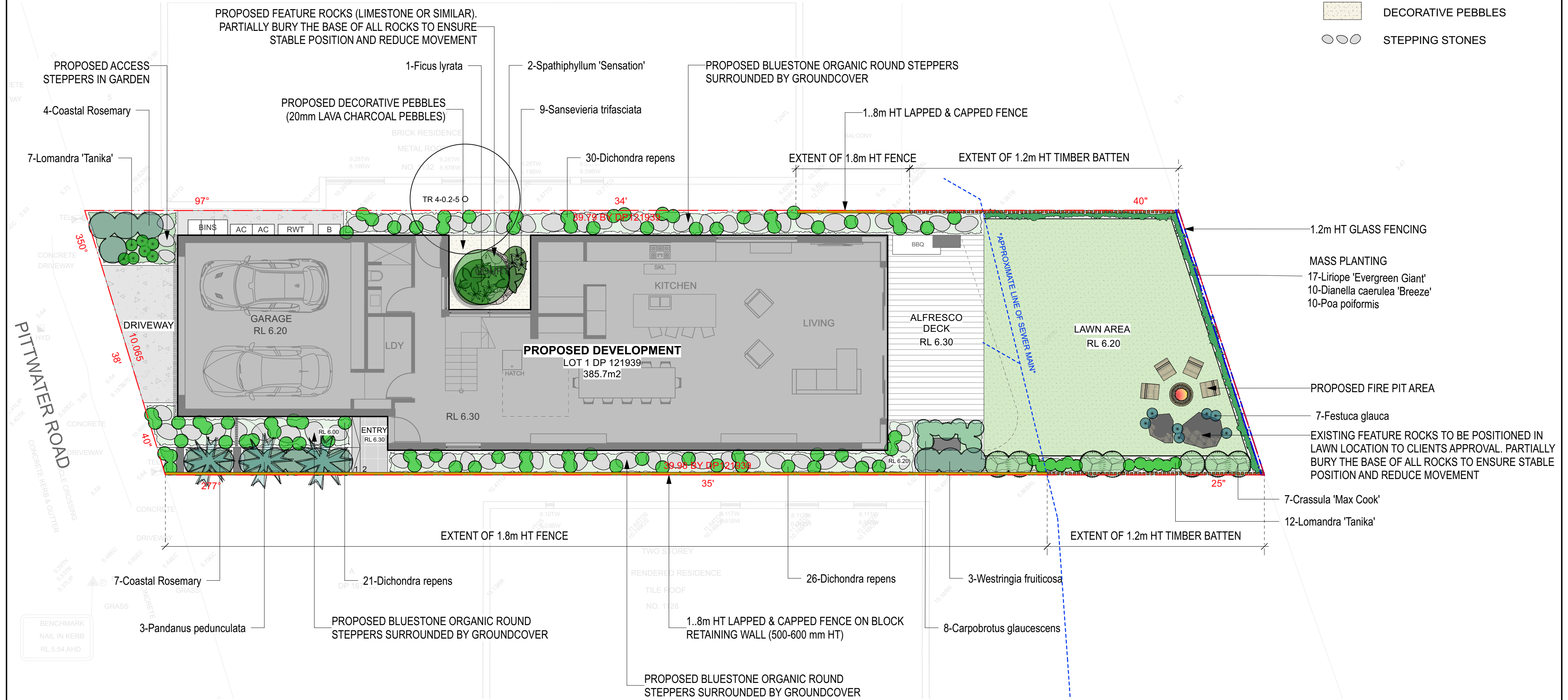
ARCHITECT



(Perspective By Map Architects)

PLANT SCHEDULE					
Botanic Name	Common Name	Quantity	Pot Size	Designed Spread	Designed Height
Carpobrotus glaucescens	Pigface	8	200mm	600	600
Casuarina glauca 'Cousin It'	Dwarf Casuarina	5	200mm	1000	200
Crassula 'Max Cook'	Crassula Max Cook	7	200mm	1000	1000
Crassula ovata 'Blue Bird'	Crassula Blue Bird	5	300mm	1000	1000
Dianella caerulea 'Breeze'	Native Flax	10	200mm	600	700
Dichondra 'Silver Falls'	Silver Falls	3	140mm	1000	100
Dichondra repens	Kidney Weed	77	200mm	500	100
Festuca glauca	Blue Fescue	7	140mm	400	500
Ficus lyrata	Fiddle Leaf Fig	1	100lt	2000	8000
Liriope 'Evergreen Giant'	Giant Liriope	17	140mm	300	300
Lomandra 'Tanika'	Dwarf Lomandra	19	140mm	450	500
Pandanus pedunculata	Screw Pine	3	100lt	2000	6000
Poa poiformis	Tussock Grass	10	140mm	500	600
Sansevieria trifasciata	Mother in Law Tongue	9	140mm	500	1000
Spathiphyllum 'Sensation'	Giant Peace Lily	2	200mm	1000	1000
Westringia fruticosa	Coastal Rosemary	14	300mm	1000	1500

- LEGEND
- SITE BOUNDARY
- STEEL GARDEN EDGE
- GLASS FENCING
- TIMBER BATTEN FENCING
- LAWN AREA
- GARDEN AREA
- COLOURED CONCRETE FINISH
- TIMBER FINISH
- DECORATIVE PEBBLES
- STEPPING STONES





Crassula 'Max Cook'



Dichondra repens



Carpobrotus glaucescens



Dianella caerulea 'Breeze'



Festuca glauca



Liriope 'Evergreen Giant'



Lomandra 'Tanika'



Ficus lyrata



Pandanus pedunculata



Poa poiformis



Westringia fruticosa



Sansevieria trifasciata



Spathiphyllum 'Sensation'

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDL M

PROJECT:
Proposed Residence
1130 Pittwater Road
Collaroy NSW 2097

CLIENT:
Anthony Aziz

ARCHITECT:

MAP
ARCHITECTS

NOTES
comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction
certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimentions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced
in any way without prior written permission of
contour landscape architects.

DATE	REV.	ISSUE
07/08/23	A	DRAFT
25/08/23	B	DRAFT
14/09/23	C	DA

DATE: 14/09/2023

SCALE: N/A

DRAWN: BT

DRAWING
PLANTING PALETTE
GROUND FLOOR

DRAWING NO : C2

REV: C

PLANT SCHEDULE					
Botanic Name	Common Name	Quantity	Pot Size	Designed Spread	Designed Height
Carpobrotus glaucescens	Pigface	8	200mm	600	600
Casuarina glauca 'Cousin It'	Dwarf Casuarina	5	200mm	1000	200
Crassula 'Max Cook'	Crassula Max Cook	7	200mm	1000	1000
Crassula ovata 'Blue Bird'	Crassula Blue Bird	5	300mm	1000	1000
Dianella caerulea 'Breeze'	Native Flax	10	200mm	600	700
Dichondra 'Silver Falls'	Silver Falls	3	140mm	1000	100
Dichondra repens	Kidney Weed	77	200mm	500	100
Festuca glauca	Blue Fescue	7	140mm	400	500
Ficus lyrata	Fiddle Leaf Fig	1	100lt	2000	8000
Liriope 'Evergreen Giant'	Giant Liriope	17	140mm	300	300
Lomandra 'Tanika'	Dwarf Lomandra	19	140mm	450	500
Pandanus pedunculata	Screw Pine	3	100lt	2000	6000
Poa poiformis	Tussock Grass	10	140mm	500	600
Sansevieria trifasciata	Mother in Law Tongue	9	140mm	500	1000
Spathiphyllum 'Sensation'	Giant Peace Lily	2	200mm	1000	1000
Westringia fruticosa	Coastal Rosemary	14	300mm	1000	1500



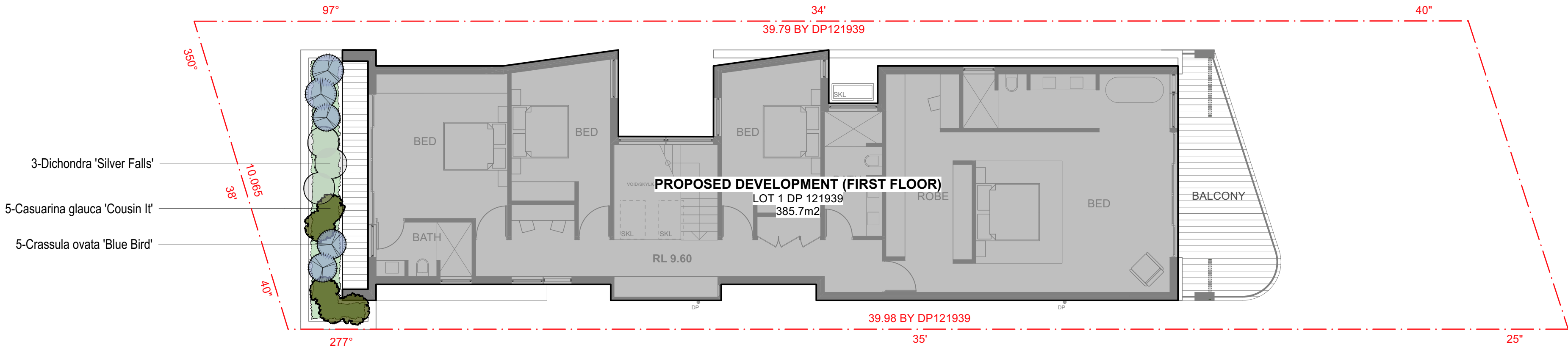
Dichondra 'Silver Falls'



Casuarina glauca 'Cousin It'



Crassula ovata 'Blue Bird'



CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT:
Proposed Residence
1130 Pittwater Road
Collaroy NSW 2097

CLIENT:
Anthony Aziz

ARCHITECT:
MAP ARCHITECTS

NOTES
comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction
certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimentions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced
in any way without prior written permission of
contour landscape architects.

DATE	REV.	ISSUE
07/08/23	A	DRAFT
25/08/23	B	DRAFT
14/09/23	C	DA

DATE: 14/09/2023

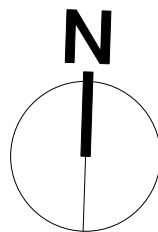
SCALE: 1:100 @ A2

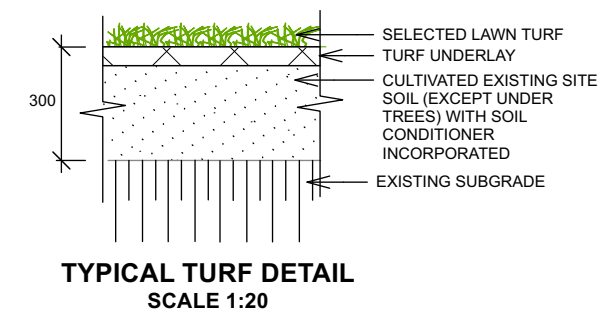
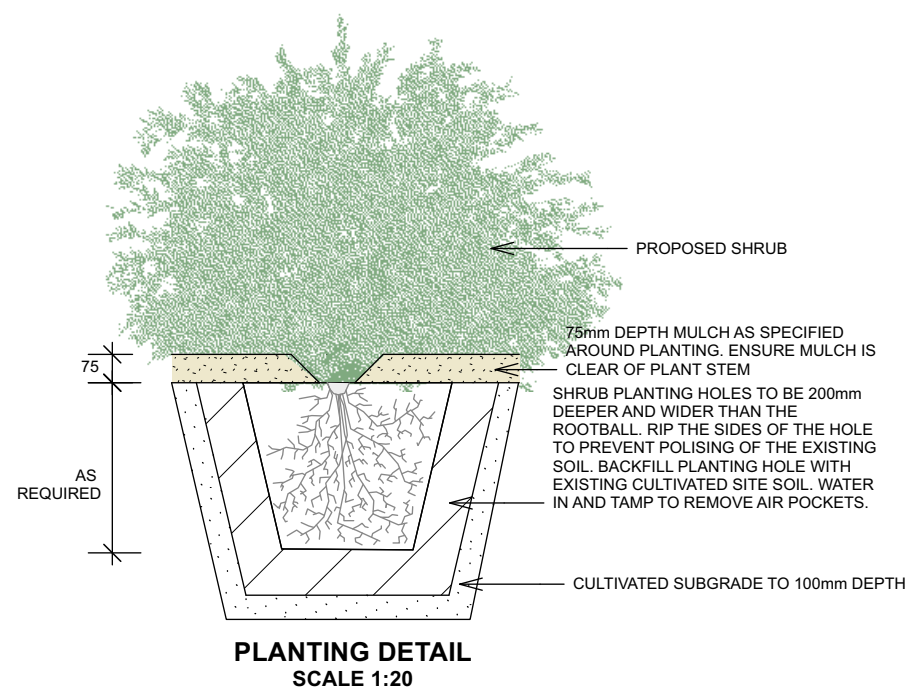
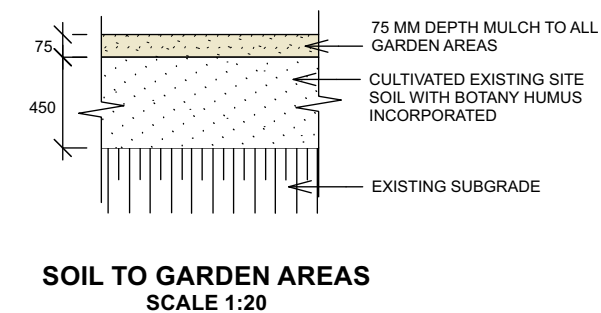
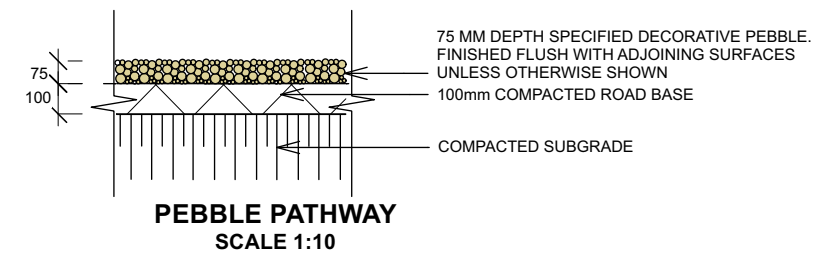
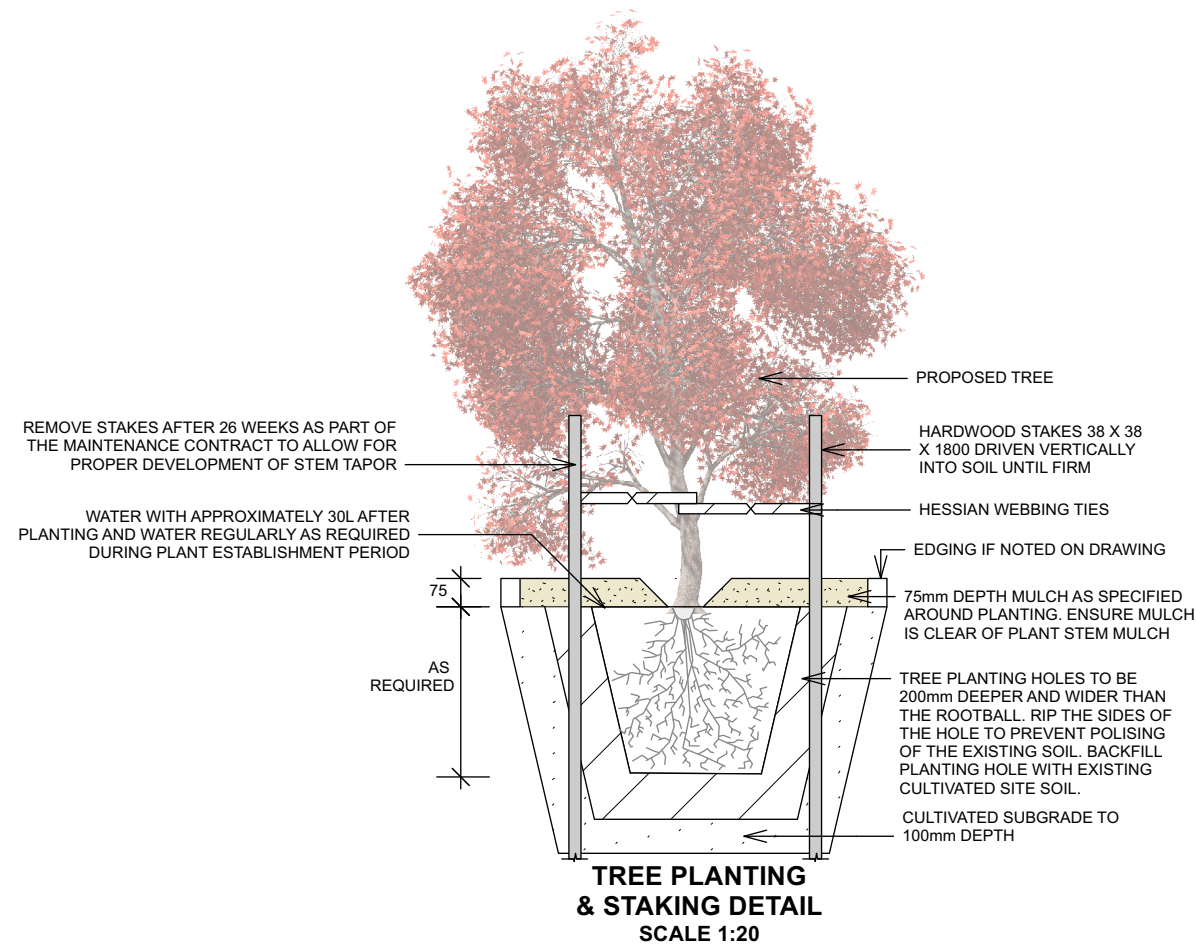
DRAWN: BT

DRAWING
LANDSCAPE PLAN
FIRST FLOOR

DRAWING NO : C3

REV: C





CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT:
Proposed Residence
1130 Pittwater Road
Collaroy NSW 2097

CLIENT:
Anthony Aziz

ARCHITECT:



NOTES

comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction
certificate conditions of consent
all levels to and
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimensions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced
in any way without prior written permission of
contour landscape architects.

DATE	REV.	ISSUE
07/08/23	A	DRAFT
25/08/23	B	DRAFT
14/09/23	C	DA

DATE: 14/09/2023

SCALE: SHOWN @A3

DRAWN: BT

DRAWING
LANDSCAPE DETAILS

DRAWING NO : C4

REV: C

LANDSCAPE SPECIFICATION

ALL LANDSCAPE WORKS SHALL BE EXECUTED BY A COMPETENT LANDSCAPE CONTRACTOR EXPERIENCED IN HORTICULTURAL PRACTICE AND LANDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL HOLD A CURRENT NSW STRUCTURAL LANDSCAPE LICENSE OR BE A MEMBER OF THE NSW LANDSCAPE CONTRACTORS ASSOCIATION. IRRIGATION WORKS SHALL BE EXECUTED BY A CONTRACTOR SUITABLY QUALIFIED AND LICENSED BY THE NSW DEPARTMENT OF FAIR TRADING FOR URBAN IRRIGATION.

THESE GENERAL LANDSCAPE SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH DETAILED DOCUMENTATION PREPARED BY CONTOUR LANDSCAPE ARCHITECTURE, STRUCTURAL ENGINEERING PLANS, STORMWATER ENGINEER PLANS, ARCHITECTURAL DUCUMENTATION AND ALL D.A. CONSENT CONDITIONS.

LANDSCAPE HARDWORKS DEMOLITION, BULK EARTHWORKS, RETAINING WALLS, STONE FACING, PLANTER BOXES, PAVING, DRAINAGE, WATERPROOFING, FENCING AND ALL SITE CONSTRUCTION INDICATED SHALL BE EXECUTED IN ACCORDANCE WITH LANDSCAPE ARCHITECTURAL, ARCHITECTURAL + ENGINEERING SPECIFICATIONS LANDSCAPE WORKS SHALL GENERALLY BE UNDERTAKEN IN ACCORDANCE WITH DA APPROVED PLANS AND CONSTRUCTION CERTIFICATE PLANS AND DETAILS AND SHALL BE COMPLIANT WITH:

- AS4970-2009 Protection of trees on development sites
- AS 4970-2009/Amdt 1-2010 Protection of trees on development sites
- AS4373-2007 Pruning of amenity trees
- AS4419-2003 Soils for landscaping and garden use
- AS4454-2012 Composts, soil conditioners and mulches
- AS3743-2003 Potting mixes
- AS/NZ3500:2015 Plumbing and drainage Set

SERVICES

BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICES LINES AND ENSURE TREE PLANTING IS CARRIED OUT AT LEAST 3 METRES AWAY FROM THESE SERVICES. SERVICES LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOTE COVERED BY ANY LANDSCAPE FINISHES (TURNING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH PIT LIDS.

MANAGEMENT OF TREE PROTECTION (AS REQUIRED)

A QUALIFIED AND APPROVED ARBORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING, AND TO UNDERTAKE SUCH MEASURES AS THEY DEEM APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

CARE SHALL BE TAKEN DURING THE ENTIRE PERIOD OF WORKS TO ENSURE NO DAMAGE TO ROOTS OR CANOPIES OF TREES TO BE RETAINED. NO STORING OF BUILDING MATERIALS, WASHING OF EQUIPMENT, DISPOSAL OF CHEMICALS, ETC. SHALL BE PERMITTED BENEATH CANOPY OF TREES TO BE RETAINED.. NO EXCAVATION OR TRENCHING SHOULD OCCUR BENEATH CANOPIES EXCEPT FOR COUNCIL-APPROVED WORKS. ALL EXCAVATION BENEATH TREE CANOPIES SHALL BE UNDERTAKEN TO COUNCIL / PROJECT ARBORIST INSTRUCTIONS. PROJECT ARBORIST SHALL BE ADVISED AND ATTEND SITE IF TREE ROOTS GREATER THAN 50MM DIAMETER ARE ENCOUNTERED.

PREPARATION BY BUILDER

BUILDER SHALL REMOVE ALL EXISTING CONCRETE PATHWAYS, FENCES, FOOTINGS, WALLS, ETC. NOT NOTATED TO BE RETAINED AND COMPLETE ALL NECESSARY EXCAVATION WORK PRIOR TO COMMENCEMENT ON SITE BY LANDSCAPE CONTRACTOR. BUILDER SHALL ALSO INSTALL NEW RETAINING WALLS, KERBS, LAYBACK KERB, CROSSEVER, PATHWAYS, ETC. AND MAKE GOOD ALL EXISTING KERBS, GUTTERS, ETC. AS NECESSARY AND TO APPROVAL OF COUNCIL. BUILDER SHALL ENSURE THAT A MINIMUM 600MM OF TOPSOIL IN GARDEN AREA AND A MINIMUM 150MM OF TOPSOIL IN LAWN AREAS EXISTS. SHOULD REQUIRED DEPTHS NOT EXIST BUILDER SHALL CONTACT LANDSCAPE ARCHITECT AND ASK FOR INSTRUCTIONS PRIOR TO COMPLETION OF EXCAVATION WORKS.

ALL LEVELS AND SURFACE DRAINAGE SHALL BE DETERMINED BY OTHERS AND APPROVED ON SITE BY LANDSCAPE CONTRACTOR.

SOIL PREPARATION + PLANTING SOILS

CULTIVATE TO A DEPTH OF 450MM ALL PROPOSED GARDEN AREAS AND 300mm FOR ALL LAWN AREA. DO NOT CULTIVATE BENEATH EXISTING TREES TO BE RETAINED. IN AREAS WHERE FILL IS REQUIRED GAIN REQUIRED SHAPES AND LEVELS USING A PREMIUM GRADE SOIL MIX. IN AREAS WHERE EXCAVATION IS REQUIRED (IF IN CLAY) OVER EXCAVATE AS REQUIRED TO ALLOW FOR INSTALLATION OF 600MM DEPTH OF PREMIUM GRADE TOPSOIL MIX TO GARDEN AREAS AND 300M DEPTH OF PREMIUM GRADE TOPSOIL MIX TO LAWN AREAS.

SUBGRADE PREPARATION

BEFORE LAYING TOPSOIL, THE FOLLOWING SUBGRADE TREATMENT MUST BE APPLIED TO ALL FINISHED SUBGRADE AREAS:

- 1. FAIR + TRIM TO RELATIVE LEVEL TO ACCOMMODATE REQUIRE OVERALL SOIL DEPTH
- 2.REMOVE ROCK >100mm DIAMETER
- 3. REMOVE RUBBISH SUCH AS CONSTRUCTION GENERATED WASTER, PLASTICS, METALS, GLASS
- 4. APPLY GYPSUM AND LIME AT MANUFACTURER'S RECOMMENDED RATES
- 5. LOOSEN SUBGRADE TO 200mm DEPTH LEAVING SURFACE 'KEYED' TO ACCEPT TOPSOIL

CONTRACTOR SHALL UNDERTAKE PH TESTS AND ADJUST WHERE NECESSARY TO ACHIEVE A PH WITHIN THE 5.5 - 7.5 RANGE. MIX IN GYPSUM AT MANUFACTURER'S RECOMMENDED RATES IF CLAY SOIL ENCOUNTERED.

UNDERTAKE ALL REQUIRED ACTION TO ENSURE THAT NO ROOTBALLS OF PROPOSED PLANTS SIT IN CLAY WELLS AND THAT ALL GARDEN AREAS AND LAWN AREAS DRAIN SATISFACTORILY. NOTE IT IS INTENDED THAT WHEREVER POSSIBLE EXISTING LEVELS SHALL NOT BE ALTERED THROUGH GARDEN AND LAWN AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE END RESULT OF THE PROJECT IS THAT ALL LAWN AND GARDEN AREAS DRAIN SUFFICIENTLY (BOTH SURFACE AND SUBSTRATE), ARE AT REQUIRED FINISH LEVELS AND HAVE SUFFICIENT SOIL DEPTHS TO ENABLE LAWN AND PLANTS TO THRIVE AND GROW. SHOULD ALTERNATIVE WORKS TO THOSE SPECIFIED REQUIRED TO ACHIEVE THAT RESULT, CONTRACTOR SHALL INFORM BUILDER AT TIME OF TENDER AND REQUEST INSTRUCTIONS.

PLANTING

ALL PLANTS SHALL BE WELL GROWN AND DISEASE FREE. PLANTING SHALL BE IN ACCORDANCE WITH PLANTING SCHEDULE. TREES SHALL BE GROWN TO NATSPEC. GENERAL PLANT MATERIAL (EXOTICS AND ENDEMIC) SUPPLY PLANTS IN ACCORDANCE WITH PLANTING SCHEDULE. NO SUBSTITUTIONS ARE PERMITTED WITHOUT THE CONSENT OF THE SUPERVISING LANDSCAPE ARCHITECT. PLANT MATERIAL SHALL BE GROWN TO NATSPEC AND SHALL BE VIGOROUS, WELL ESTABLISHED, FREE OF DISEASE AND PESTS, HARDENED OFF, TRUE TO FORM, AND GROWN IN THEIR FINAL CONTAINERS FOR NOT LESS THAN 12 WEEKS. TREES SHALL HAVE A SINGLE LEADING SHOOT AND POTS FREE FROM WEEDS.

IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING.

PLANT HOLES SHALL BE DUG APPROXIMATELY TWICE THE WIDTH AND TO 100MM DEEPER THAN PLANT ROOTBALLS THAT THEY ARE TO RECEIVE. BASE AND SIDES OF HOLE SHALL BE FURTHER LOOSENEED. FERTILISER, FOLLOWED BY 100MM DEPTH OF TOPSOIL MIX SHALL THEN BE PLACED INTO BASE OF HOLE AND LIGHTLY CONSOLIDATED. BASE OF HOLE SHALL THEN BE WATERED. REMOVE PLANT CONTAINER AND INSTALL PLANT INTO HOLE. ROOTBALL SHALL BE BACKFILLED WITH SURROUNDING TOPSOIL AND TOPSOIL FIRMED INTO PLACE. AN APPROVED SHALLOW DISH SHALL BE FORCED TO CONTAIN WATER AROUND BASE OF STEM. BASE OF STEM OF PLANT SHALL FINISH FLUSH WITH FINISHED SOIL LEVEL. ONCE INSTALLED PLANT SHALL BE THOROUGHLY WATERED AND MAINTAINED FOR THE DURATION OF THE CONTRACT.

STAKES + TIES

THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO THE SIZE OF PLANTS TO BE STAKED:

- 1. 5-15 LITRE SIZE PLANT 1X 1200 X 25 X 25MM
- 2. 35-75 LITRE SIZE PLANT 2X 1500 X 38 X 38MM
- 3. 100+ LITRE SIZE PLANT 3X 1800 X 50 X 50MM

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

FERTILIZER

AT PLANTING SPREAD SLOW RELEASE FERTILIZER AROUND DRIP LINE OF ALL PLANTS AT MANUFACTURER'S RECOMMENDED RATES GENERAL APPLICATION:

EQUAL TO OSMOCOTE PLUS TRACE ELEMENTS - ALL PURPOSE NPK 19.4 : 1.6 : 6
NATIVE PLANTS: EQUAL TO OSMOCOTE PLUS TRACE ELEMENTS - NATIVE GARDENS NPK 17.9 : 0.8 : 7.3

COMPOST

SHALL BE WELL-ROTTED BEGETATIVE MATTER OR ANIMAL MANURE, OR OTHER APPROVED MATERIAL, FREE FROM HARMFUL CHEMICALS, GRASS AND WEEK GROWTH AND WITH NEUTRAL PH. PROVIDE A CERTIFICATE OF PROOF OF PH UPON REQUEST.

MULCH

ENSURE ALL MULCH IS FREE OF WEED SEED AND VEGETATIVE MATERIAL. PROVIDE SAMPLE OF MULCH FOR CLIENT APPROVAL PRIOR TO DELIVERY.

PLACE MULCH TO REQUIRED DEPTH, (REFER TO DRAWINGS) CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

EDGING

EDGING SHALL BE INSTALLED AT THE JUNCTION OF LAWN AND GARDEN AREAS AS INDICATED ON DRAWINGS (REFER TO DETAIL) . EDGE SHALL BE FINISHED LEVEL WITH LAWN OR ADJOINING GRAVEL. EDGE

LAWN

TURF SHALL BE 'SIR WALTER' BUFFALO. TURF ROLLS SHALL BE A MINIMUM OF 25mm THICK SUPPLIED FROM A SPECIALIST GROWER OF CULTIVATED TURF. IT SHALL BE OF EVEN THICKNESS, FREE FROM WEEDS. TURF SHALL BE DELIVERED WITHIN 24HRS OF CUTTING AND LAID WITHIN 24 HRS OF DELIVERY. CONTRACTOR SHALL LAY CLOSE BUTTED IN STRETCHER PATTERN WITH STAGGERED JOINTS TO FINISH FLUSH WITH ADJOINING SURFACES AFTER TAMPING. LIGHTLY TAMP TO AN EVEN SURFACE IMMEDIATELY AFTER LAYING. DO NOT USE ROLLER. ENSURE TURF ROLLS ARE NOT ALLOWED TO DRY OUT AND WATER IMMEDIATELY AFTER LAYING AS NECESSARY TO ENSURE TOPSOIL IS KEPT MOIST TO 100mm DEPTH. PROTECT NEWLY LAID TURF FROM PEDESTRIAN AND VEHICULAR TRAFFIC UNTIL ESTABLISHED. FERTILISE WITHIN 2 WEEKS OF LAYING WITH AN APPROVED LAWN FERTILISER APPLIED TO MANUFACTURER'S RECOMMENDATIONS. APPLY ADDITIONAL FERTILISER AS REQUIRED TO MAINTAIN HEALTHY GROWTH. ONCE ESTABLISHED, MOW TO MAINTAIN GRASS HEIGHT BETWEEN 30-50mm.

AT SAME TIME MAKE GOOD ALL EXISTING LAWN AREAS USING SAME LAWN TYPE. LAWNS IN SHADE SHALL BE OVERSOWN WITH AN APPROVED SEED MIX. ALLOW TO RETRIM AND RETURF COUNCIL NATURE STRIP AS REQUIRED.

FENCING

(REFER TO DRAWINGS)

PAVING & CONCRETE WORKS

AREAS TO BE PAVED SHALL BE EXCAVATED OR FILLED TO ALLOW FOR INSTALLATION OF BEDDING MATERIALS. LEVELS AND FALLS SHALL BE AS PER PLAN. SURFACE DRAINAGE ON PAVING SHALL BE TOWARDS GRATED DRAINS INSTALLED BY BUILDER WITH ALL DRAINS CONNECTED TO STORMWATER SYSTEM.

IRRIGATION

(REFER TO DRAWINGS)

CONTOUR

LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT:
Proposed Residence
1130 Pittwater Road
Collaroy NSW 2097

CLIENT:
Anthony Aziz

ARCHITECT:

MAP

ARCHITECTS

NOTES

comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimentions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of
contour landscape architects.

DATE	REV.	ISSUE
07/08/23	A	DRAFT
25/08/23	B	DRAFT
14/09/23	C	DA

DATE:	14/09/2023	DRAWING LANDSCAPE SPECIFICATIONS DRAWING NO : C5
SCALE:	N/A	
DRAWN:	BT	REV: C



Bluestone Organic Steppers
Location: Entry Access Path & North Side Access Pathway



Lava Charcoal Pebble 20mm
Location: North Side Access Pathway



Stone Collective - Nordic Granite Paving
Location: South Side Access Pathway



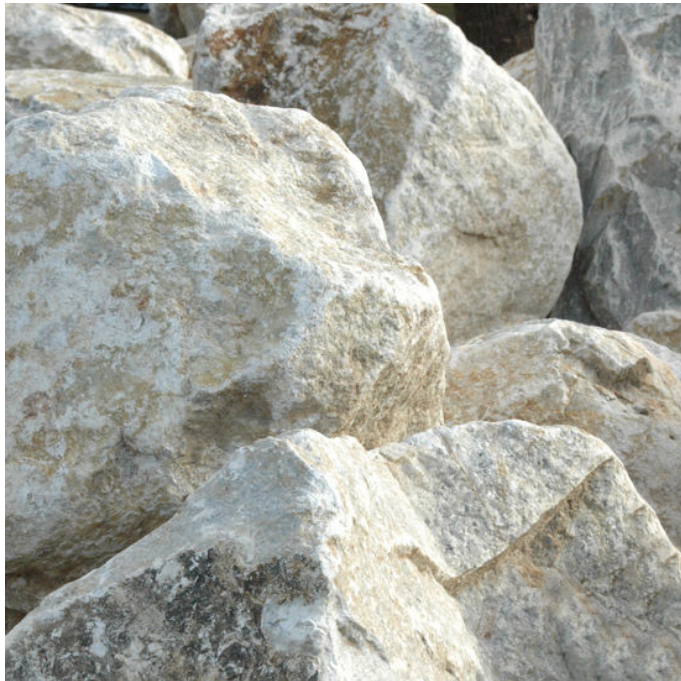
Steel Lawn Edging
Location: Rear Lawn Area & Court



Lapped & Capped Fence
Location: South Boundary



Coloured Concrete Surface
Location: Driveway



2 to 3 Man Limestone Feature Rocks
Location: Courtyard Garden