

PROPOSED 'CUSTOM'



LOT 25B #54 GOLF PARADE, MANLY FOR MR RAWSON

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SCHEDULE OF DRAWINGS

PAGE NO. SHEET NAME

- **COVER PAGE**
- SITE PLAN
- **DEMOLITION PLAN**
- **GROUND FLOOR PLAN**
- FIRST FLOOR PLAN
- **ELEVATIONS**
- **ELEVATIONS**
- SECTIONS/BASIX
- SITE MANAGEMENT/SEDIMENT PLAN

- 10 SITE ANALYSIS
- SHADOW DIAGRAMS 11
- **ELECTRICAL PLAN**

REV	DATE	DESCRIPTION	DRW	CHK
Α	06/12/18	SITING PLAN	AF	EM
В	20/12/18	SITING - SETBACK ALTERATION	AF	EM
С	25/01/19	SITING - SURVEY UPDATE	EM	AF
D	12/03/19	SITING - REDESIGN	MM	
Е	18/03/19	TENDER PLAN	EM	HD
F	30/04/19	REV - 01	EM	HD
G	16/05/19	REV - 02	EM	HD
Н	22/05/19	THEATRE EXTENSION	EM	NR
I	17/07/19	REDESIGN	MM	GL
J	22/08/19	BASIX UPGRADES	GL	GL
K	24/09/19	BASIX, HYDRAULICS & LANDSCAPING	MM	MM

TENDER PLANS

CLIENT SIGNATURE:

Hall&Hart

TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C

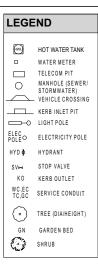
PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

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DO NOT SCALE - USE WRITTEN DIMENSIONS

E.	FOR: MR RAWSON		HOUSE TYPE MODEL:
	LOT 25B #54 GOLF PARADE MANLY		FACADE: GARAGE SIDE: INCLUSIONS:
	COUNCIL: NORTHERN BEACHES COUNCIL	DP No: 391974	DRAWING:

	DRAWN:	CHECKED:	LODGEMENT:	
CUSTOM	MM	MM	DA	CC
RH PREMIUM	30/07/19	APPROVED FOR CONSTRUCTION:	JOB NO: H 02	246
HAMPTONS RH	SCALE: 1:100		PAGE NO: 1 of 12	REV:

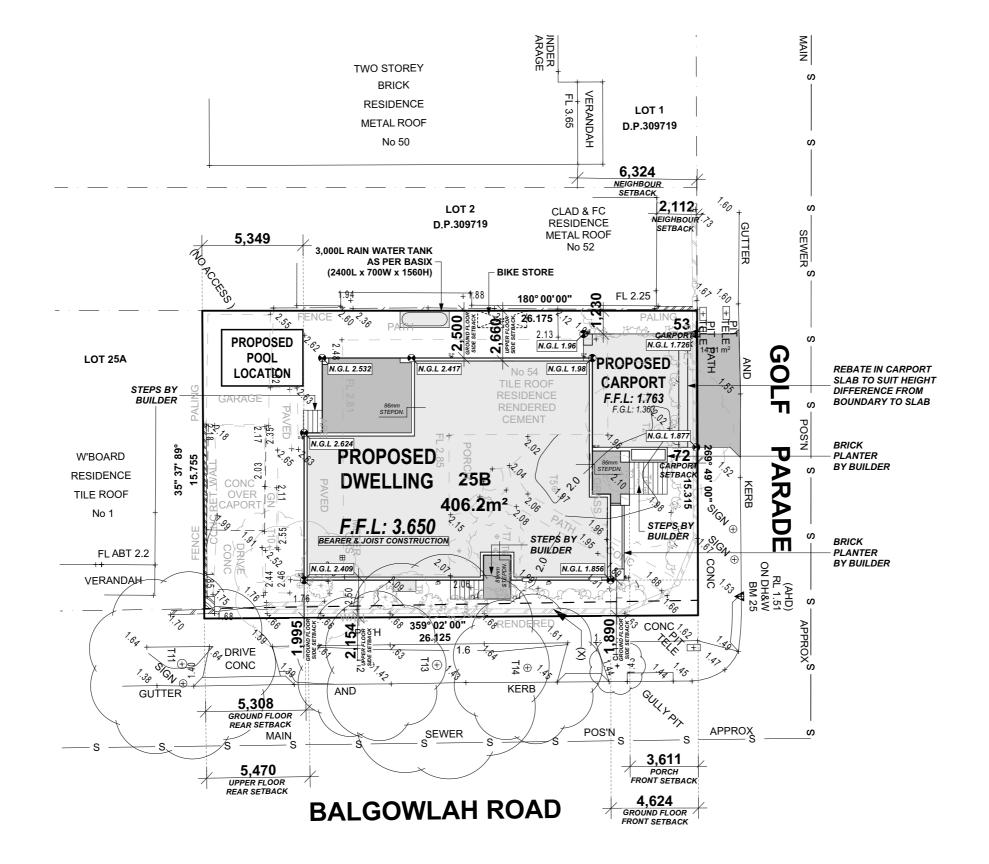




TREI	TREE SCHEDULE							
TREE No.	Ø HEIGHT	NAME						
1	0.2D	Stump						
2	0.5D 8H							
3	0.1D 3H							
4	0.3D 8H	Banksia						
5	0.3D	Stump						
6	0.2D 7H	Palm						
7	0.2D 7H	Palm						
8	0.1D 4H							
9	0.3D 8H	Palm						
10	0.1D 6H	Gum						
11	0.5D 8H	Jacaranda						
12	0.3D 8H							
13	0.5D 8H	Jacaranda						
14	0.4D 8H							
15	0.1D 5H							







(X): POSSIBLE ADDITIONAL LAND AVAILABLE AS IDENTIFIED BY SURVEYOR STEPHEN BISHOP & SUBJECT TO REGISTRATION OF PLAN OF REDEFINITION BY LRS NSW.

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SURVEY NOTES

CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY

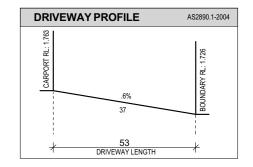
DIMENSIONS SHOWN (BEARINGS AND DISTANCES) HAVE BEEN DETERMINED BY LAND AND PROPERTY INFORMATION PLANS ONLY. BOUNDARIES HAVE NOT BEEN CCURATLY DETERMINED.

SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES,

DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROX.

GENERAL NOTES

- STORMWATER DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITY REQUIREMENTS
 ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER
 FINAL LOCATION OF BUILDING TO BE VERIFIED ON-SITE BY REGISTERED
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPENCIES TO BE REFERRED BACK TO HALL & HART HOMES BEFORE
- PROCEDING SITE CLASSIFICATION H1
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO NATURAL GROUND VEL AND CARPORT TO RL 1.363 HOUSE FLOOR LEVEL RL 3.650. CARPORT FLOOR LEVEL RL 1.763 400 MM
- ABOVE PLATFORM LEVEL
- RETAINING WALLS WHERE REQUIRED TO BE PROVIDED BY THE OWNER
- TREES TO REMOVED WHERE REQUIRED TO BE REMOVED BY THE OWNER



CONTROLS	REQ'D	PROPOSED	COMPLIES
SITE AREA		423.44m²	
MAXIMUM FLOOR AREA (as per Sepp definition)			
60% of lot area	249.66m ²	266.68m ²	NO
MAXIMUM HEIGHT (as per Sepp definition)			
Overall height of dwelling to natural ground level	8.50m	9.693m	NO
SETBACKS FROM FRONT B'DY TO NON-CLASSIFIED ROADS			
Average of two neighbouring lots either side, or	4.202m	4.624m	YES
SETBACKS FROM SIDE BOUNDARIES			
1/3 of wall height			
RHS	2.44m	2.50m	YES
LHS (Secondary Street)	2.48m	1.995m	NO
FIRST FLOOR WINDOW SETBACKS			
RHS	3.000m	N/A	YES
LHS (Secondary Street)	3.000m	2.154	NO
REAR	3.000m	5.487m	YES
SETBACKS FROM REAR BOUNDARIES			
Ground floor rear setback			
Setback for any part of building with a height up to 4.5m	8.0m	5.308m	NO
First floor rear setback			
Setback for any part of building with a height greater than 4.5m	8.0m	5.470m	NO
MINIMUM OPEN SPACE			
55% of site area		122.00m ²	NO
35% of open space is landscape	81.51m ²	122.00m ²	YES
PRIVATE OPEN SPACE (as defined by Sepp)			
For lot widths measured at the building line of 10m or more	18m²	92.90m ²	YES
CAR PARKING			
If house setback =>4.5m, garage/carport to be behind house by	1.00m	Forward	NO
Max width of garage door for lots	7.658m	N/A	N/A
EXCAVATION			
Max excavation below natural ground level			
If excavation located =< 1.0 from boundary	1.0m/1.0m	N/A	N/A
FILL			
Max fill	1.0m	B&J	N/A

LODGEMENT:

JOB NO:

PAGE NO: 2 of 12

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H0246

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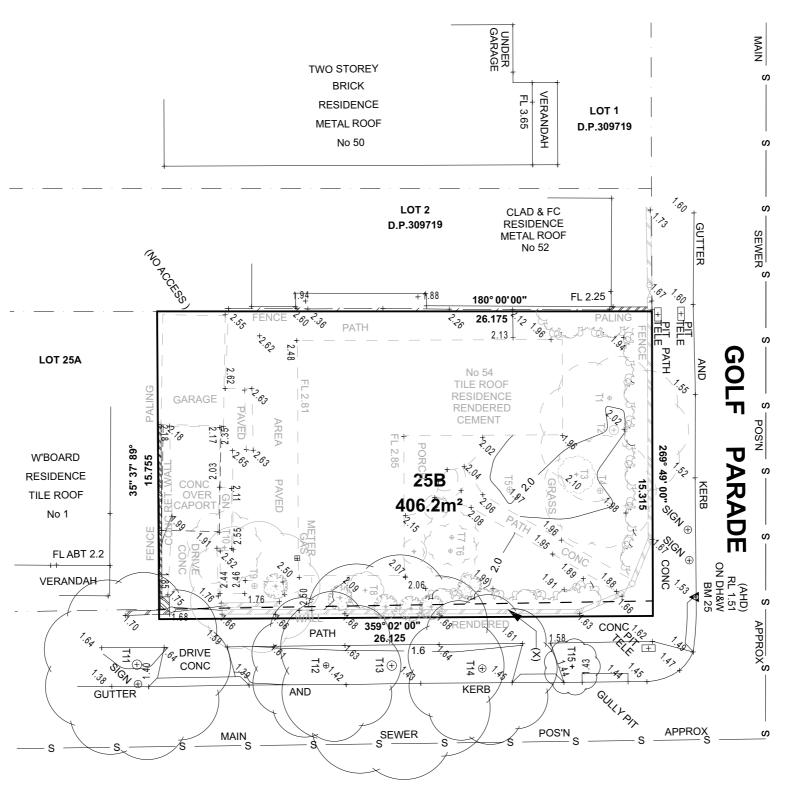
Hall	.&H	Hart
		HOMES

PO BOX 2005. PARRAMATTA NSW 1750 TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No: 275897C

PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE OWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

ALL DIMENSIONS ARE IN MILLIMETRES DO NOT SCALE - USE WRITTEN DIMENSIONS

FOR:			HOUSE TYPE		DRAWN:	CHECKED:
	MR RAWSON		MODEL:	CUSTOM	MM	MM
ADDRESS:	LOT 25B #54 GOLF PARADE		FACADE:	HAMPTONS	DATE DRAWN:	APPROVED FOR
			GARAGE SIDE:	RH	30/07/19	CONSTRUCTION:
MANLY			INCLUSIONS:	PREMIUM	30/07/19	
COUNCIL:		DP No:	DRAWING:		SCALE:	
l N	NORTHERN BEACHES COUNCIL	391974		SITE PLAN	1:2	200



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DEMOLITION NOTE

EXISTING DWELLING TO BE DEMOLISHED AND REMOVED IN ACCORDANCE WITH COUNCIL CONDITIONS, BCA AND AUSTRALIAN STANDARDS - BY OWNER

DEMOLITION LEGEND EXISTING TO BE REMOVED

BALGOWLAH ROAD

(X): POSSIBLE ADDITIONAL LAND AVAILABLE AS IDENTIFIED BY SURVEYOR STEPHEN BISHOP & SUBJECT TO REGISTRATION OF PLAN OF REDEFINITION BY LRS NSW.



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	FOR:		HOUSE TYPE
Ε.	MR RAWSON		MODEL:
	ADDRESS:		FACADE:
	LOT 25B #54 GOLF PARADE		GARAGE SIDE:
	MANLY		INCLUSIONS:
	COUNCIL:	DP No:	DRAWING:
	NORTHERN BEACHES COUNCIL	391974	

CUSTOM **HAMPTONS PREMIUM**

DEMOLITION PLAN

DRAWN: MM DATE DRAWN 30/07/19

SCALE:

LODGEMENT: CHECKED: DA/CC APPROVED FOR CONSTRUCTION: JOB NO:

H0246 PAGE NO: 1:200

3 of 12 K

THIS DRAWING IS THE PROPERTY OF HALL & HART HOMES REPRODUCTION, COPYING OR USE IN PART OR WHOLE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED, 4,245 GABLE LENGTH LEGAL ACTION WILL BE TAKEN AGAINST OFFENDERS. F.R.L R.L: 11.684 300 O/H CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE. 25° SELECTED COLORBOND ROOF COLORBOND GUTTER DENOTES ARTICULATION JOINT IN & FASCIA BRICKWORK. FINAL LOCATION TO 610 O/H 600H x 450W DECORATIVE BE VERIFIED ON SITE BY THE GABLE VENT BUILDER IN ACCORDANCE WITH CLAUSE 3.3.1.8 OF THE NCC. **EXPOSED RAFTERS** PRIMELINE NEWPORT WEATHERBOARD 25° SELECTED COLORBOND ROOF RENDERED BRICK AS SELECTED F.F.L R.L: 6.720 F.C.L R.L: 6.400 GLAZING BARS TO SELECTED WINDOWS PRE-PRIMED TIMBER BEAM HANDRAIL & STEPS 3,537 CARPORT CEILING 2x 150X150 BY BUILDER TIMBER POSTS F.F.L R.L: 3.650 BREEZE BOARDS RENDERED BRICK PLANTER BOX CARPORT F.F.L 1.763 **ELEVATION 1** CORINTHIAN 2x820W STONE PIER INF 40 DOORS 1:100 F.R.L R.L: 11.684 300 O/H 25° SELECTED COLORBOND ROOF 610 O/H F.C.L R.L: 9.320 PRIMELINE NEWPORT 300 O/H 300 O/H 25° SELECTED COLORBOND ROOF F.F.L R.L: 6.720 F.C.L R.L: 6.400 COLORBOND GUTTER & FASCIA RENDERED BRICK AS SELECTED 2x 150x150 TIMBER POSTS BOX F.F.L R.L: 3.650 STEPS + HANDRAIL BY BUILDER STEPS & HANDRAIL CORINTHIAN 820W NGL DIRECTLY BREEZE BOARDS **ELEVATION 2** BY BUILDER WIN 21 L'DRY DOOR 1:100 LODGEMENT: NOTES: FOR: DRAWN: CHECKED: HOUSE TYPE Hall&Hart MR RAWSON PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. CUSTOM MODEL: MM DA/CC HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS **HAMPTONS** ADDRESS: FACADE: APPROVED FOR CONSTRUCTION: LOT 25B #54 GOLF PARADE DATE DRAWN JOB NO: ALL DIMENSIONS ARE IN MILLIMETRES GARAGE SIDE: HOMES 30/07/19 H0246 MANLY DO NOT SCALE - USE WRITTEN DIMENSIONS **PREMIUM** INCLUSIONS: PO BOX 2005, PARRAMATTANSW 1750 TELEPHONE: (02) 8662 0037 WEBSITE: WWW.HALLHARTHOMES.COM.AU BUILDERS LICENCE No: 275897C HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING AND SHOWN ON PLANS DRAWING: SCALE: PAGE NO: 1:100 391974 NORTHERN BEACHES COUNCIL **ELEVATIONS** 6 of 12

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DENOTES ARTICULATION JOINT IN BRICKWORK. FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER IN ACCORDANCE WITH CLAUSE 3.3.1.8 OF THE NCC.

LODGEMENT:

JOB NO:

PAGE NO:

7 of 12

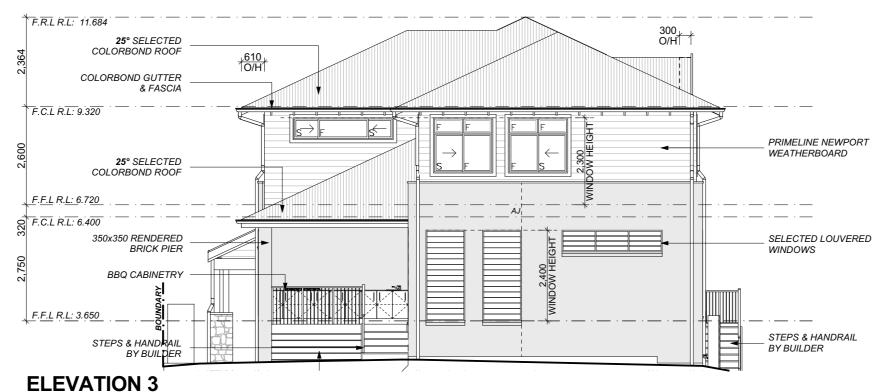
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APPROVED FOR CONSTRUCTION:



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ELEVATION 4

1:100



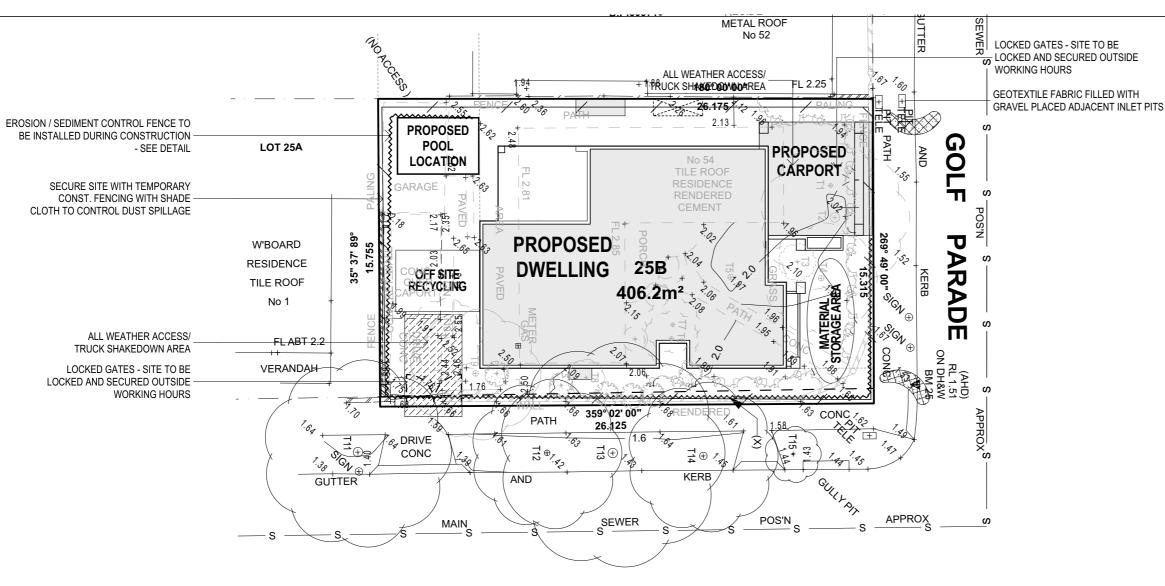
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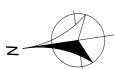
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MR RAWSON			MODEL:	CUSTOM	MM
	LOT 25B #54 GOLF PARADE MANLY		FACADE: GARAGE SIDE: INCLUSIONS:	HAMPTONS RH PREMIUM	DATE DRAWN: 30/07/19
	COUNCIL: NORTHERN BEACHES COUNCIL	DP No: 391974	DRAWING:	ELEVATIONS	SCALE:



BALGOWLAH ROAD

(X): POSSIBLE ADDITIONAL LAND AVAILABLE AS IDENTIFIED BY SURVEYOR STEPHEN BISHOP & SUBJECT TO REGISTRATION OF PLAN OF REDEFINITION BY LRS NSW.



NOTE: The following construction processes are anticipated to generate dust:

- Site Clearance
- Ground Excavation
- Masonry material delivery

To control dust, a combination of the following measures will be implemented:

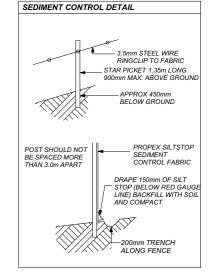
- Boundary fences fitted with shade cloth
- Excavation to be watered down at the excavation face
- Material Stock piles to be watered down and covered with plastic
- Scaffold to be fitted with shade cloth
- Trucks Tipper trays to be covered with protective shade cloth
- Site Disturbance keep to a minimum at any one time.
- Reduce works on high wind days
- Regular clear dry sediment material from sediment barriers
- Broom sweeping to be kept at a minimum.

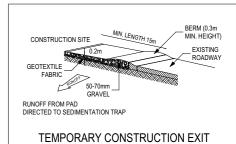
NOTE: The site construction works will be competed in the following stages:

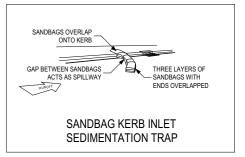
- STAGE 1 Site Setup. (One Off)
- STAGE 2 Detailed Demolition and Salvage. (Low Cycle)
- STAGE 3 General Demolition, Piling and Excavation. (Medium Cycle)
- STAGE 4 Surface Excavation and Underpining. (Medium Cycle)
- STAGE 5 Bulk Excavation. (High Cycle)
- STAGE 6 Crane Installation. (One Off)
- STAGE 7 Building Structure. (High Cycle)
- STAGE 8 Crane Removal. (One Off)
- Stage 9 Construction Generally. (Medium Cycle)
- * One Off Single days of activity for delivery and installation associated with "on street" mobile crane age subject to separate crane age permits or the use of low loader equipment for heavy machinery delivery.
- ** Low cycle Few truck movements up to 1 per hour (8 per day)
- *** Medium Cycle Increasing truck movement up to 2 per hour (16 per day)
- **** High Cycle High truck movements up to 3 per hour (24 per day)

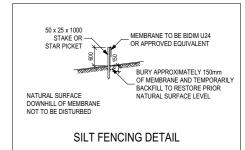
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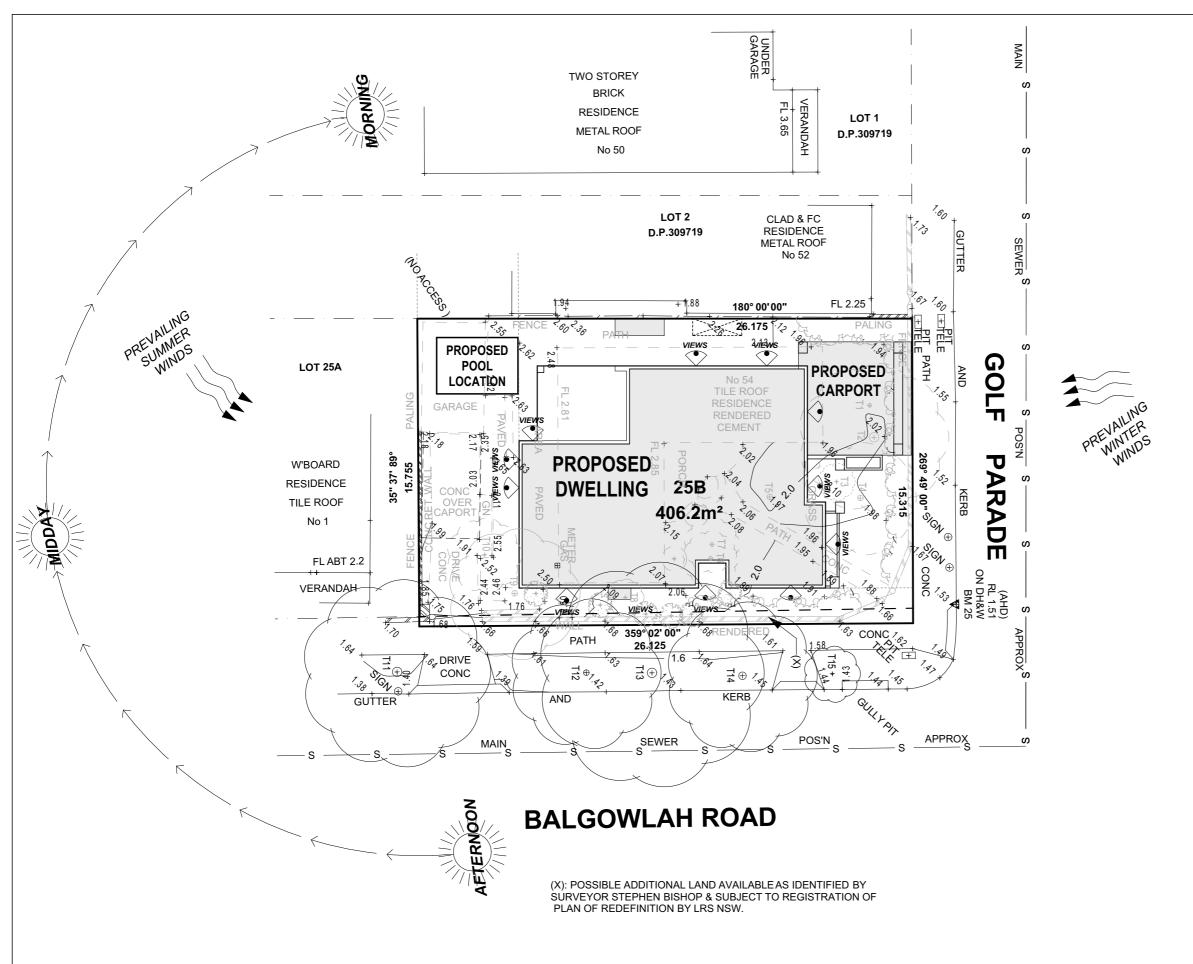
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	COUNCIL: NORTHERN BEACHES COUNCIL	DP No: 391974	DRAWING: SITE MANAG	EMENT/SEDIMENT PLAN	SCALE:	200	PAGE NO: 9 of 12	REV:



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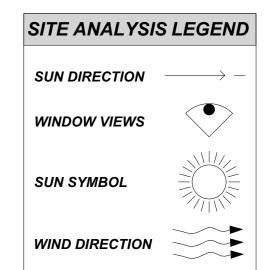
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HOMES

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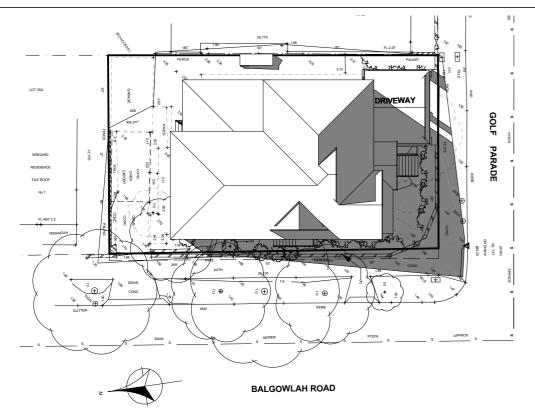
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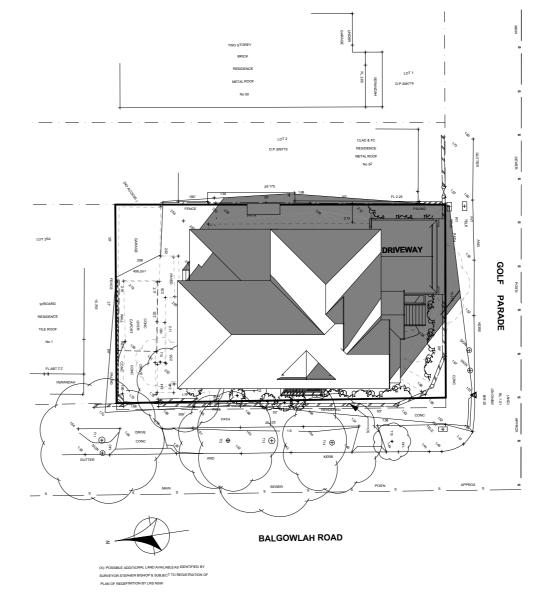
LODGEMENT: FOR: DRAWN: CHECKED: HOUSE TYPE MR RAWSON CUSTOM MODEL: MM DA/CC **HAMPTONS** ADDRESS: FACADE: APPROVED FOR CONSTRUCTION: LOT 25B #54 GOLF PARADE DATE DRAWN JOB NO: GARAGE SIDE: 30/07/19 H0246 MANLY **PREMIUM** INCLUSIONS: PAGE NO: COUNCIL DRAWING: SCALE: 1:200 NORTHERN BEACHES COUNCIL 391974 SITE ANALYSIS 10 of 12

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JUNE 21 9am 1:300



JUNE 21 3pm 1:300

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JUNE 21 12pm

1:300

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Т	NORTHERN BEACHES COUNCIL	DP No: 391974	DRAWING:	SHADOW DIAGRAMS	SCALE:	300	PAGE NO: 11 of 12	REV:

Planting Schedule 54 Golf Parade, Manly NSW

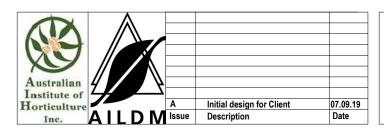
Tranting Schedule 34 don Farade, Marry NSW								
Symbol	Botanic Name	Common Name	Number	Pot Size	Mature Height	Spacing		
Trees								
BDB	Bambusa dolichomerithalla 'Blue'	Doli Blue Bamboo	7	300mm	6m	0.6m		
BSW	Bambusa textilis var gracilis	Small Weavers Bamboo	19	300mm	9m	0.8m		
MTB	Magnolia grandiflora 'Teddy Bear'	Teddy Bear Magnolia	3	75lt	6m	1.2m		
PA	Pulmeria spp.	Frangipani	4	75lt	3m			
XC	Xanthostemon chrysanthus	Golden Penda	1	300mm	15m			
Shrubs								
ACRB	Alpinia caerulea 'Red Back'	Red Back Ginger	13	300mm	1.6m	0.5m		
AND	Alpinia nutans 'Dwarf'	Dwarf Cardamon	18	200mm	0.5m	0.5m		
ASP	Alcantarea 'Silver Plum'	Giant Ruby Bromeliad	13	400mm	1.23m	0.5m		
AZV	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	6	200mm	1.8m	0.5m		
CBB	Crassula ovata 'Blue Bird'	Crassula	2	300mm	0.3m	0.4m		
CG	Canna X generalis - yellow	Canna Lily - Golden	6	tuber	1.4m	0.3m		
DE	Doryanthes excelsa	Gymea Lily	2	300mm	1.8m	_		
DLJ	Dianella caerulea 'Little Jess'	Dianella	30	200mm	0.4m	0.3m		
GM	Gardenia magnifica	Gardenia	7	300mm	0.8m	0.6m		
	Heliconia bihai x Caribaea 'Hot Rio Nights'	Hot Rio Night Heliconia	9	300mm	3m	0.6m		
HCC	Heliconia angusta 'Red Christmas'	Red Christmas Heliconia	17	300mm	1m	0.4m		
LEG	Lirriope 'Evergreen Giant'	Liriope	32	200mm	0.6m	0.4m		
LMS	Lirriope muscari 'Samantha'	Liriope	12	200mm	0.4m	0.3m		
MP	Murraya paniculata	Murraya	11	300mm	Hedged	0.6m		
PMM	Phormium tenax 'Maori Maiden'	NZ Flax	1	300mm	0.9m	0.5m		
PX	Philodendron xanadu	Xanadu	18	300mm	0.5m	0.4m		
ROP	Rhaphiolepis indica 'Oriental Pearl'	Indian Hawthorn	18	300mm	0.5m	0.4m		
	Syzygium australe 'Resilience'	Lilly pilly	4	75lt	2.0m			
	Zamia furfuracea	Cardboard palm	2	300mm	0.75m	0.6m		
Turf	Buffalo - Sir Walter							



1x FP1
ATLANTIS SKORPIO JAR
Product Code: 6325AD
Colour:
Atlantis Glaze
Dimensions:
D72 x H93cm
Drainage Hole



1 X WFI
ATLANTIS SKORPIO JAR
As a Water Feature
Internal Pump
Waterproofed.
Product Code: 6325AD
Colour:
Atlantis Glaze
Dimensions:
D72 x H93cm



General Notes :

Drawings shall not be used for construction purposes until issued by Landscape Designer for construction. Prior to use for building construction the Builder must ensure that they are in possession of a Construction Certificate and all other required Council approvals.

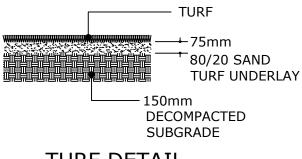
Contractors must verify all dimensions on site before commencing fabrication or preparation of workshop drawings, and verify all errors and ommissions with the Architect. Use figured dimensions only. Do not scale from drawings.

Scale: 1:100@A3 Print Date: Copyright: This drawing is the copyright property of 3DL Landscape Consultants. No part shall be copied or

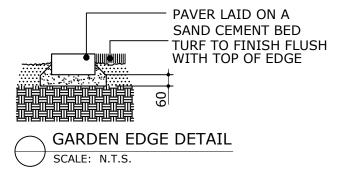
otherwise used without the authors prior written

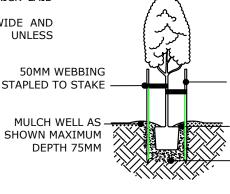
NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUB-GRADE EXCAVATION AND PREPARATION TO ALLOW FOR TOPSOIL AND MULCH DEPTH REQUIREMENTS.
- 2. ALL TREES AND SHRUBS ARE TO BE PLANTED IN ACCORDANCE WITH PLANTING SCHEDULE.
- BEFORE LANDSCAPE WORK IS COMMENCED, CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICE LINES. SERVICE LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOT COVERED BY ANY LANDSCAPE FINISHES (TURFING, PAVING, MULCH, GARDEN BEDS, ETC..)
- 4. "NO LEVELS TAKEN" THEREFORE ANY WALLS, STEPS ETC., TO BE CONSTRUCTED MUST HAVE LEVELS TAKEN ON SITE BY CONTRACTOR TO ASCERTAIN HEIGHT AND/OR SLOPE. ALL CONTOURS SHOWN IN A.H.D.
- 5. ON-STRUCTURE GARDEN BED SOILS TO BE CONDITIONED WITH A 50MM COVER OF PASTEURISED COW MANURE.
- 6. ALL IMPORTED SOIL TO BE OF PREMIUM GARDEN MIX STANDARD CONTAINING 40% SOIL, 20% COARSE SAND, 10% GRADED ASH, 10% COCO PEAT, 20% COMPOSTED SAW DUSTS. PROFILE DEPTHS NOT TO EXCEED 200MM.
- 7. TURF TO BE 'SIR WALTER' GRASS. TURF TO BE LAID ON A 75MM MINIMUM BASE OF 80% SAND 20% SOIL MIX. ALL SUB GRADE CLAYS TO BE JUDICIOUSLY CULTIVATED 150MM DEEP
- 8. ALL BEDS TO BE COVERED WITH A MINIMUM OF 50MM OF HORTICULTURAL GRADE COMPOSTED PINE BARK MULCH.
- 9. ALL GARDEN BED EDGES TO BE BRICK LAID ON A SAND CEMENT BED.
- 10. SURFACE DRAINS TO BE 250MM WIDE AND CONNECTED TO STORM WATER UNLESS OTHERWISE NOTED.









2 x 38x38 H/W STAKES DRIVEN OUTSIDE OF ROOT BALL AND A MINIMUM OF 1200 HIGH

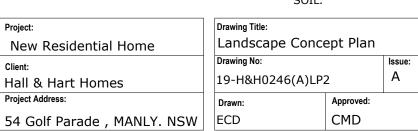
BACKFILL SOIL TO BE CONDITIONED WITH NOT MORE THAN 10% ORGANIC MATTER HOLE TO BE DUG TWICE SIZE

OF THE CONTAINER WITH SURFACE ROUGHED TO PREVENT GLAZING AND PROMOTE GOOD DRAINAGE

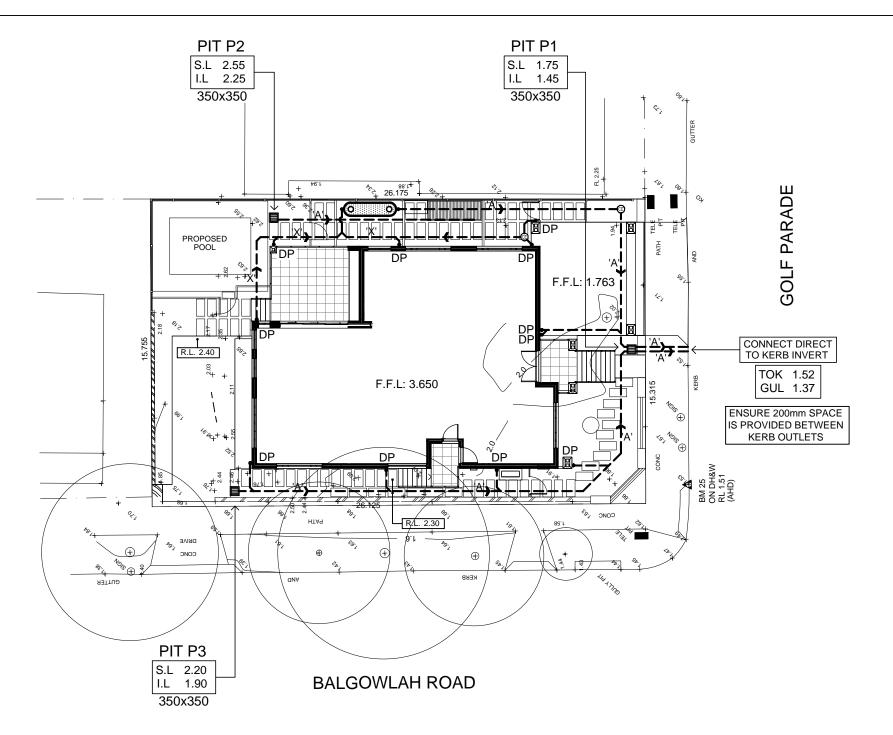


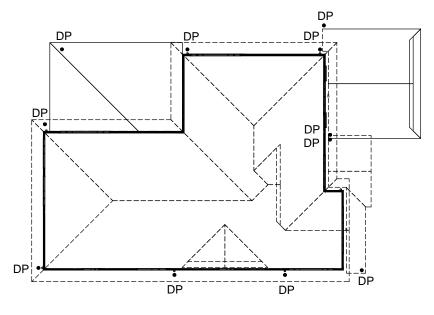
AFTER PLANTING WATER IN PLANT WELL USING 4 TIMES THE PLANT CONTAINER CAPACITY OF WATER.

FOR TREES 50It AND ABOVE INSERT A 60MM DIA AG PIPE UNDER PLANT IN BACKFILL TO PROMOTE GOOD AERATION IN SOIL.

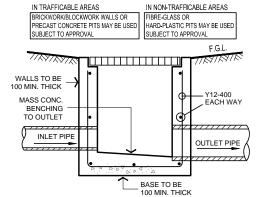








ROOF & FIRST FLOOR LAYOUTS



TYPICAL PIT SECTION



SITE STORMWATER MANAGEMENT LAYOUT

SCALE 1:200/A3

PIPE SCHEDULE

TAG	SIZE	MATERIAL	GRADE	DESCRIPTION
'A'	100 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
'B'	150 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
'X'	100 Ø	P.V.C	CHARGED	TO FEED RAINWATER TANK

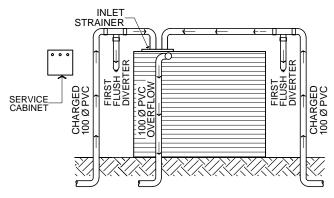


RAINWATER TANK AS SHOWN ON PLAN

PROVIDE A RAINWATER TANK 3000L IN CAPACITY TO SUIT ALL BASIX REQUIREMENTS. TANK TO BE CONNECTED AS SPECIFIED IN BASIX REPORT. ENSURE ALL CONNECTIONS WITHIN CHARGED SYSTEM ARE SOLVENT WELDED

ALL DOWNPIPES ARE TO BE ENTIRELY PVC. PIPES ARE TO BE SEALED UPTO U/S OF ROOF GUTTERS

ROOF GUTTERS I.L. 6.05 TANK INLET I.L. 4.50 HEAD PRESSURE - 1550mm

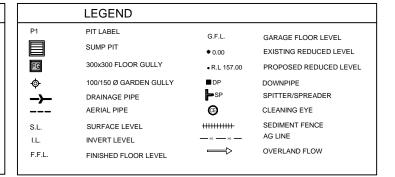


RAINWATER TANK CONFIGURATION

STORMWATER LAYOUT NOTES

- 1) PITS DEEPER THAN 600mm TO BE 600 X 900 W, ELSE 375 SQ U.N.O.
- 2) ALL PIPES TO HAVE 1% MIN. GRADE U.N.O.
- 3) ALL DOWNPIPES TO BE 100 X 50 BOX or 90 \varnothing .
- 4) PIPES TO BE U.P.V.C. OR STORMWATER PIPE TO A.S.1254.
 5) PITS TO BE STANDARD PRECAST CONCRETE PITS OR BRICK
- RENDERED WITH CONCRETE HEAVY DUTY GRATES SIZED
 AS PITS PER PLAN.
- 6) NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS.
- 7) PERSONS UTILISING THIS PLAN FOR ANY PURPOSES SHALL VERIFY THE DATUM & RESPECTIVE LEVELS PRIOR TO

- COMMENCING ANY WORKS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- 8) DRIVEWAY LEVELS PROVIDED FOR DRAINAGE DESIGN PURPOSES ONLY. LEVELS MAY BE ADJUSTED TO SUIT FINAL HOUSE CUT/FILL CONDITIONS BUT NEED TO MAINTAIN INTENT OF DRAINAGE SYSTEM. ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION TO ENSURE INTENT MAINTAINED.
- END OF EXISTING DRAINAGE LINE TO BE EXPOSED & LEVELS CONFIRMED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS.
- 10) BUILDERS TO ENSURE SERVICES CONNECTIONS TO HOUSE DO NOT CONFLICT WITH DRAINAGE DESIGN REQUIREMENTS.
- 11) ALL WORKS TO BE CONSTRUCTED TO GOOD BUILDING PRACTICE & MATERIALS TO MEET ACCEPTED SPECIFICATIONS.



ON SITE DETENTION IS NOT REQUIRED AS PER PRE-LODGMENT ADVICE

PROJECT: PROPOSED RESIDENTIAL DWELLING AT
LOT 25B, # 54 GOLF PARADE, MANLY NSW
DRAWING: SITE STORMWATER MANAGEMENT LAYOUT
DESIGNED DRAWN CHECKED:
ANDREW L WAHBE - BE (CIVIL) MIEAUST PENG
PROJECT: PROPOSED RESIDENTIAL DWELLING AT
LOT 25B, # 54 GOLF PARADE, MANLY NSW
DRAWING: SITE STORMWATER MANAGEMENT LAYOUT
DESIGNED DRAWN CHECKED:
ANDREW L WAHBE - BE (CIVIL) MIEAUST PENG
N.W N.W DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY DESIGNING ENGINEER
A ISSUED FOR DEVELOPMENT APPLICATION 23/09/19
ISSUE REVISION DESCRIPTION APPR. DATE



Name:	RAWSON

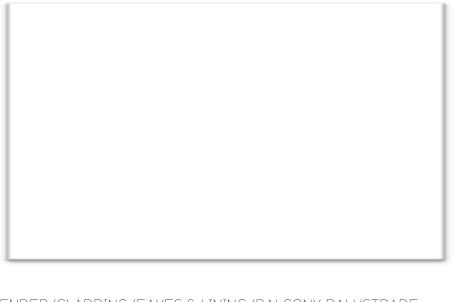
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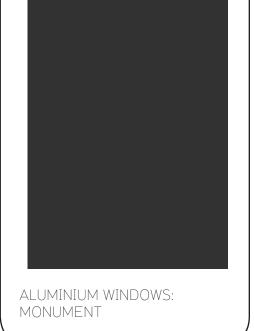
25/09/19

ROOF/GUTTER/FASCIA/GARAGE: COLORBOND SHALE GREY



FRONT ENTRY DOOR QUANTUM BLACK





RENDER/CLADDING/EAVES & LINING/BALCONY BALUSTRADE: TAUBMANS AKIMBO

Job Number: H0246 Site Address: 54 Golf Parade Manly NSW 2095 Consultant: Carly Beautyman