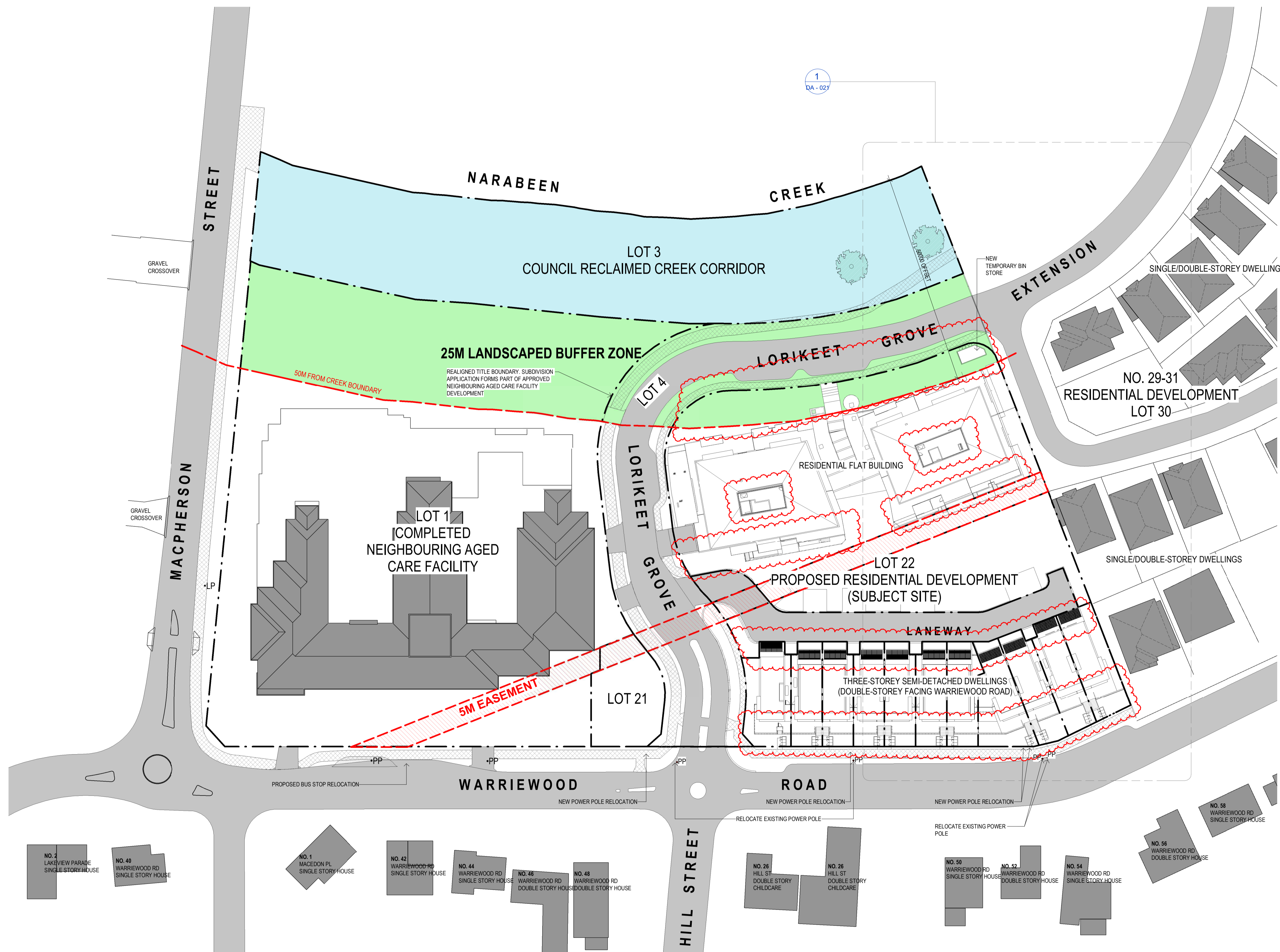


- LEGEND**
- COUNCIL RECLAIMED CREEK CORRIDOR ZONE
 - 25 METRE LANDSCAPED BUFFER ZONE
 - PROPOSED BUILDINGS - SUBJECT SITE
 - EXISTING NEIGHBOURING BUILDINGS



NOTE:
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE 'DRAFT PLAN OF SUBDIVISION SUBJECT TO FINAL SURVEY' PREPARED FOR APPROVED DEVELOPMENT CONSENT N0611/16 RELATING TO THE DEVELOPMENT OF THE RESIDUAL SUPER LOT (LOT 2).

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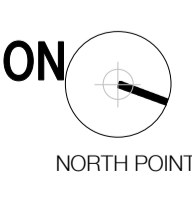
REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA5	ISSUE FOR WASTE UPDATE	12.08.2020	MH
DA6	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA7	DA AMENDMENT	17.12.2020	TM

PROJECT REF: C:\Users\Mikondraganin\Documents\1510121 - APCARE - WARRIWOOD APT - DA PACKAGE_CENTRAL_19_Mikondraganin.rvt
TIMESTAMP: 17/12/2020 5:02:24 PM

KEY PLAN

STATUS

DEVELOPMENT APPLICATION



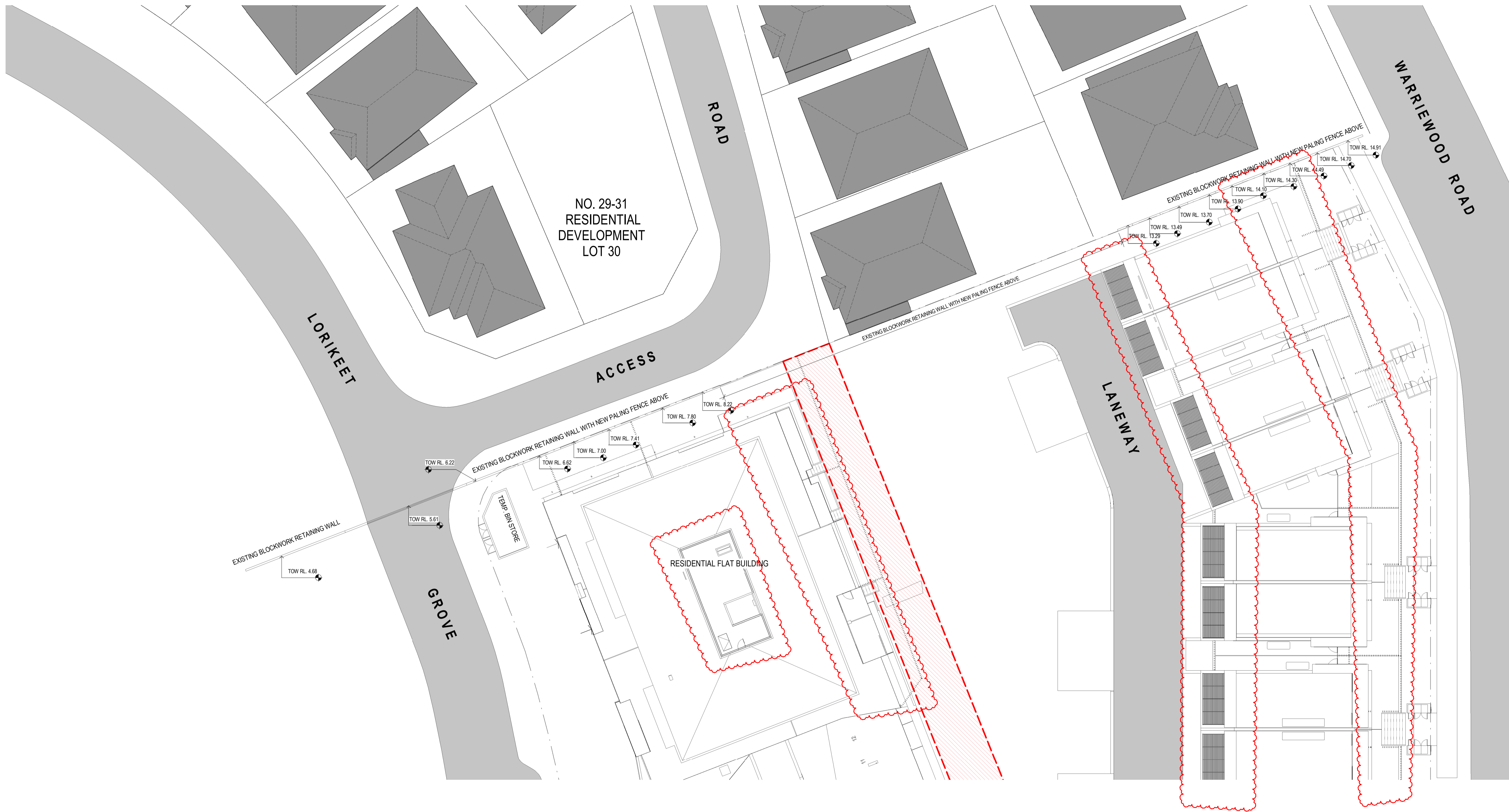
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. SHEET TO BE PRINTED IN COLOUR. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.



PROJECT
WARRIWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIWOOD ROAD, NSW 2102

CLIENT
KNOWLES GROUP
DRAWING TITLE
PROPOSED SITE PLAN

SCALE (@A1) 1 : 500 / DRAWN BY MZ / CHECKED BY TM / PROJECT No. 1510121 / DRAWING No. DA - 020 / REV DA7



REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA5	ISSUE FOR WASTE UPDATE	12.06.2020	MH
DA6	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA7	DA AMENDMENT	17.12.2020	TM

PROJECT REF: C:\Users\Mikondogianis\Documents\1510121 - APCARE - WARRIWOOD APT - DA PACKAGE CENTRAL_19_Mikondogianis.rvt
TIMESTAMP: 17/12/2020 5:02:42 PM

KEY PLAN

STATUS

DEVELOPMENT APPLICATION



NORTH POINT

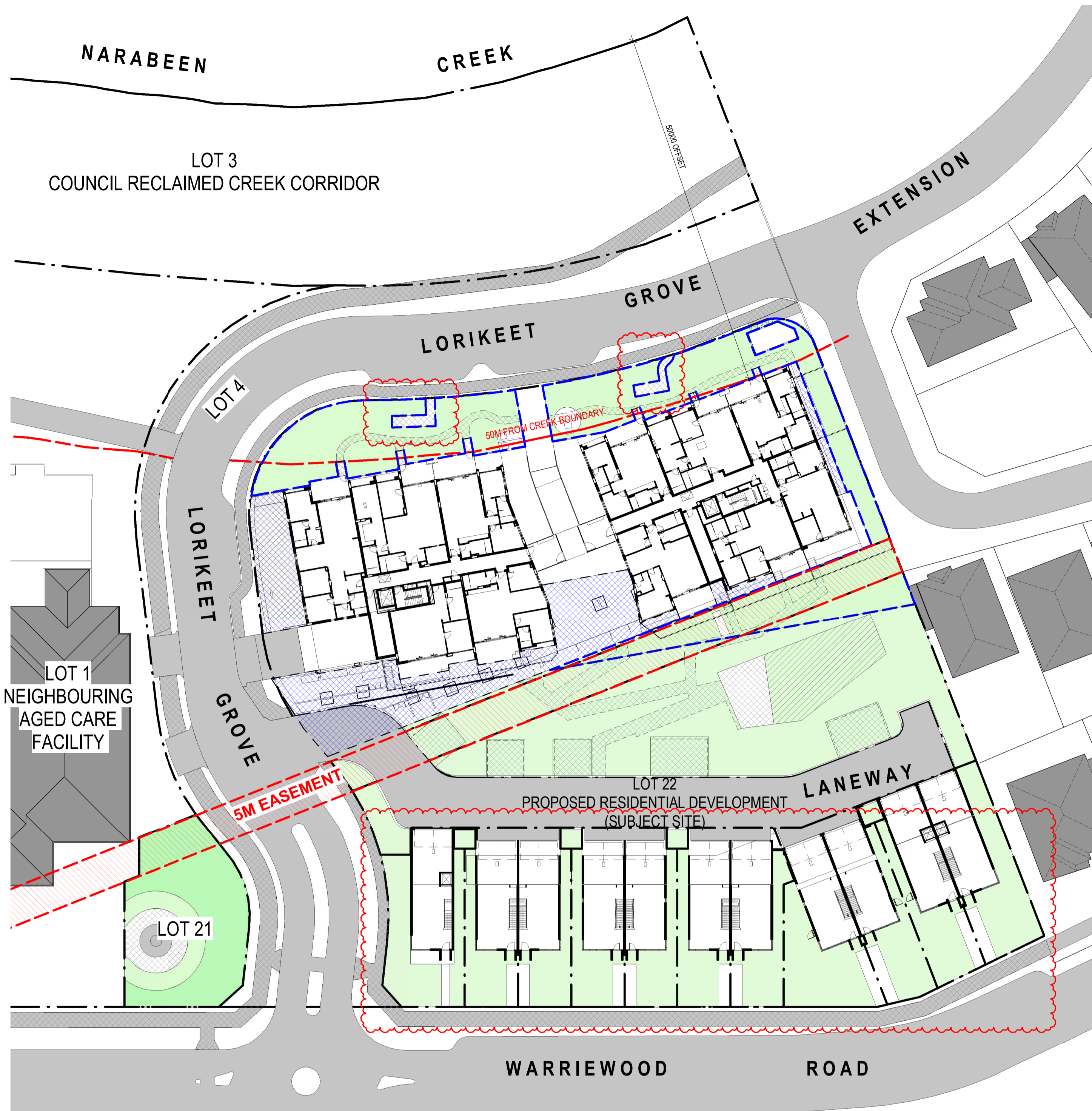


THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. SHEET TO BE PRINTED IN COLOUR. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT
WARRIWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIWOOD ROAD, NSW 2102

CLIENT
KNOWLES GROUP
DRAWING TITLE
SITE PLAN - NORTHERN BOUNDARY

SCALE (A1) / DRAWN BY / CHECKED BY / PROJECT No. / DRAWING No. / REV
1 : 200 / MZ / TM / 1510121 / DA - 021 / DA7



1 LANDSCAPED AREA DIAGRAM 1 (DCP)
DA-052 1:400

LEGEND

LANDSCAPED AREA (AS PER CLAUSE DAN0611/16 41%)

EXTENT OF SITE WITH BASEMENT UNDER NOT INCLUDED IN THE LANDSCAPE AREA

TOTAL SITE AREA OF LOT 21 =	394 SQM
TOTAL LANDSCAPED AREA =	328 SQM
LANDSCAPED AREA PROVIDED =	83% OF LOT 21 SITE AREA
TOTAL SITE AREA OF LOT 22 =	7784 SQM
TOTAL LANDSCAPED AREA =	3055 SQM
LANDSCAPED AREA PROVIDED =	39% OF LOT 22 SITE AREA
TOTAL COMBINED SITE AREA FOR LOT 21 & 22 =	8178 SQM
LANDSCAPED AREA REQUIRED =	41% OF TOTAL SITE AREA
TOTAL LANDSCAPED AREA =	3383 SQM
LANDSCAPED AREA PROVIDED =	41% OF TOTAL SITE AREA



2 LANDSCAPED AREA DIAGRAM 2 (DCP)
DA-052 1:400

LEGEND

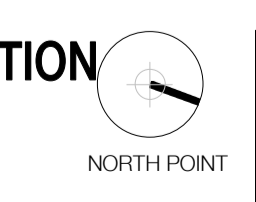
LANDSCAPED AREA OF MINIMUM DIMENSION 3-METRE WIDE (AS PER CLAUSE D16.5 OF DCP)

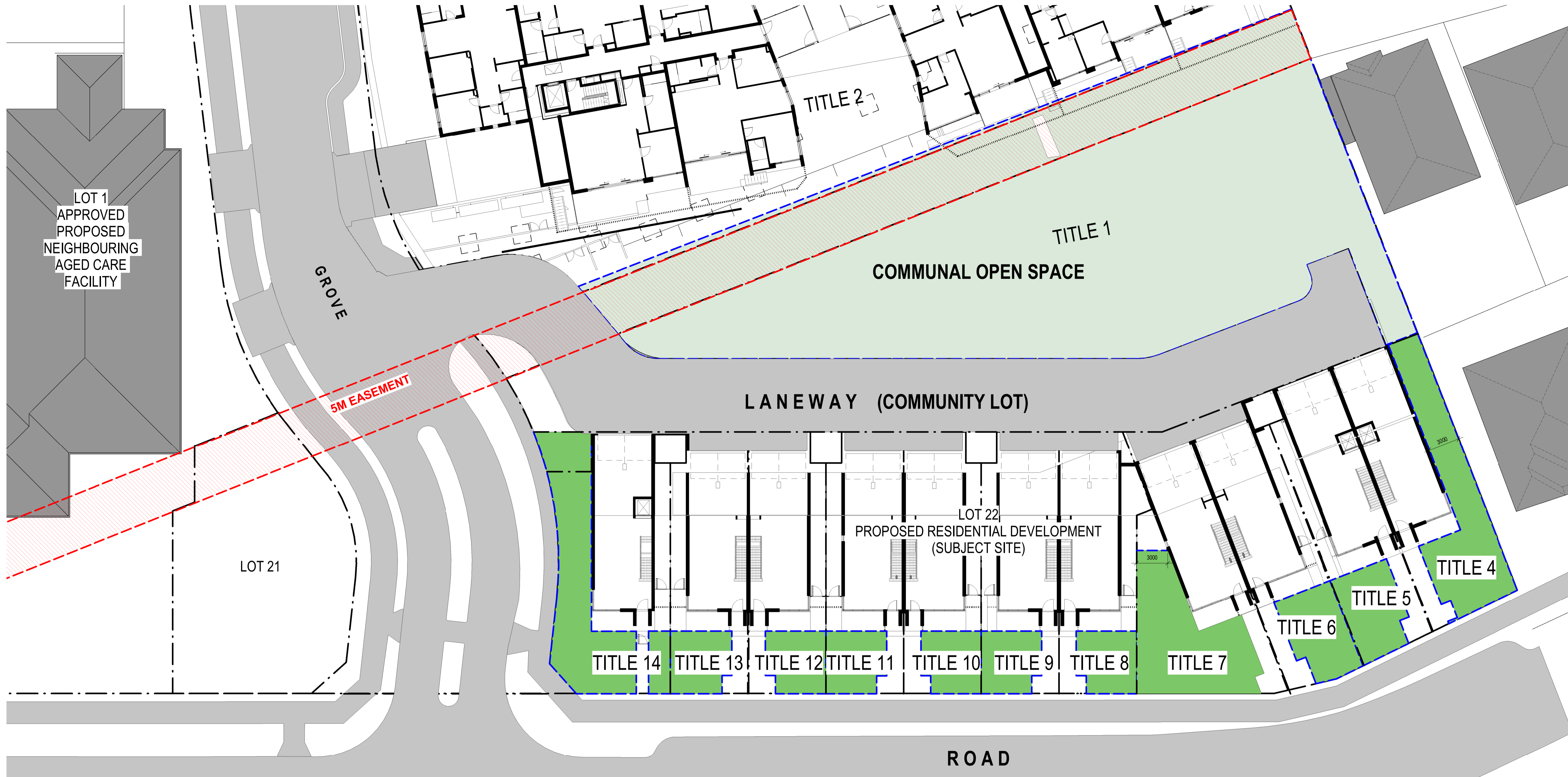
EXTENT OF SITE WITH BASEMENT UNDER NOT INCLUDED IN THE LANDSCAPE AREA

TOTAL SITE AREA OF LOT 21 =	394 SQM
TOTAL LANDSCAPED AREA =	328 SQM
LANDSCAPED AREA PROVIDED =	83% OF LOT 21 SITE AREA
TOTAL SITE AREA OF LOT 22 =	7784 SQM
TOTAL LANDSCAPED AREA =	3029 SQM
LANDSCAPED AREA PROVIDED =	39% OF LOT 22 SITE AREA
TOTAL COMBINED SITE AREA FOR LOT 21 & 22 =	8178 SQM
LANDSCAPED AREA REQUIRED =	25% OF TOTAL SITE AREA
TOTAL LANDSCAPED AREA =	3347 SQM
LANDSCAPED AREA PROVIDED =	41% OF TOTAL SITE AREA

REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA5	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA6	DA AMENDMENT	17.12.2020	TM

PROJECT REF: C:\Users\Mikondraganov\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE_CENTRAL_19_Mikondraganov.rvt
TIMESTAMP: 17/12/2020 5:02:52 PM





1 LANDSCAPED AREA DIAGRAM - COMMUNITY TITLE ALLOTMENT
DA-053 1:200

LEGEND

- LANDSCAPED AREA OF MINIMUM DIMENSION 3-METRE WIDE (AS PER CLAUSE D16.5 OF DCP)
- COMMUNAL OPEN SPACE

LANDSCAPED AREA REQUIRED = 25% OF TOTAL SITE AREA

LANDSCAPED AREA SCHEDULE - COMMUNITY TITLES			
TITLE NUMBER	TOTAL LANDSCAPED AREA PER TITLE (M ²)	TITLE TOTAL SITE AREA (M ²)	PERCENTAGE OF LANDSCAPED AREA PROVIDED (%)
4	111	241	46
5	47	200	23.5
6	49	203	24.1
7	108	246	43.9
8	33	185	17.8
9	33	182	18.1
10	33	182	18.1
11	33	182	18.1
12	33	182	18.1
13	33	182	18.1
14	129	257	50.1

NOTE:

COMMUNAL SHARED OPEN SPACE AND TOTAL LANDSCAPED AREA ACROSS ALL SITES AT 40% LANDSCAPED AREA (SEE PREVIOUS PAGE) TO BE CONSIDERED IN LIEU OF MEETING REQUIREMENT PER SITE.

REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA5	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH

PROJECT REF: C:\Users\Mikondraganis\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE_CENTRAL_19_Mikondraganis.rvt
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KEY PLAN

STATUS

DEVELOPMENT APPLICATION



NORTH POINT

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PROJECT
WARRIEWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIEWOOD ROAD, NSW 2102

CLIENT
KNOWLES GROUP
DRAWING TITLE
SITE DIAGRAM - LANDSCAPED AREA

SCALE (A1) / DRAWN BY / CHECKED BY / PROJECT No. / DRAWING No. / REV
As indicated / KC / TM / 1510121 / DA - 053 / DA5



- LEGEND**
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS
- CONCRETE FOOTPATH
 - STONE FOOTPATH
 - GARDEN
 - GRASS
 - PLANTER BOX
 - PERMEABLE PAVING / PARKING
 - PRIVATE OPEN SPACE - BALCONY / TERRACE
 - PRIVATE OPEN SPACE - GARDEN
 - TREE - PROPOSED
REFER TO LANDSCAPE PLAN FOR DETAILS
 - RAINWATER TANK -
REFER TO PLANS FOR LOCATIONS
 - WINDOW WITH BI-FOLD SHUTTERS
REFER TO DRAWING DA - 260

VIA ARCHITECTS

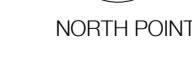
LEVEL 3, 377 LONSDALE STREET MELBOURNE VIC 3000
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REV	DESCRIPTION	DATE	BY
DA5	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA6	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA7	ISSUE FOR WASTE UPDATE	12.08.2020	MH
DA8	DEFERRED COMMENCEMENT ITEMS	13.11.2020	TM
DA9	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA10	DA AMENDMENT	17.12.2020	TM
DA11	DA AMENDMENT	28.01.2021	MZ

PROJECT REF: C:\Users\MZ\Documents\1510121 - ARCADE - WARRIWOOD APT - DA PACKAGE_CENTRAL_19_MZ.dwg
TIMESTAMP: 29/01/2021 11:36:23 AM

KEY PLAN STATUS

DEVELOPMENT APPLICATION



PROJECT
WARRIWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIWOOD ROAD, NSW 2102

SCALE (B/A1)
1 : 200

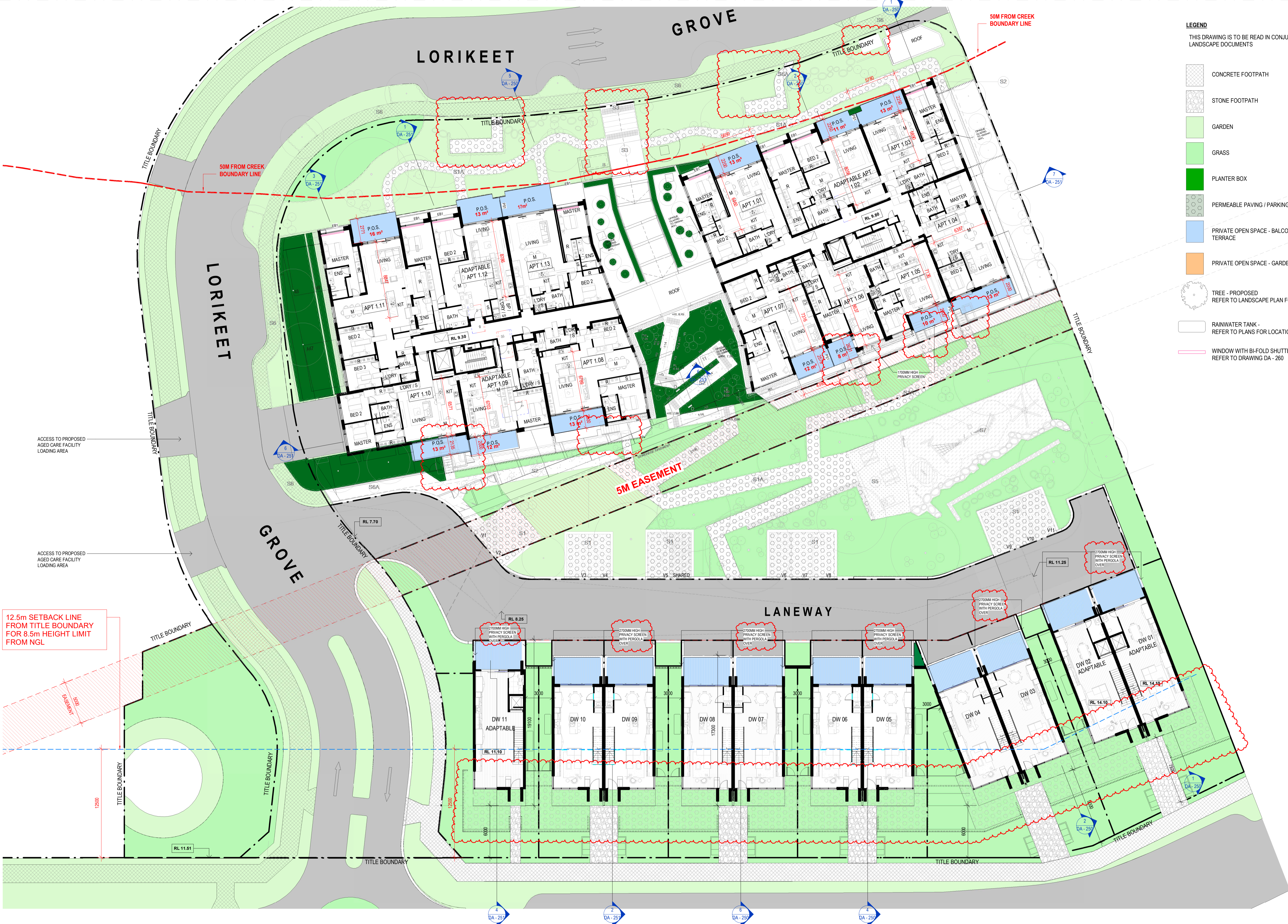
CLIENT
KNOWLES GROUP
DRAWING TITLE
PROPOSED APARTMENT GROUND FLOOR PLAN / DWELLING LOWER LEVEL FLOOR PLAN

PROJECT No. 1510121 / DRAWING No. DA - 100 / REV DA11

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DRAWN BY: JC / CHECKED BY: MA



- LEGEND**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS
- CONCRETE FOOTPATH
 - STONE FOOTPATH
 - GARDEN
 - GRASS
 - PLANTER BOX
 - PERMEABLE PAVING / PARKING
 - PRIVATE OPEN SPACE - BALCONY / TERRACE
 - PRIVATE OPEN SPACE - GARDEN
 - TREE - PROPOSED
REFER TO LANDSCAPE PLAN FOR DETAILS
 - RAINWATER TANK -
REFER TO PLANS FOR LOCATIONS
 - WINDOW WITH BI-FOLD SHUTTERS
REFER TO DRAWING DA - 260

V / A ARCHITECTS

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REV	DESCRIPTION	DATE	BY
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA4	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA5	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA6	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA7	ISSUE FOR WASTE UPDATE	12.08.2020	MH
DA8	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA9	DA AMENDMENT	17.12.2020	TM

PROJECT REF: C:\Users\Mikondraganis\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE_CENTRAL_19_Mikondraganis.rvt
TIMESTAMP: 17/12/2020 5:03:45 PM

KEY PLAN STATUS
DEVELOPMENT APPLICATION



PROJECT
WARRIEWOOD RESIDENTIAL DEVELOPMENT

ADDRESS
25 - 27 WARRIEWOOD ROAD, NSW 2102

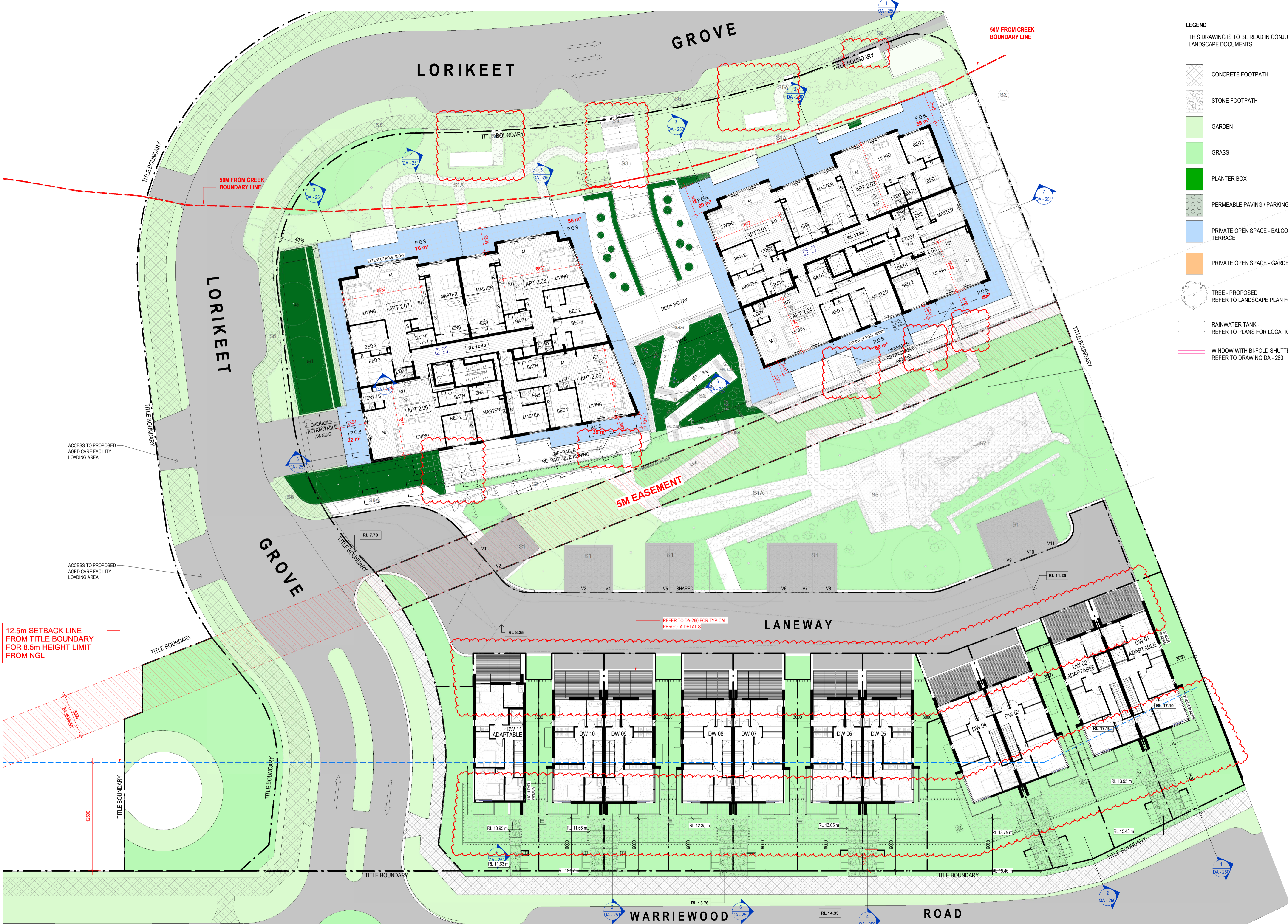
SCALE (B/A1) 1:200 / DRAWN BY JC / CHECKED BY MA

CLIENT
KNOWLES GROUP

DRAWING TITLE
PROPOSED APARTMENT FIRST FLOOR PLAN / DWELLING MID LEVEL FLOOR PLAN

PROJECT No. 1510121 / DRAWING No. DA - 101 / REV DA9

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. REQUIRED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALES. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. SHEET TO BE PRINTED IN COLOR. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.



- LEGEND**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS
- CONCRETE FOOTPATH
 - STONE FOOTPATH
 - GARDEN
 - GRASS
 - PLANTER BOX
 - PERMEABLE PAVING / PARKING
 - PRIVATE OPEN SPACE - BALCONY / TERRACE
 - PRIVATE OPEN SPACE - GARDEN
 - TREE - PROPOSED
REFER TO LANDSCAPE PLAN FOR DETAILS
 - RAINWATER TANK -
REFER TO PLANS FOR LOCATIONS
 - WINDOW WITH BI-FOLD SHUTTERS
REFER TO DRAWING DA - 260

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REV	DESCRIPTION	DATE	BY
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA5	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA6	ISSUE FOR WASTE UPGRADE	12.08.2020	MH
DA7	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA8	DA AMENDMENT	17.12.2020	TM

PROJECT REF: C:\Users\Mikondraganis\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE_CENTRAL_19_Mikondraganis.rvt
TIMESTAMP: 17/12/2020 5:04:04 PM

KEY PLAN STATUS
DEVELOPMENT APPLICATION



PROJECT
WARRIEWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIEWOOD ROAD, NSW 2102

SCALE (B/A1)
1 : 200

DRAWN BY
JC

CHECKED BY
MA

CLIENT
KNOWLES GROUP
DRAWING TITLE
PROPOSED APARTMENT SECOND FLOOR PLAN / DWELLING UPPER LEVEL FLOOR PLAN

PROJECT No.
1510121

DRAWING No.
DA - 102

REV
DA8

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000556990 22 Dec 2020

Assessor: David Howard
Accreditation No.: 20039

Address: 25-27 Warriewood Rd., Warriewood, NSW, 2102

005556990 25-27 W
hstar.com.au

LEGEND

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DOCUMENTS

- CONCRETE FOOTPATH
- STONE FOOTPATH
- GARDEN
- GRASS
- PLANTER BOX
- PERMEABLE PAVING / PARKING
- PRIVATE OPEN SPACE - BALCONY / TERRACE
- PRIVATE OPEN SPACE - GARDEN
- TREE - PROPOSED
REFER TO LANDSCAPE PLAN FOR DETAILS
- RAINWATER TANK -
REFER TO PLANS FOR LOCATIONS
- WINDOW WITH BI-FOLD SHUTTERS
REFER TO DRAWING DA - 260

THERMAL PERFORMANCE SPECIFICATIONS: (20375_03 - Town Houses - Warriewood Rd)

Specification for Town Houses.

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the New South Wales Additional in the current edition of the NCC - Vol. 2, at the time of building. This includes New South Wales Parts 2.5 and 3.12. Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- Building Sealing
- Building Services

NOTE: Ventilation requirements of Section 3.8.5.2 c (6) (B) must also be complied with and this means bathrooms should not normally be exhausted into rooftops.

WINDOWS (total product specification - glass + frame)

- U-value 2.50 (or less than) & SHGC 0.51 (+5%) typically Double glazing in AL frame (DW11)
- U-value 2.50 (or less than) & SHGC 0.44 (+5%) typically Triple glazing in AL frame (generally)
- U-value 4.80 (or less than) & SHGC 0.51 (+5%) typically Tinted Low-e in AL frame (louvers)

EXTERNAL WALL (Medium colour)

- Concrete Block - R1.5 Bulk insulation with vapour barrier (adjacent to earth)
- Cavity Panel - R2.5 - 90mm thick Bulk insulation with vapour barrier

INTERNAL WALL:

- Cavity Panel - No insulation (generally)
- Cavity Panel - R2.5 - 90mm thick Bulk insulation (between Garage & Living areas)

EXTERNAL FLOOR:

- Concrete Slab on Ground - No insulation
- Suspended Timber (Open Sub-Floor) - R2.5 Bulk insulation

CEILING SPACE WITH ROOF ABOVE:

- Plasterboard - R3.5 Bulk insulation (No insulation required for external Garage ceilings)
- Plasterboard - R3.0 Bulk insulation (in Garage ceiling)

ROOF (Medium colour) (Non-ventilated):

- Sheet Metal Roofing - 50mm Foil Batted with Reflective argap

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie. IC rated)

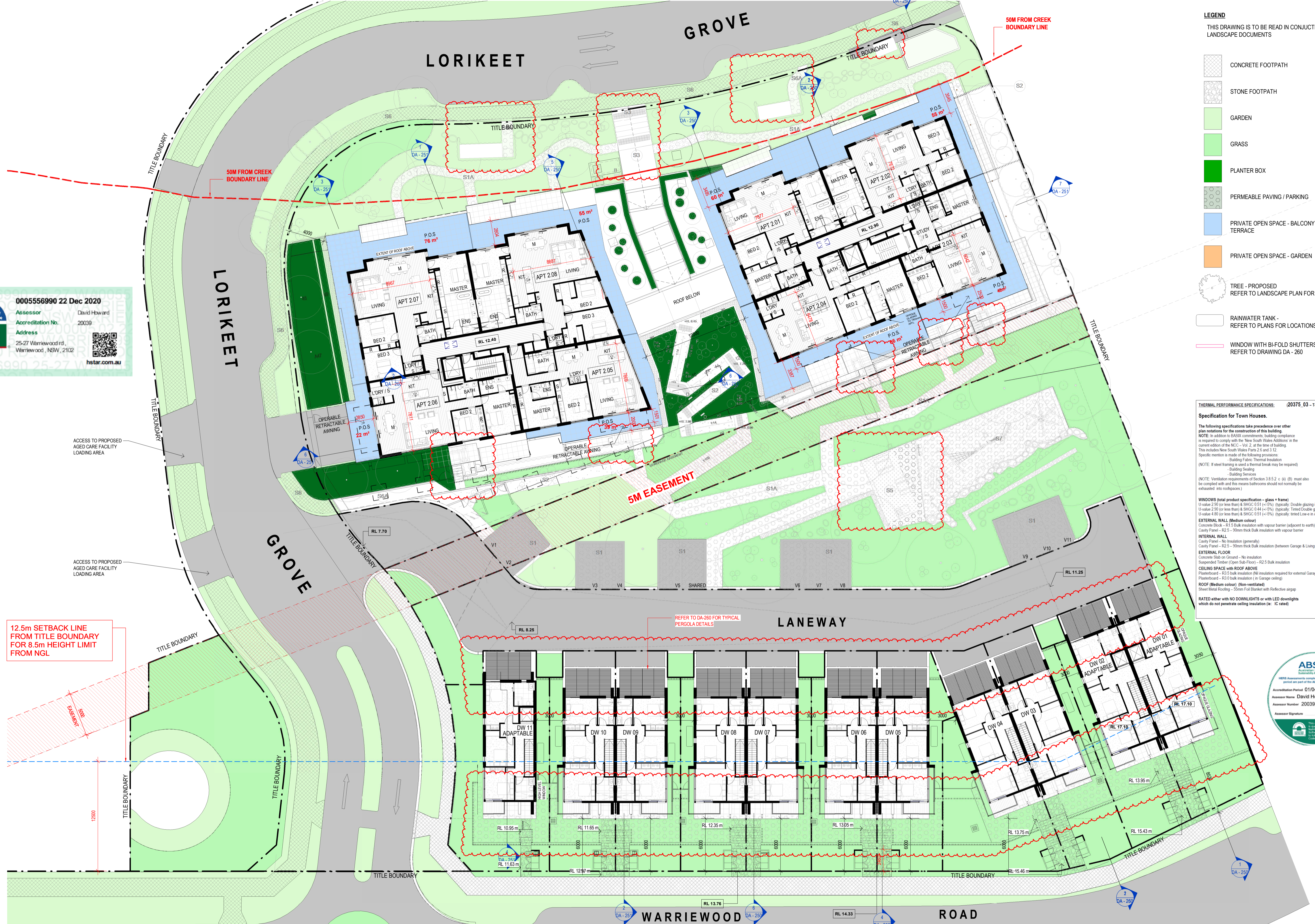
ABSA
Sustainability Assessor

NOTE: Assessments completed online within the accreditation period are part of the ABSA quality audit system.

Accreditation Period: 01/04/2020-31/03/2021

Assessor Name: David Howard
Assessor Number: 20039

Assessor Signature: [Signature]



REV	DESCRIPTION	DATE	BY
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA5	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA6	ISSUE FOR WASTE UPDATE	12.08.2020	MH
DA7	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA8	DA AMENDMENT	14.12.2020	TM

KEY PLAN

STATUS

DEVELOPMENT APPLICATION

NORTH POINT

PROJECT
WARRIEWOOD RESIDENTIAL DEVELOPMENT

CLIENT
KNOWLES GROUP

DRAWING TITLE
PROPOSED APARTMENT SECOND FLOOR PLAN / DWELLING UPPER LEVEL FLOOR PLAN

ADDRESS
25 - 27 WARRIEWOOD ROAD, NSW 2102

FLOOR PLAN

SCALE (A1) 1:200 / DRAWN BY JC / CHECKED BY MA / PROJECT No. 1510121 / DRAWING No. DA - 102 / REV DA8

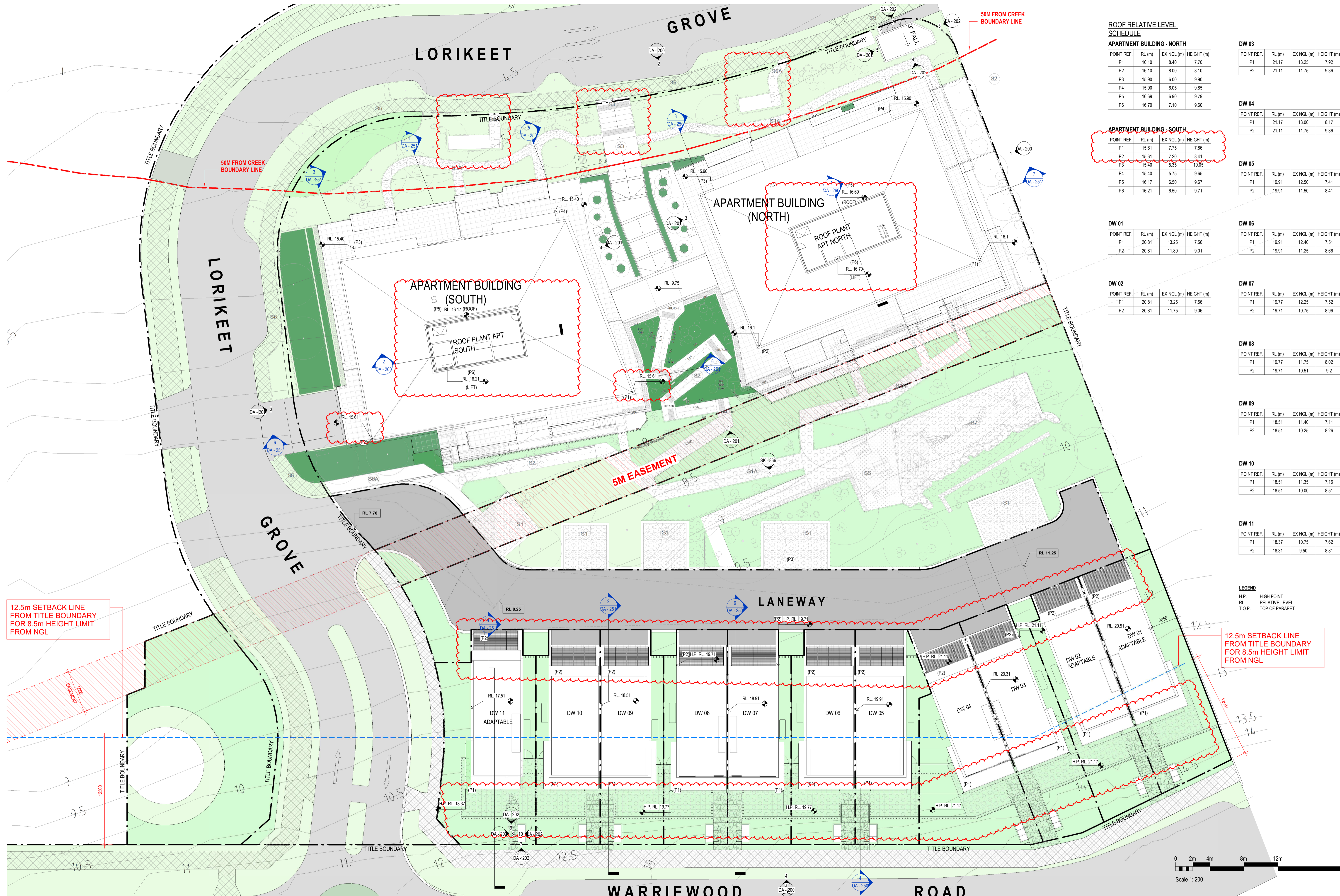
VIA ARCHITECTS

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ROOF RELATIVE LEVEL SCHEDULE

APARTMENT BUILDING - NORTH

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	16.10	8.40	7.70
P2	16.10	8.00	8.10
P3	15.90	6.00	9.90
P4	15.90	6.05	9.85
P5	16.69	6.90	9.79
P6	16.70	7.10	9.60

DW 03

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	21.17	13.25	7.92
P2	21.11	11.75	9.36

APARTMENT BUILDING - SOUTH

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	15.61	7.75	7.86
P2	15.61	7.20	8.41
P3	15.40	5.35	10.05
P4	15.40	5.75	9.65
P5	16.17	6.50	9.67
P6	16.21	6.50	9.71

DW 04

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	21.17	13.00	8.17
P2	21.11	11.75	9.36

DW 05

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.91	12.50	7.41
P2	19.91	11.50	8.41

DW 01

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	20.81	13.25	7.56
P2	20.81	11.80	9.01

DW 06

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.91	12.40	7.51
P2	19.91	11.25	8.66

DW 02

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	20.81	13.25	7.56
P2	20.81	11.75	9.06

DW 07

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.77	12.25	7.52
P2	19.71	10.75	8.96

DW 08

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	19.77	11.75	8.02
P2	19.71	10.51	9.2

DW 09

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.51	11.40	7.11
P2	18.51	10.25	8.26

DW 10

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.51	11.35	7.16
P2	18.51	10.00	8.51

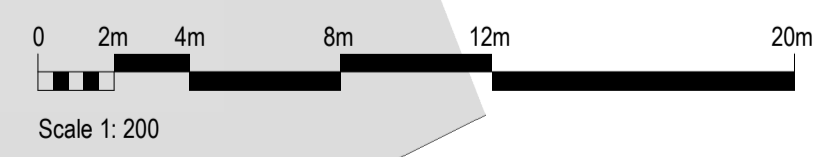
DW 11

POINT REF.	RL (m)	EX NGL (m)	HEIGHT (m)
P1	18.37	10.75	7.62
P2	18.31	9.50	8.81

LEGEND
 H.P. HIGH POINT
 RL RELATIVE LEVEL
 T.O.P. TOP OF PARAPET

12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5m HEIGHT LIMIT FROM NGL

12.5m SETBACK LINE FROM TITLE BOUNDARY FOR 8.5m HEIGHT LIMIT FROM NGL



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REV	DESCRIPTION	DATE	BY
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA5	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA6	ISSUE FOR WASTE UPDATE	12.06.2020	MH
DA7	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA8	DA AMENDMENT	17.12.2020	TM

PROJECT REF: C:\Users\Mikondgarris\Documents\1510121 - APCARE - WARRIEWOOD APT - DA PACKAGE_CENTRAL_19_Mikondgarris.rvt
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KEY PLAN

STATUS

DEVELOPMENT APPLICATION

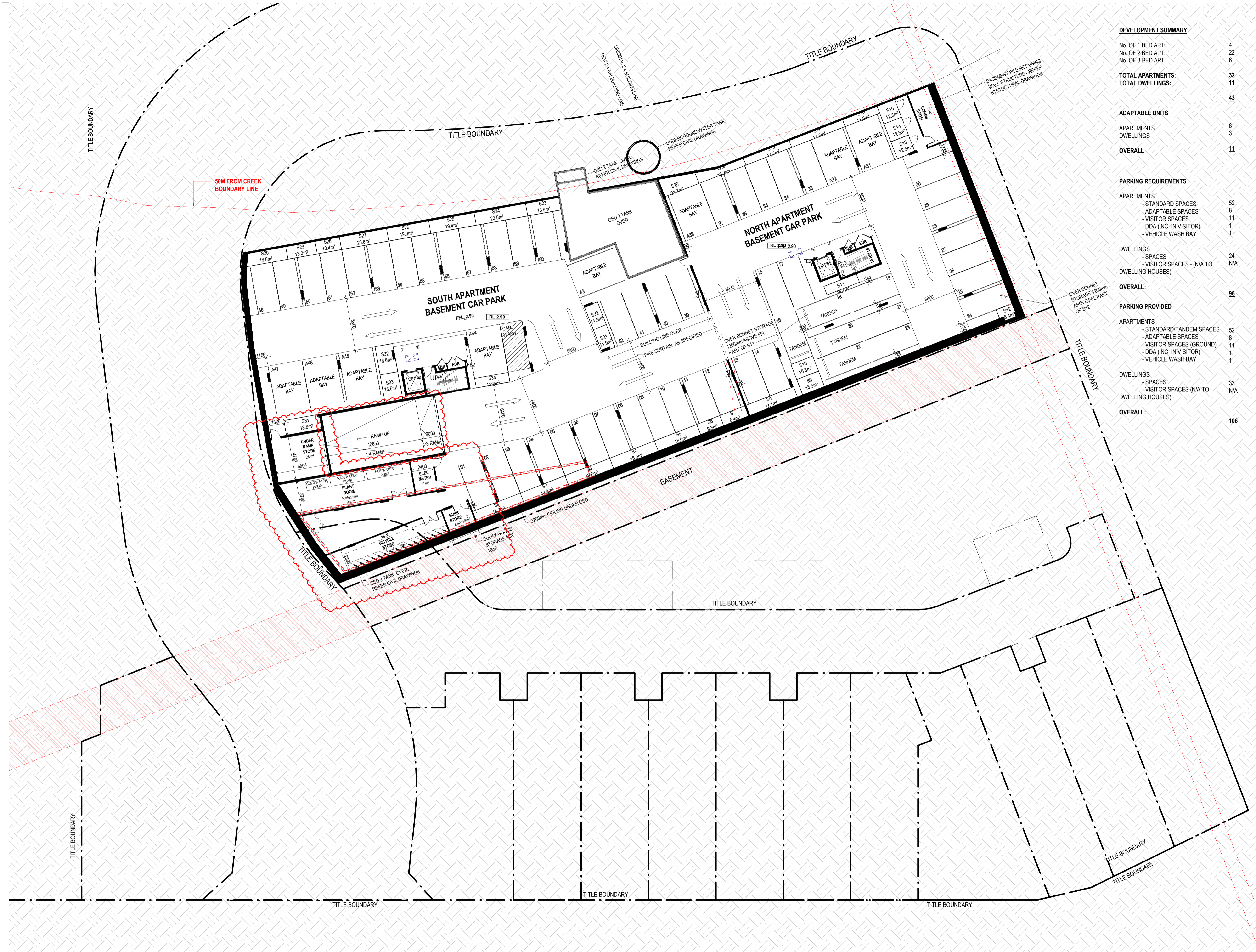


PROJECT
 WARRIEWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
 25 - 27 WARRIEWOOD ROAD, NSW 2102

CLIENT
 KNOWLES GROUP
DRAWING TITLE
 PROPOSED OVERALL ROOF PLAN

SCALE (@A1) 1:200 / DRAWN BY TM / CHECKED BY MA / PROJECT No. 1510121 / DRAWING No. DA-104 / REV DA8

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DEVELOPMENT SUMMARY

No. OF 1 BED APT:	4
No. OF 2 BED APT:	22
No. OF 3-BED APT:	6
TOTAL APARTMENTS:	32
TOTAL DWELLINGS:	11
ADAPTABLE UNITS	
APARTMENTS	8
DWELLINGS	3
OVERALL	11
PARKING REQUIREMENTS	
APARTMENTS	
- STANDARD SPACES	52
- ADAPTABLE SPACES	8
- VISITOR SPACES	11
- DDA (INC. IN VISITOR)	1
- VEHICLE WASH BAY	1
DWELLINGS	
- SPACES	24
- VISITOR SPACES - (N/A TO DWELLING HOUSES)	N/A
OVERALL:	96
PARKING PROVIDED	
APARTMENTS	
- STANDARD/TANDEM SPACES	52
- ADAPTABLE SPACES	8
- VISITOR SPACES (GROUND)	11
- DDA (INC. IN VISITOR)	1
- VEHICLE WASH BAY	1
DWELLINGS	
- SPACES	33
- VISITOR SPACES (N/A TO DWELLING HOUSES)	N/A
OVERALL:	106

APARTMENT NUMBER	NO. OF BEDROOMS	CARPARK NUMBER	STORAGE NUMBER
GROUND FLOOR			
STANDARD APARTMENTS			
APT. G01 - N	2	39, 40	S21
APT. G03 - N	2	24, 25	S12
APT. G04 - N	2	9, 10	S5
APT. G05 - N	2	20 TANDEM, 21	S13
APT. G06 - N	2	22 TANDEM, 23	S9
APT. G07 - S	2	41, 42	S22
APT. G09 - S	3	52, 53	S27
APT. G11 - S	2	58, 59	S24
ADAPTABLE APARTMENTS			
APT. G02 - N	2	17, A38	S20
APT. G08 - S	1	A47	S31
APT. G10 - S	2	A46, 50	S29, S32

FIRST FLOOR			
STANDARD APARTMENTS			
APT. 1.01 - N	2	13, 14	S8
APT. 1.03 - N	2	15, 16 TANDEM	S10
APT. 1.04 - N	2	26, 27	S14
APT. 1.05 - N	1	11	S6
APT. 1.06 - N	1	12	S7
APT. 1.07 - N	2	18 TANDEM, 19	S11
APT. 1.08 - S	2	1, 2	S1
APT. 1.10 - S	2	56, 57	S25
APT. 1.11 - S	3	48, 49	S30
APT. 1.13 - S	2	7, 8	S4
ADAPTABLE APARTMENTS			
APT. 1.02 - N	2	30, A31	S16
APT. 1.09 - S	1	A44	S34
APT. 1.12 - S	2	A45, 51	S28, S33

SECOND FLOOR			
STANDARD APARTMENTS			
APT. 2.01 - N	3	36, 37	S19
APT. 2.02 - N	3	28, 29	S15
APT. 2.03 - N	2	34, 35	S18
APT. 2.06 - S	2	3, 4	S2
APT. 2.07 - S	3	54, 55	S26
APT. 2.08 - S	3	5, 6	S3
ADAPTABLE APARTMENTS			
APT. 2.04 - N	2	A32, 33	S17
APT. 2.05 - S	2	A43, 60	S23

VISITORS / DDA

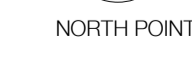
VISITORS - GROUND	V1 V2 V3 V4 V5 (DDA) V6 V7 V8 V9 V10 V11
-------------------	--

REV	DESCRIPTION	DATE	BY
DA4	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA5	ISSUE FOR STRADA REVIEW	18.05.2020	MH
DA6	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA7	ISSUE FOR WASTE LICENSE	12.06.2020	MH
DA8	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA9	DA AMENDMENT	17.12.2020	TM
DA10	DA AMENDMENT	28.01.2021	MZ

PROJECT REF: C:\Users\MZ\OneDrive\Documents\1510121 - ARCADE - WARRIWOOD APT - DA PACKAGE_CENTRAL_19_MZ\mz\c
TIMESTAMP: 29/01/2021 11:36:33 AM

KEY PLAN STATUS

DEVELOPMENT APPLICATION



NORTH POINT

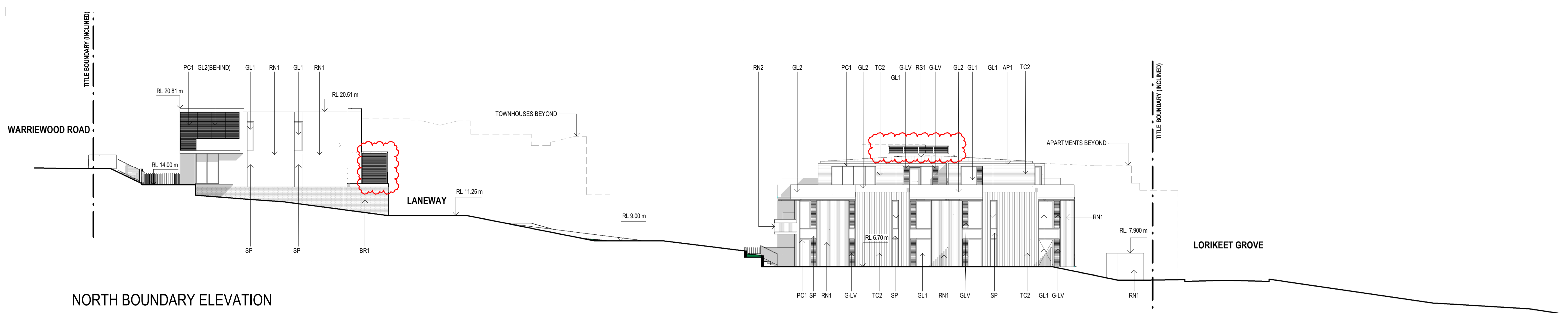


PROJECT
WARRIWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIWOOD ROAD, NSW 2102

CLIENT
KNOWLES GROUP
DRAWING TITLE
OVERALL FLOOR PLAN - BASEMENT

SCALE (8A1) 1:200 / DRAWN BY JC / CHECKED BY MA / PROJECT No. 1510121 / DRAWING No. DA-105 / REV DA10

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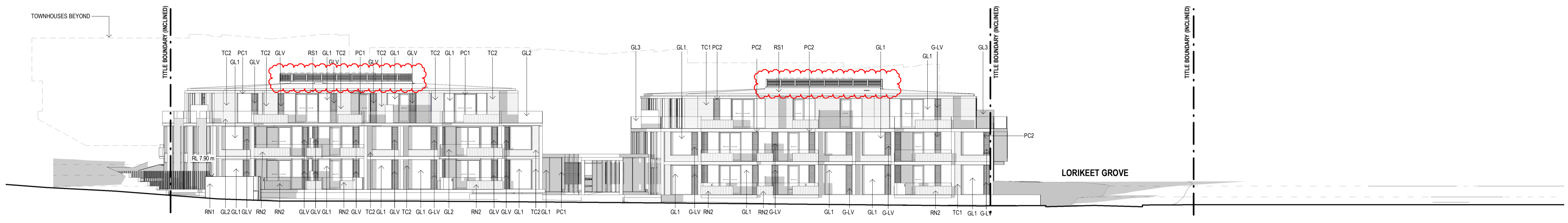


NORTH BOUNDARY ELEVATION

EXTERNAL FINISHES LEGEND

- TC1 ALUMINIUM TIMBER LOOK CLADDING - LIGHT TONE
- TC2 ALUMINIUM TIMBER LOOK CLADDING - DARK TONE
- RN1 RENDER FINISH 1 - MID TONE
- RN2 RENDER FINISH 2 - TEXTURED
- PC1 POWDERCOAT FINISH 1 - DARK
- PC2 POWDERCOAT FINISH 2 - LIGHT
- GL1 CLEAR GLASS
- GL2 GLASS BALUSTRADE
- GL3 GLASS BALUSTRADE - COPPER TINT
- GLV GLASS LOUVRE
- AP1 APPLIED FINISH - LIGHT GREY
- RS1 ROOF SHEET - COLOURBOND DARK GREY
- SP SPANDRAL PANEL - TO MATCH WINDOW FRAME
- BR1 BRICKWORK - DARK TONE

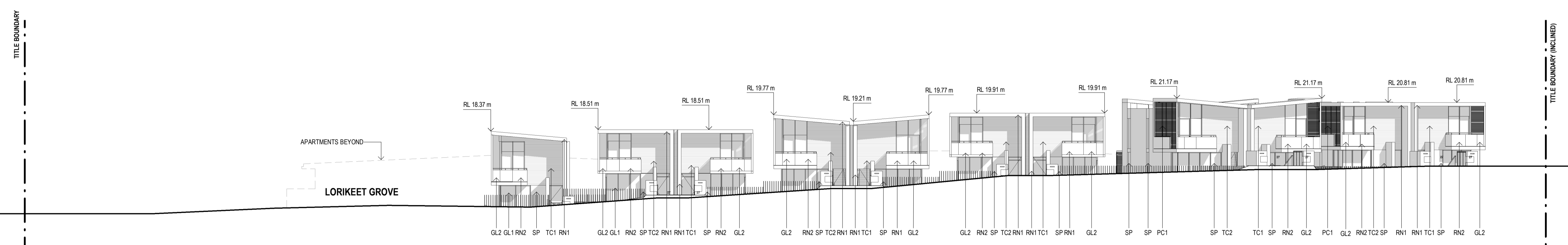
NOTE: REFER TO EXTERNAL FINISHES SCHEDULE FOR DETAILS



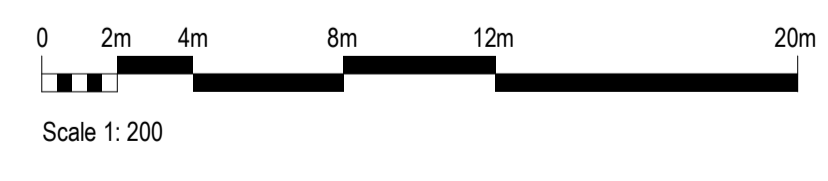
WEST BOUNDARY ELEVATION



SOUTH BOUNDARY ELEVATION



EAST BOUNDARY ELEVATION - WARRIWOOD ROAD



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REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA5	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA6	DA AMENDMENT	17.12.2020	TM

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TIMESTAMP: 17/12/2020 5:06:44 PM

KEY PLAN STATUS
DEVELOPMENT APPLICATION

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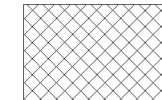
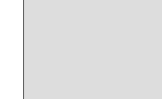


PROJECT
WARRIWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIWOOD ROAD, NSW 2102

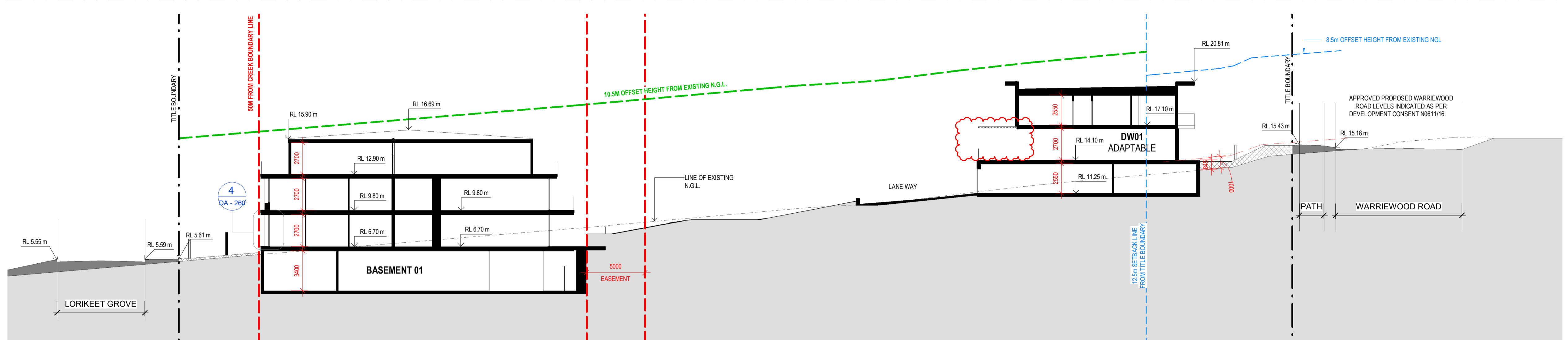
CLIENT
KNOWLES GROUP
DRAWING TITLE
PROPOSED ELEVATIONS

SCALE (@A1) 1:200 / DRAWN BY KC / CHECKED BY TM / PROJECT No. 1510121 / DRAWING No. DA-200 / REV DA6

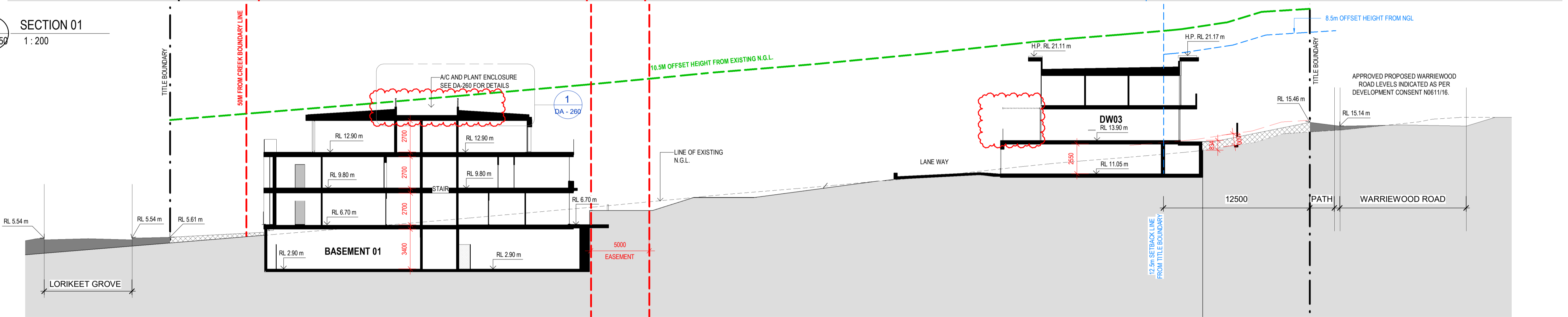
FILL LEGEND

-  APPROVED FILL AS PER DEVELOPMENT CONSENT N0611/16.
-  PROPOSED FILL
-  EXISTING NATURAL GROUND

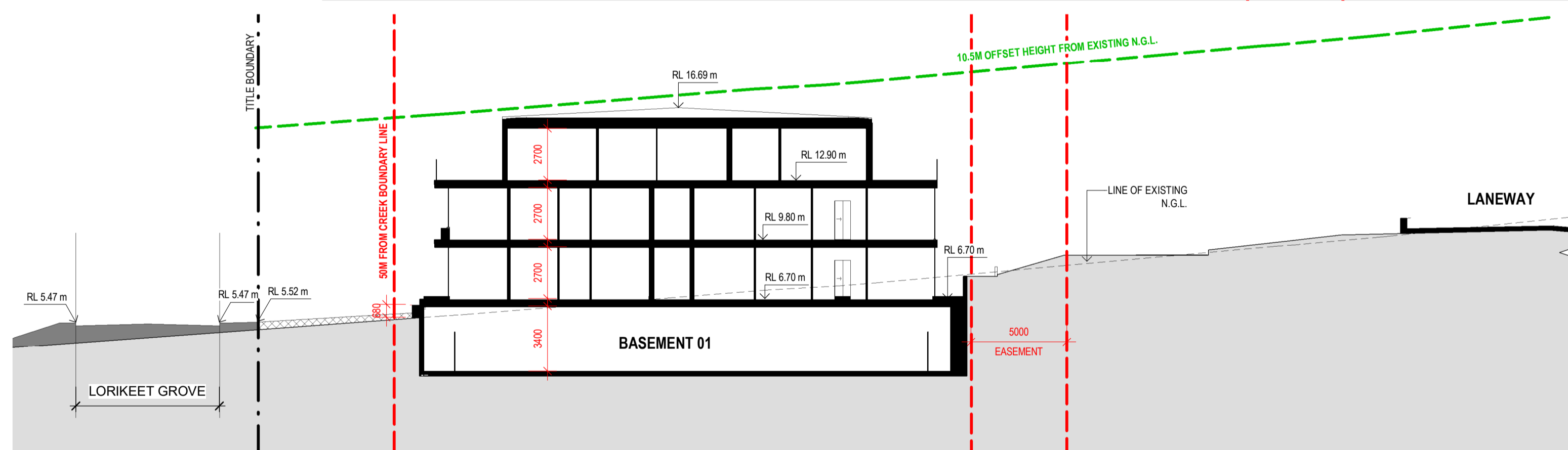
NOTE: PROPOSED RL'S INDICATED OUTSIDE OF TITLE BOUNDARIES ARE IN ACCORDANCE WITH THE CIVIL WORKS DOCUMENTATION PREPARED BY SGC ENGINEERING FOR DEVELOPMENT CONSENT N0611/16.



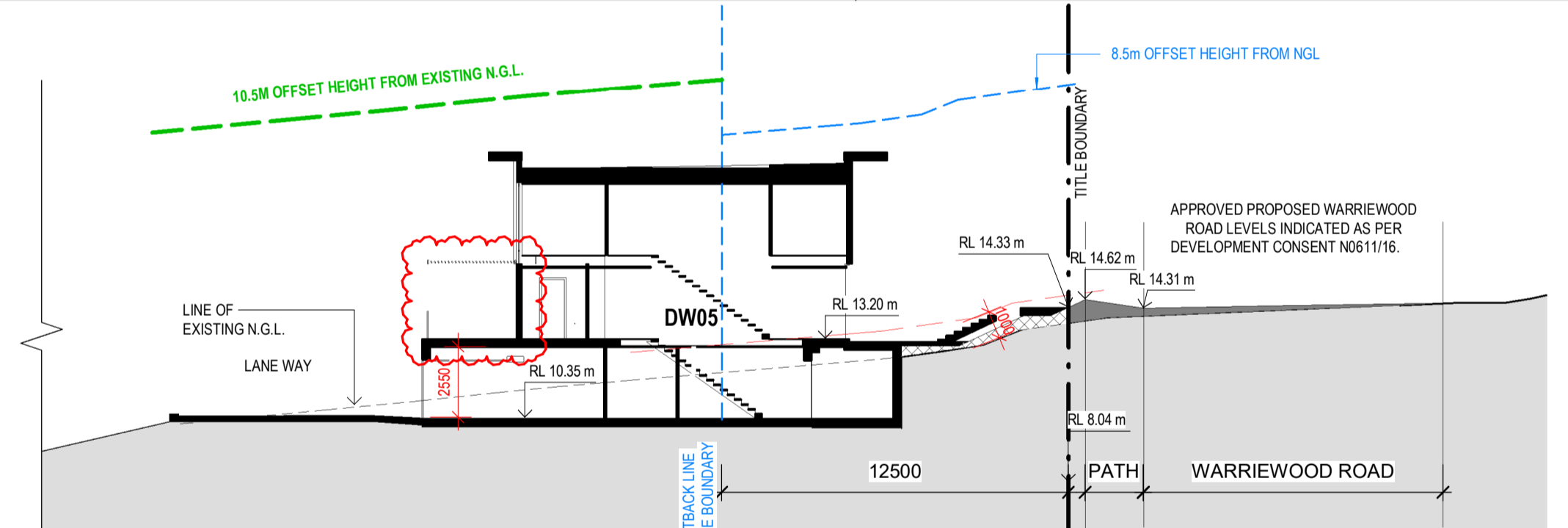
1 SECTION 01
DA - 250 1:200



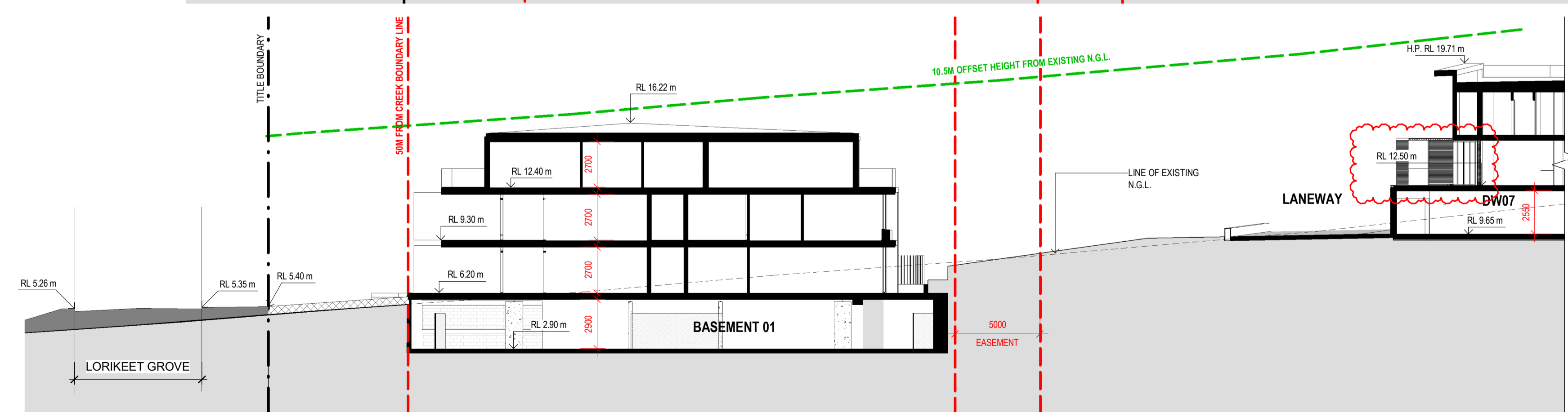
2 SECTION 02
DA - 250 1:200



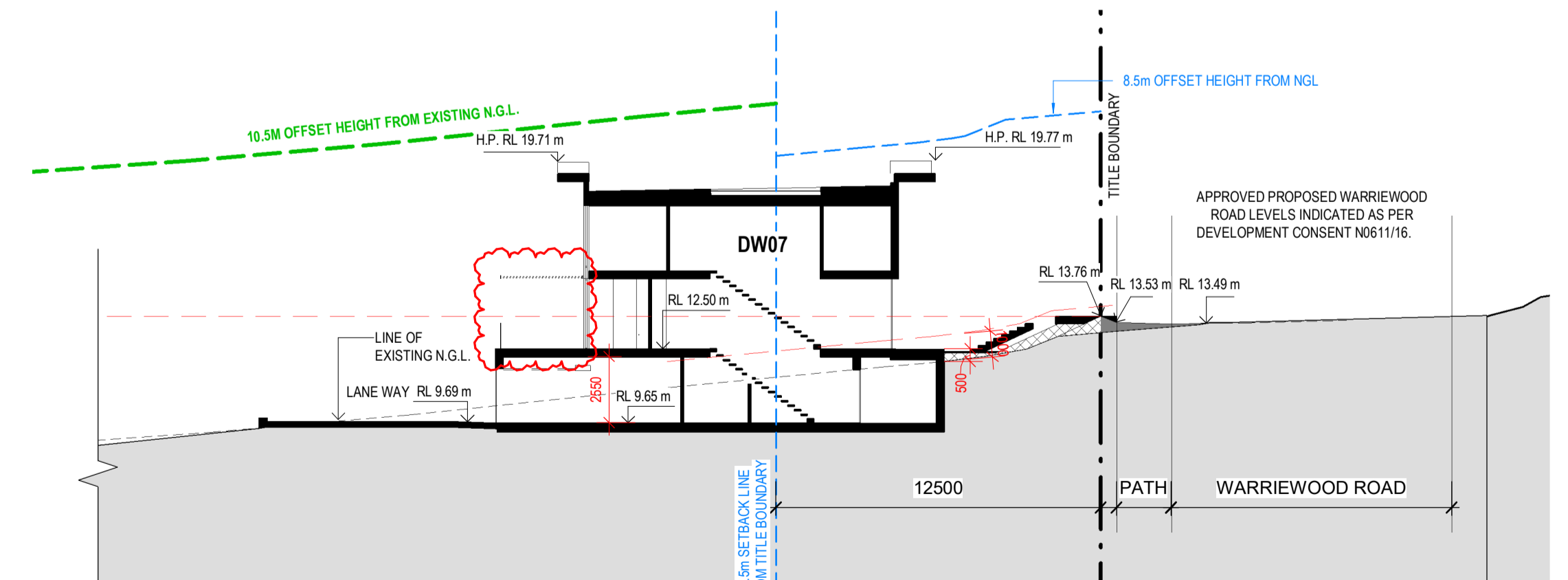
3 SECTION 03
DA - 250 1:200



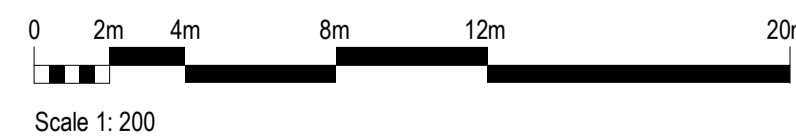
4 SECTION 04
DA - 250 1:200



5 SECTION 05
DA - 250 1:200



6 SECTION 06
DA - 250 1:200



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REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA4	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA5	DA AMENDMENT	14.12.2020	TM

PROJECT REF: C:\Users\Mikondoganis\Documents\1510121 - APCARE - WARRIWOOD APT - DA PACKAGE_CENTRAL_19_Mikondoganis.rvt
TIMESTAMP: 15/12/2020 11:22:43 AM

KEY PLAN

STATUS

DEVELOPMENT APPLICATION



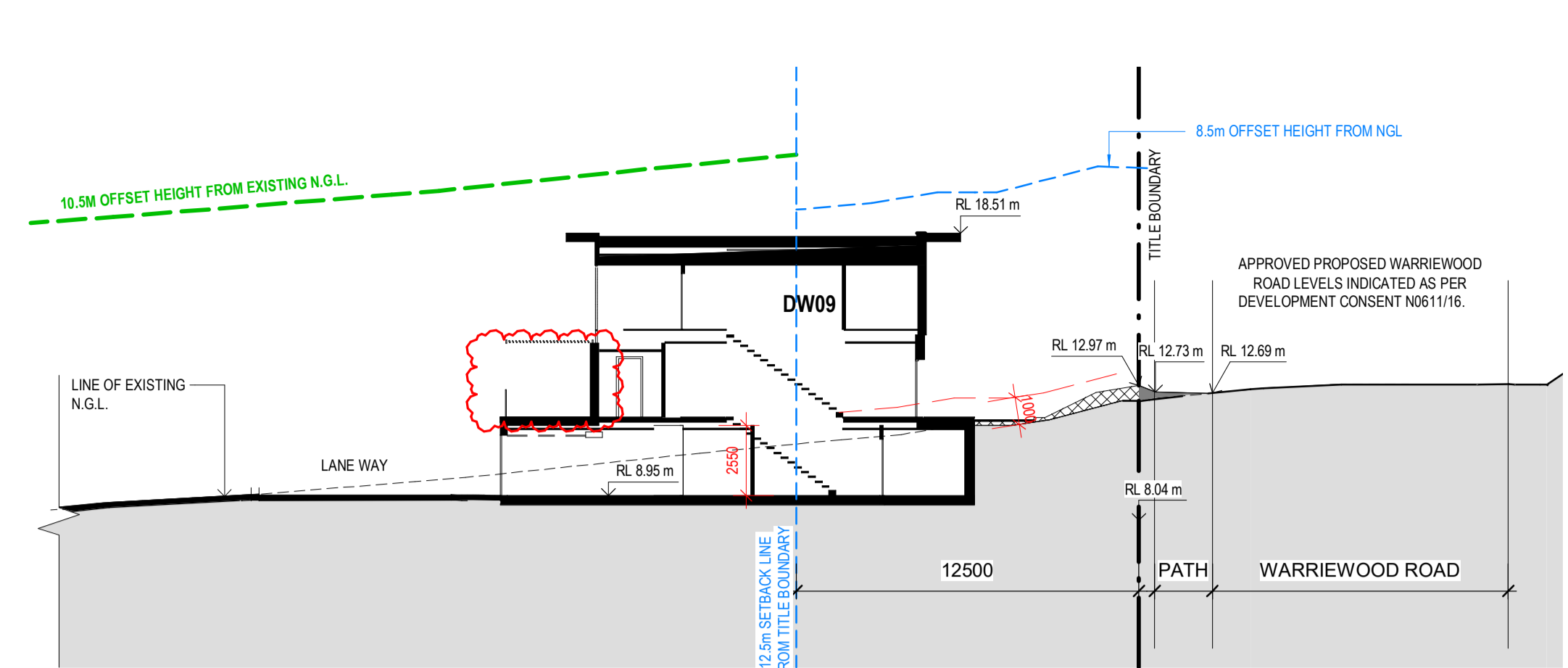
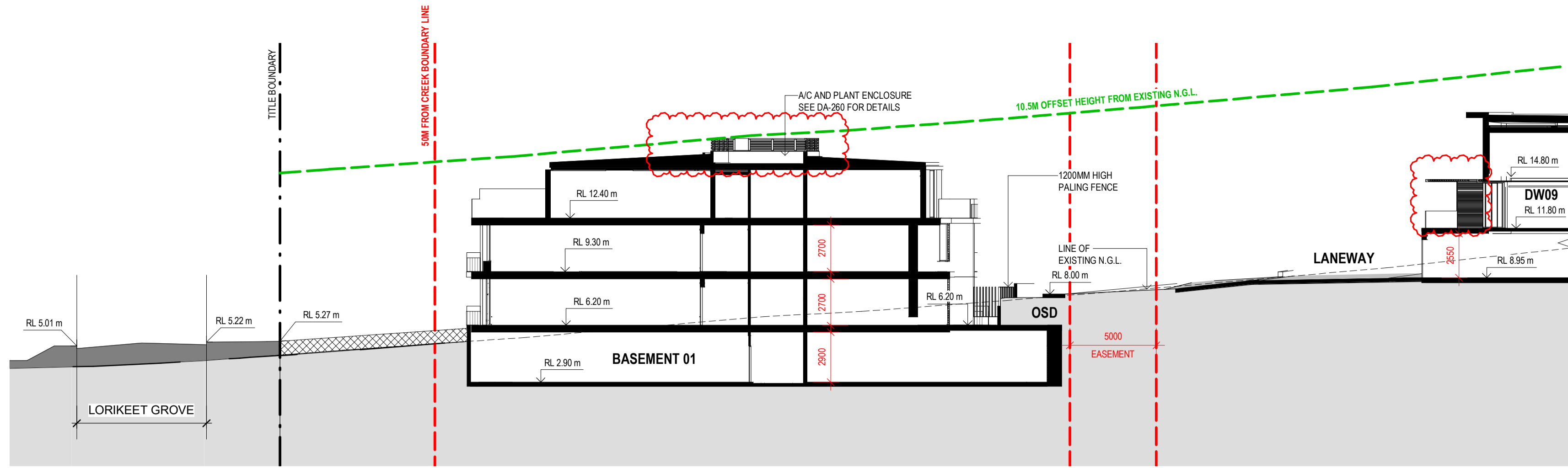
PROJECT
WARRIWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARRIWOOD ROAD, NSW 2102

CLIENT
KNOWLES GROUP
DRAWING TITLE
PROPOSED SECTIONS

SCALE (@A1) 1:200 / DRAWN BY KC / CHECKED BY TM / PROJECT No. 1510121 / DRAWING No. DA-250 / REV DA5

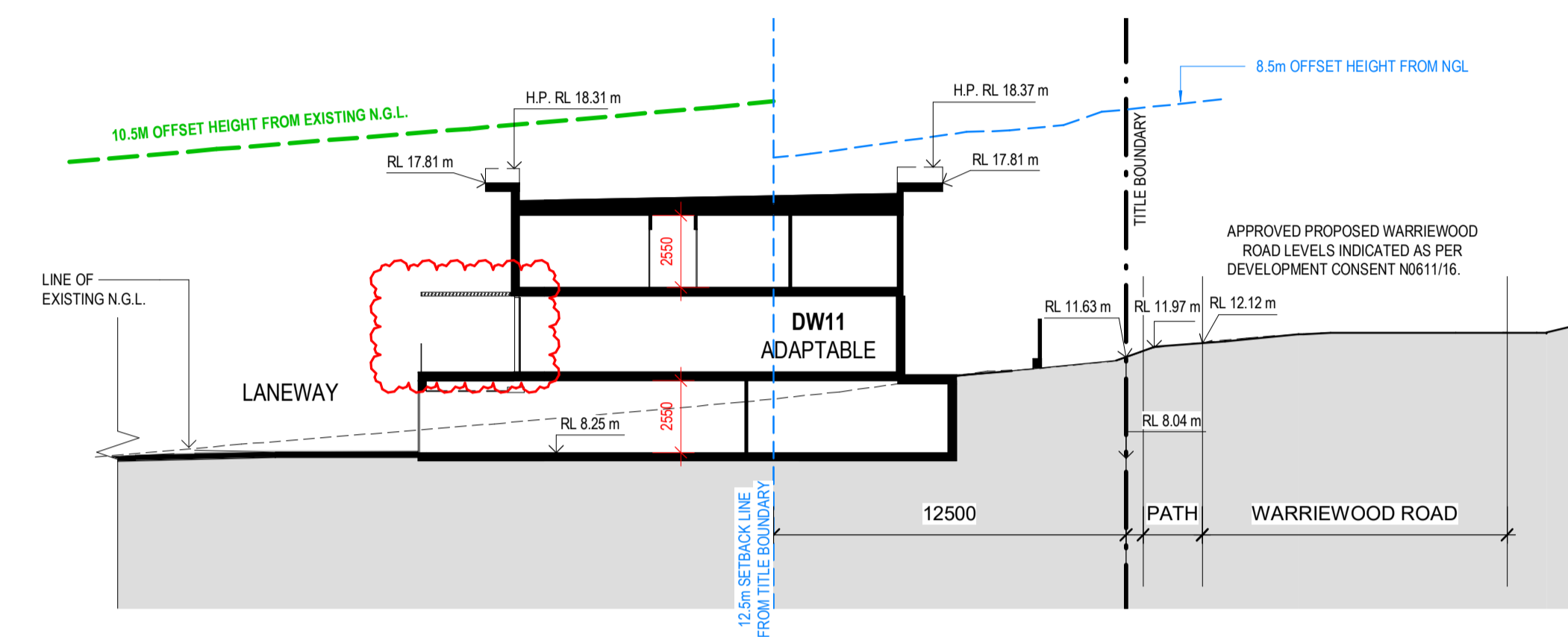
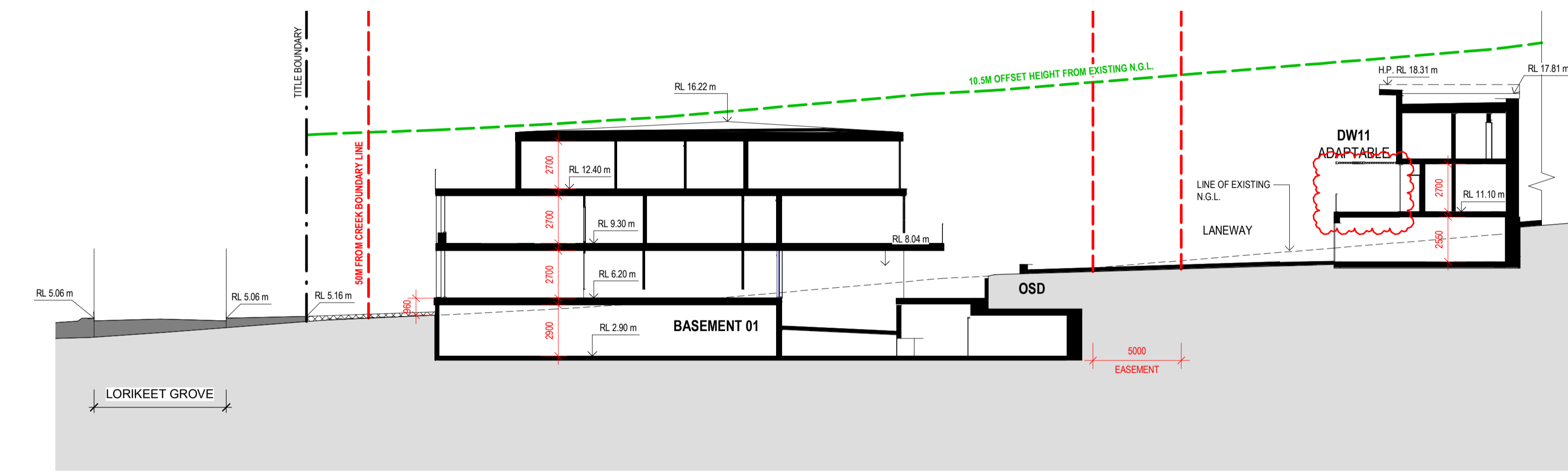
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1 SECTION 07
DA-25 1:200

2 SECTION 08
DA-25 1:200



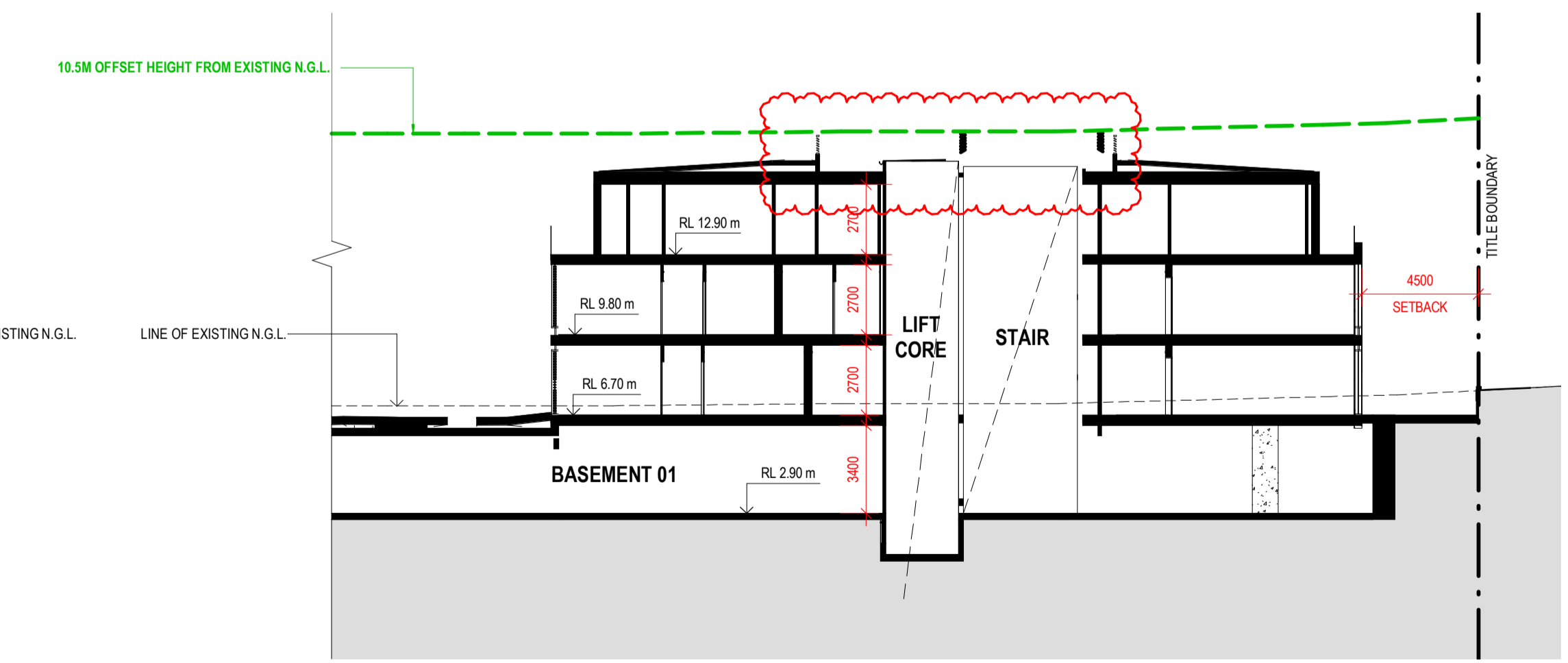
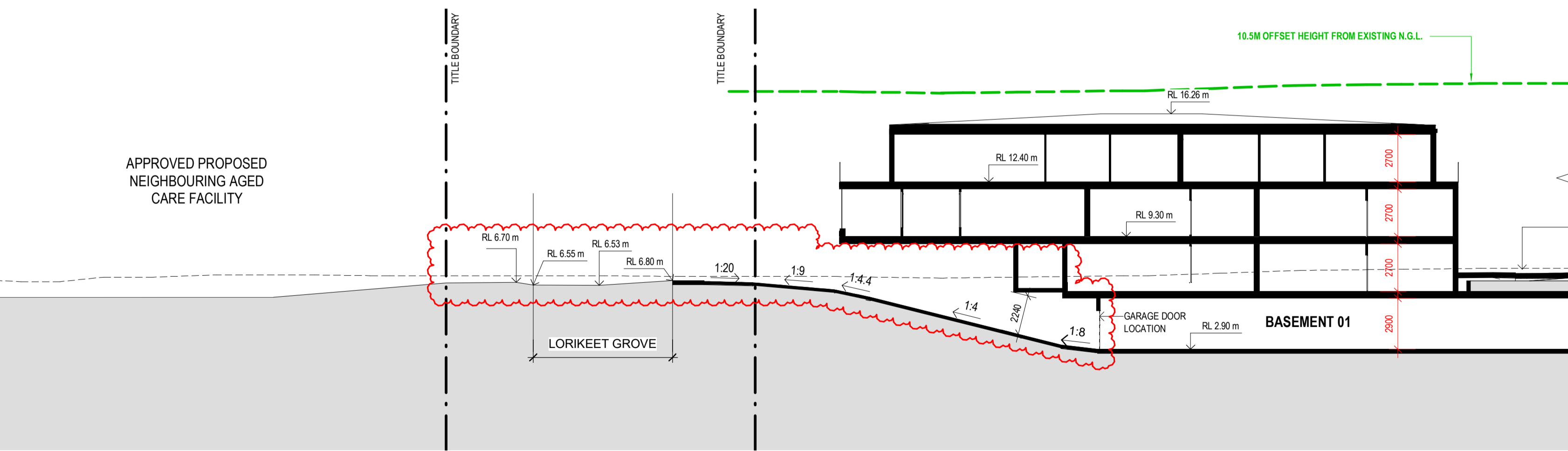
3 SECTION 09
DA-25 1:200

4 SECTION 10
DA-25 1:200

FILL LEGEND

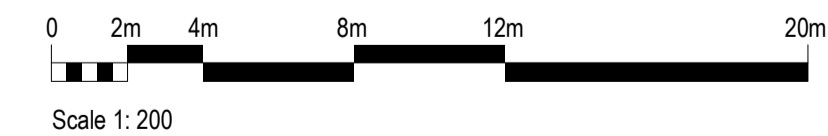
- APPROVED FILL AS PER DEVELOPMENT CONSENT N0611/16.
- PROPOSED FILL
- EXISTING NATURAL GROUND

NOTE:
PROPOSED RL'S INDICATED OUTSIDE OF TITLE BOUNDARIES ARE IN ACCORDANCE WITH THE CIVIL WORKS DOCUMENTATION PREPARED BY SGC ENGINEERING FOR DEVELOPMENT CONSENT N0611/16.



6 SECTION 12
DA-25 1:200

7 SECTION 13
DA-25 1:200



REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	RCP UPDATES	16.04.2020	TM
DA3	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	20.04.2020	MH
DA4	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA5	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA6	DA AMENDMENT	17.12.2020	TM
DA7	DA AMENDMENT	28.01.2021	MZ

PROJECT REF: C:\Users\MZ\Documents\1510121 - ARCAPE - WARREWOOD APT - DA PACKAGE_CENTRAL_19_MZ.mxd
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KEY PLAN

STATUS

DEVELOPMENT APPLICATION

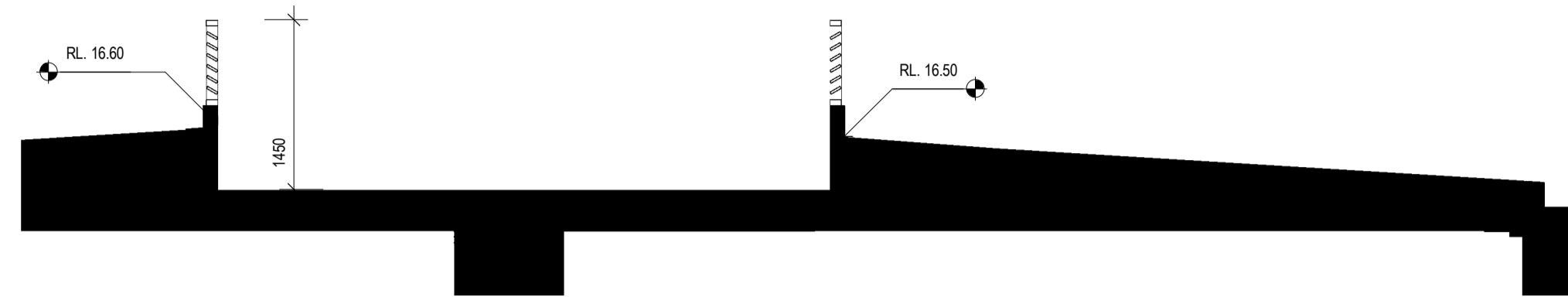


PROJECT
WARREWOOD RESIDENTIAL DEVELOPMENT
ADDRESS
25 - 27 WARREWOOD ROAD, NSW 2102

CLIENT
KNOWLES GROUP
DRAWING TITLE
PROPOSED SECTIONS

SCALE (@A1) 1:200 / DRAWN BY MZ / CHECKED BY TM / PROJECT No. 1510121 / DRAWING No. DA-251 / REV DA7

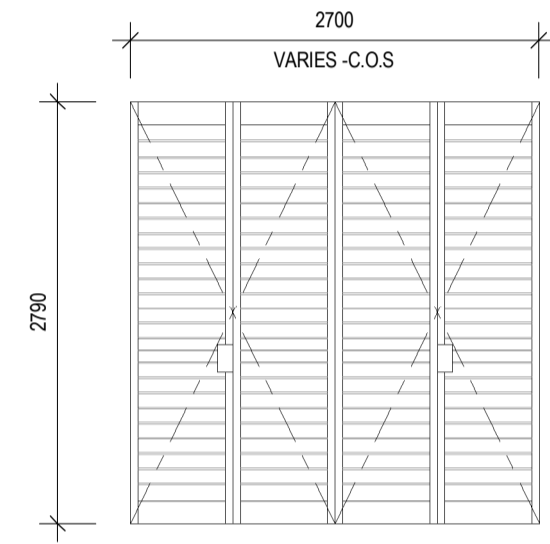
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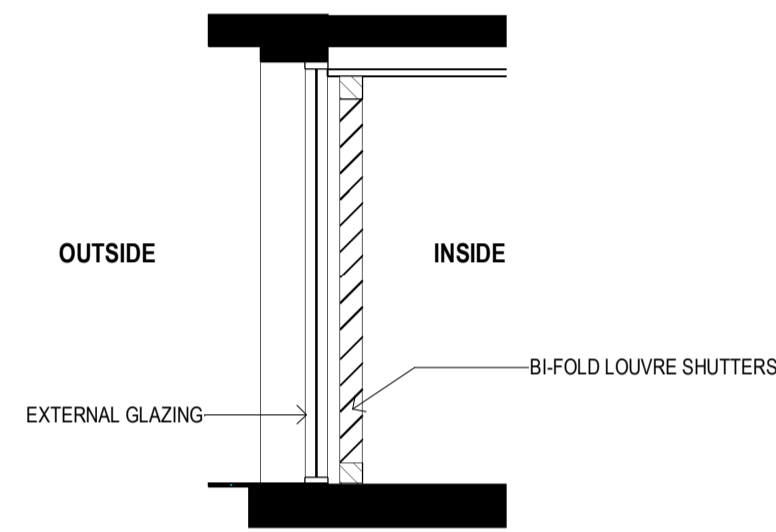
1 ROOF PLANT SECTION DETAIL- NORTH
DA - 260 1: 50



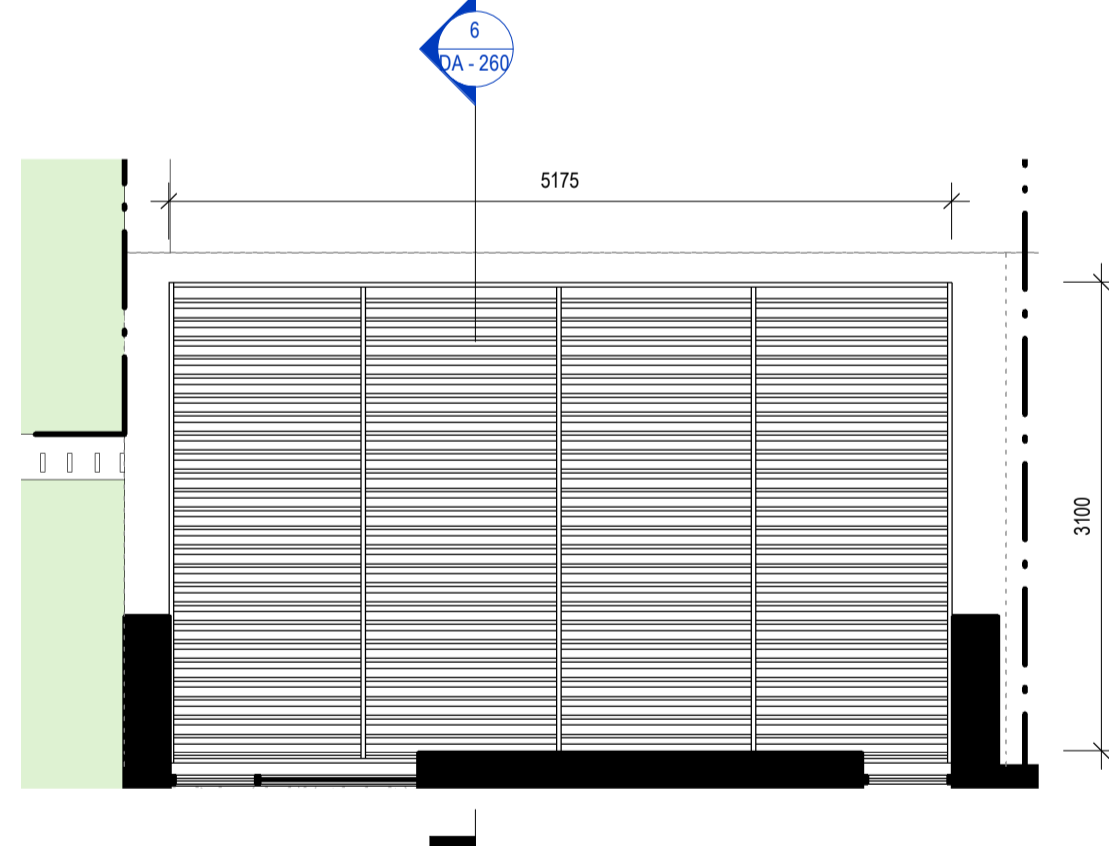
2 ROOF PLANT SECTION DETAIL- SOUTH
DA - 260 1: 50



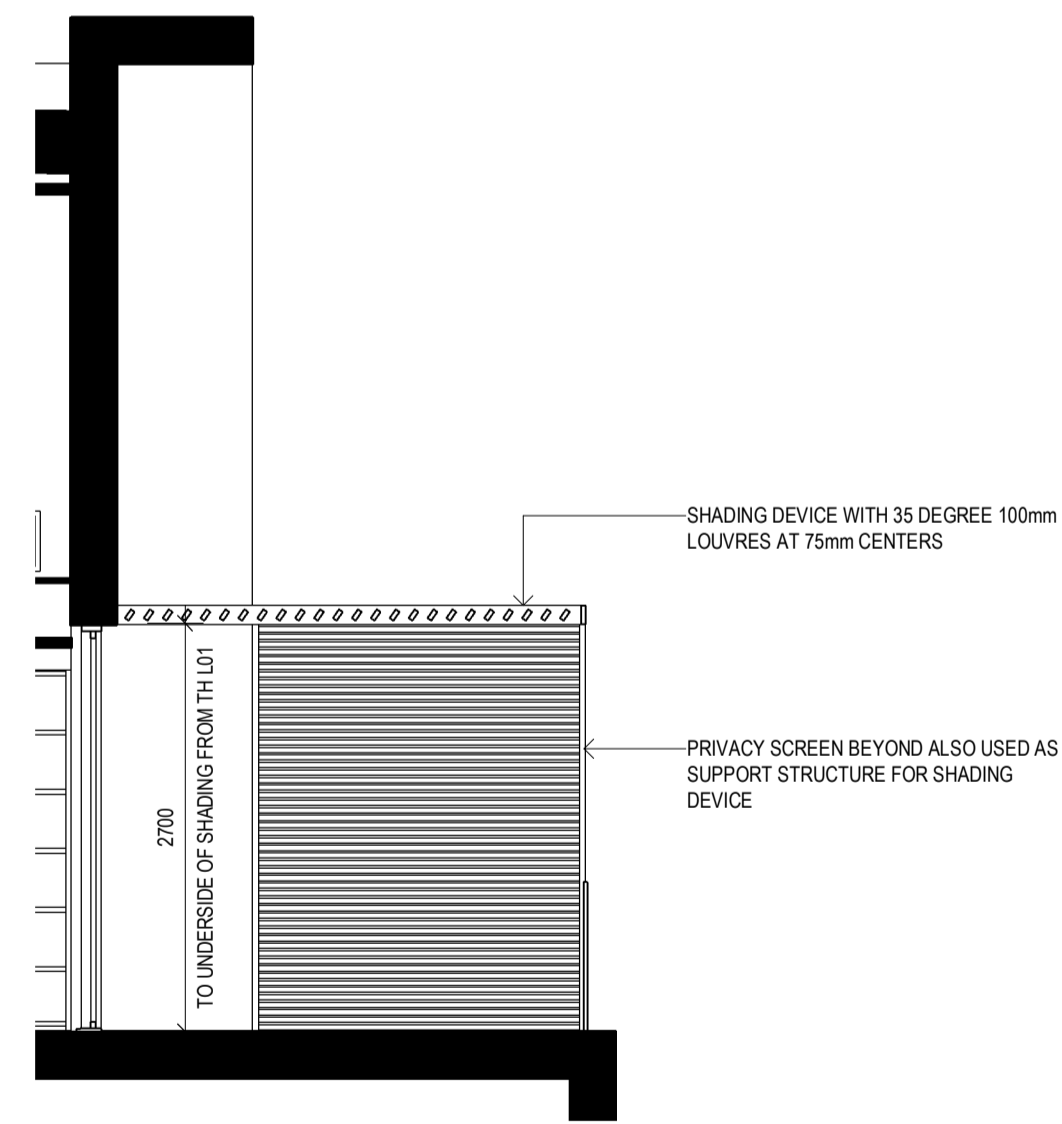
3 BI-FOLD SHUTTER ELEVATION
DA - 260 1: 50



4 BI-FOLD SHUTTER SECTION
DA - 260 1: 50



5 DWELLING TYPICAL PERGOLA PLAN
DA - 260 1: 50

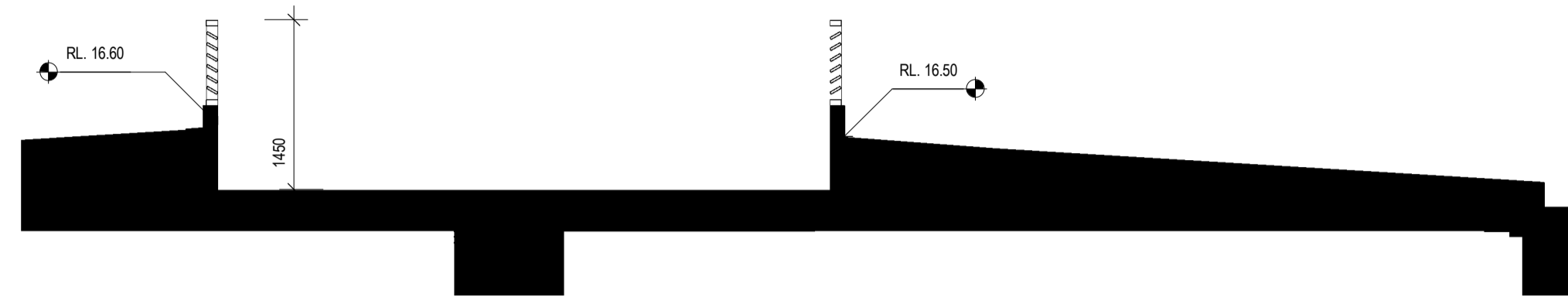


6 DWELLING TYPICAL PERGOLA SECTION
DA - 260 1: 50

REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
DA2	DRAFT ISSUE FOR DEVELOPMENT APPLICATION	06.05.2020	TM
DA3	ISSUE FOR DEVELOPMENT APPLICATION	28.05.2020	MH
DA4	DRAFT DA AMENDMENT FOR CO-ORDINATION	11.12.2020	MH
DA5	DA AMENDMENT	14.12.2020	TM

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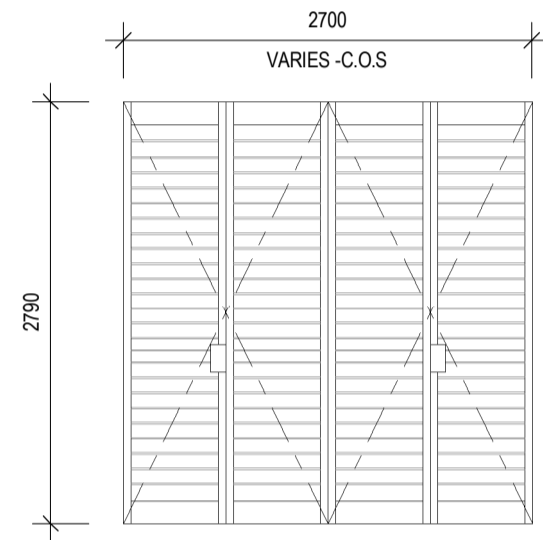




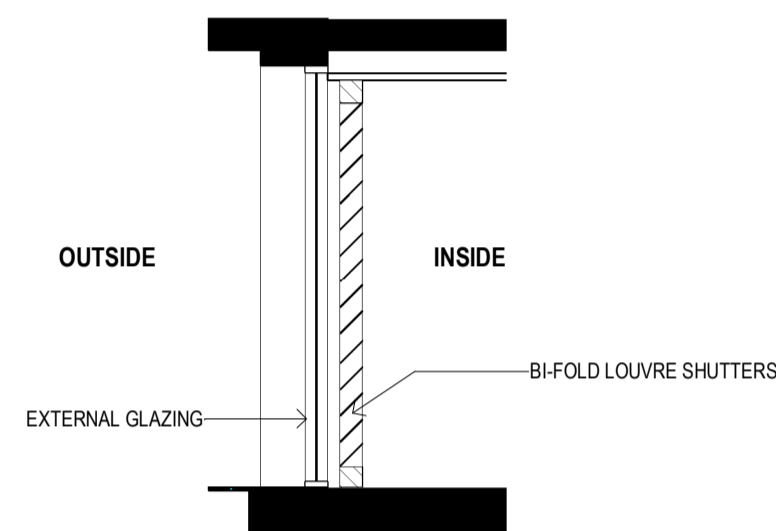
1 ROOF PLANT SECTION DETAIL- NORTH
DA - 260 1: 50



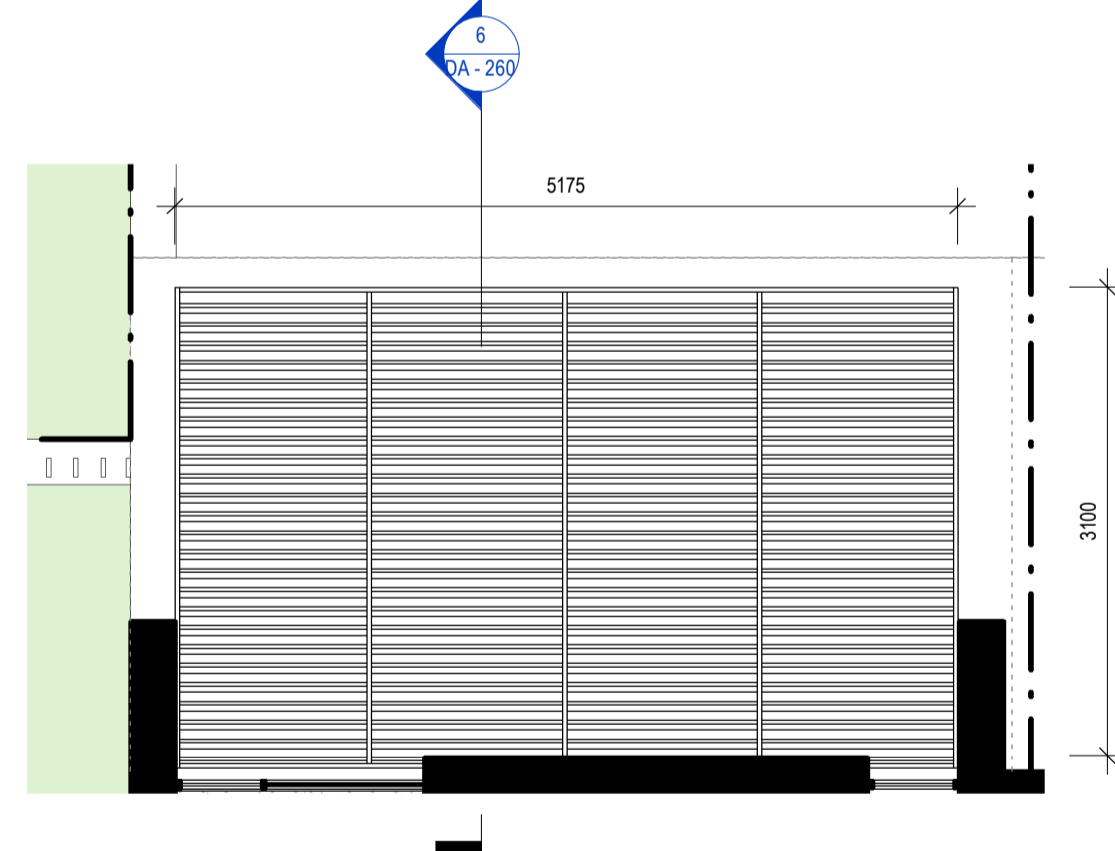
2 ROOF PLANT SECTION DETAIL- SOUTH
DA - 260 1: 50



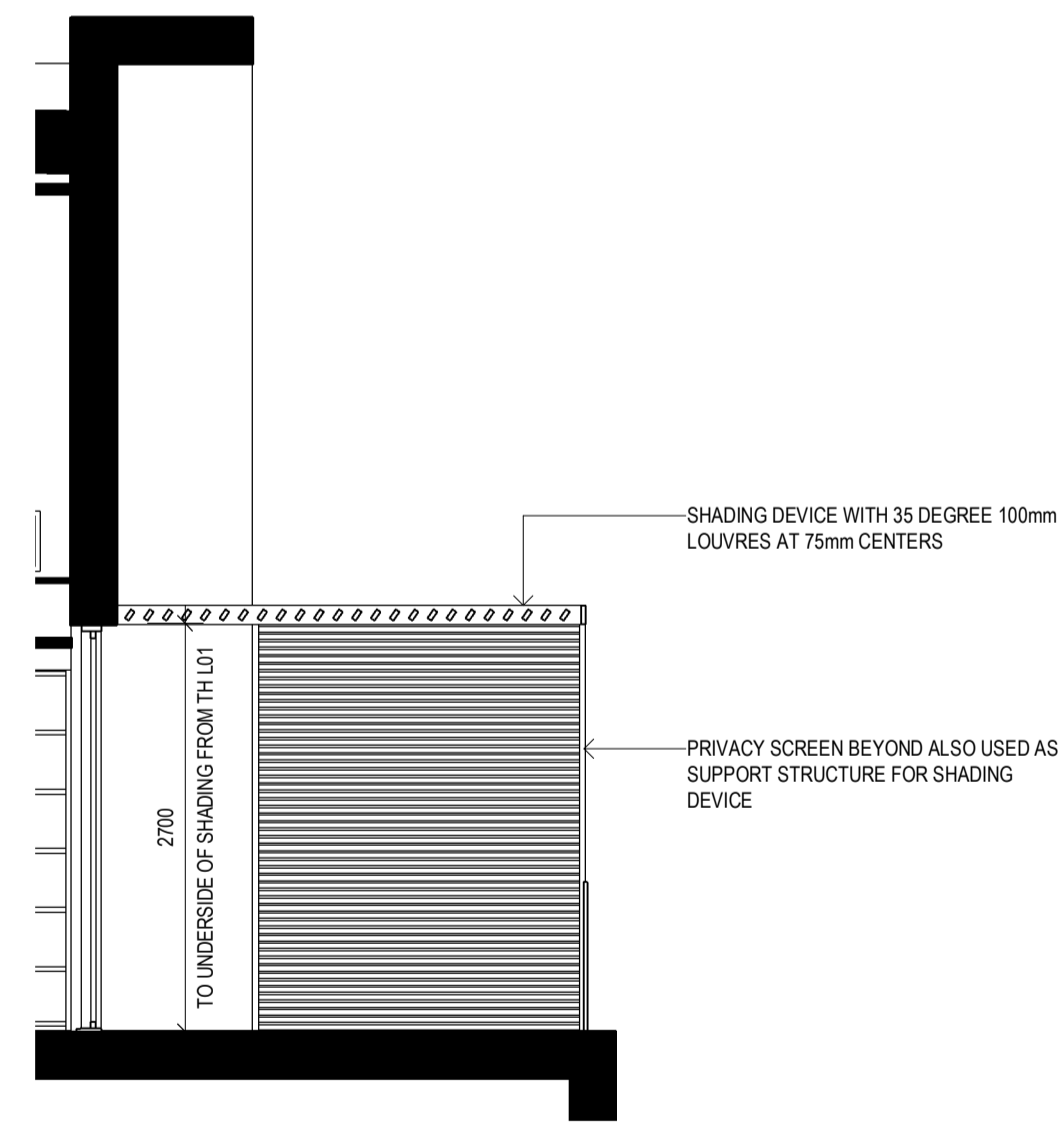
3 BI-FOLD SHUTTER ELEVATION
DA - 260 1: 50



4 BI-FOLD SHUTTER SECTION
DA - 260 1: 50



5 DWELLING TYPICAL PERGOLA PLAN
DA - 260 1: 50



6 DWELLING TYPICAL PERGOLA SECTION
DA - 260 1: 50



REV	DESCRIPTION	DATE	BY
DA1	DEVELOPMENT APPROVAL DRAFT	24.03.2020	TM
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