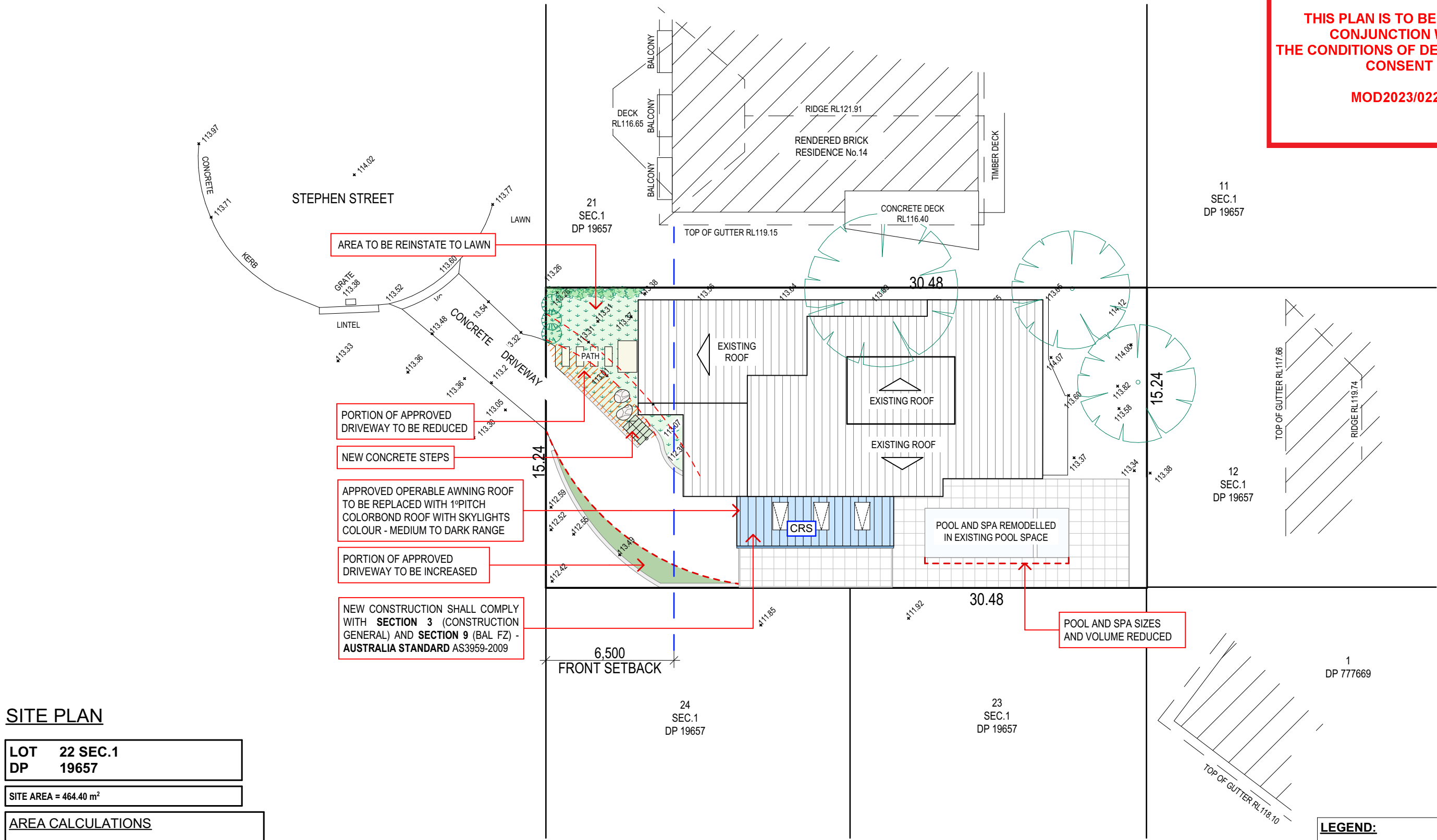




northern
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council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0224



SITE PLAN

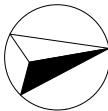
LOT 22 SEC.1
DP 19657

SITE AREA = 464.40 m²

AREA CALCULATIONS

EXISTING BUILT UPON AREA	170.00m ²
PROPOSED BUILT UPON AREA	200.00m ²
EXISTING FLOOR AREA (HOUSE)	240.00m ²
EXISTING FLOOR AREA (GARAGE)	40.00m ²
EXISTING IMPERVIOUS AREA	300.00m ²
PROPOSED IMPERVIOUS AREA	310.00m ²
EXISTING LANDSCAPE AREA	125.00m ² (28%)
PROPOSED LANDSCAPE AREA	125.00m ² (28%)

TRUE NORTH:



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REV:	DATE:	DESCRIPTION:
A	23.03.23	SECTION 4.55 UPDATED
B	31.03.23	SECTION 4.55 UPDATED

MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
16 Stephen Street - Beacon Hill NSW 2100

CLIENT:
Bernie Zicat

DRAWING TITLE:
SITE PLAN

LEGEND:

CRS - COLORBOND ROOF SHEETING - external finish shall have a medium to dark range colour (BCA classification M and D).

REW - RENDERED EXTERNAL WALLS - 'MEDIUM' colour to match existing dwelling.

* **BALUSTRADE** - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless steel channel (BCA requirement).

NOTES:

- MODIFICATIONS TO APPROVED DA SHOWN IN RED
- ALL CONSTRUCTION TO COMPLY WITH AS3959 'CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS' AND PLANNING FOR BUSHFIRE PROTECTION BAL FZ, AS PER THE REPORT PREPARED BY PLANNING FOR BUSHFIRE PROTECTION

DATE:

February/23

DRAWN BY:

LB

SCALE:

1:200 @ A3

JOB No:

1124/23

CHECKED BY:

JJ

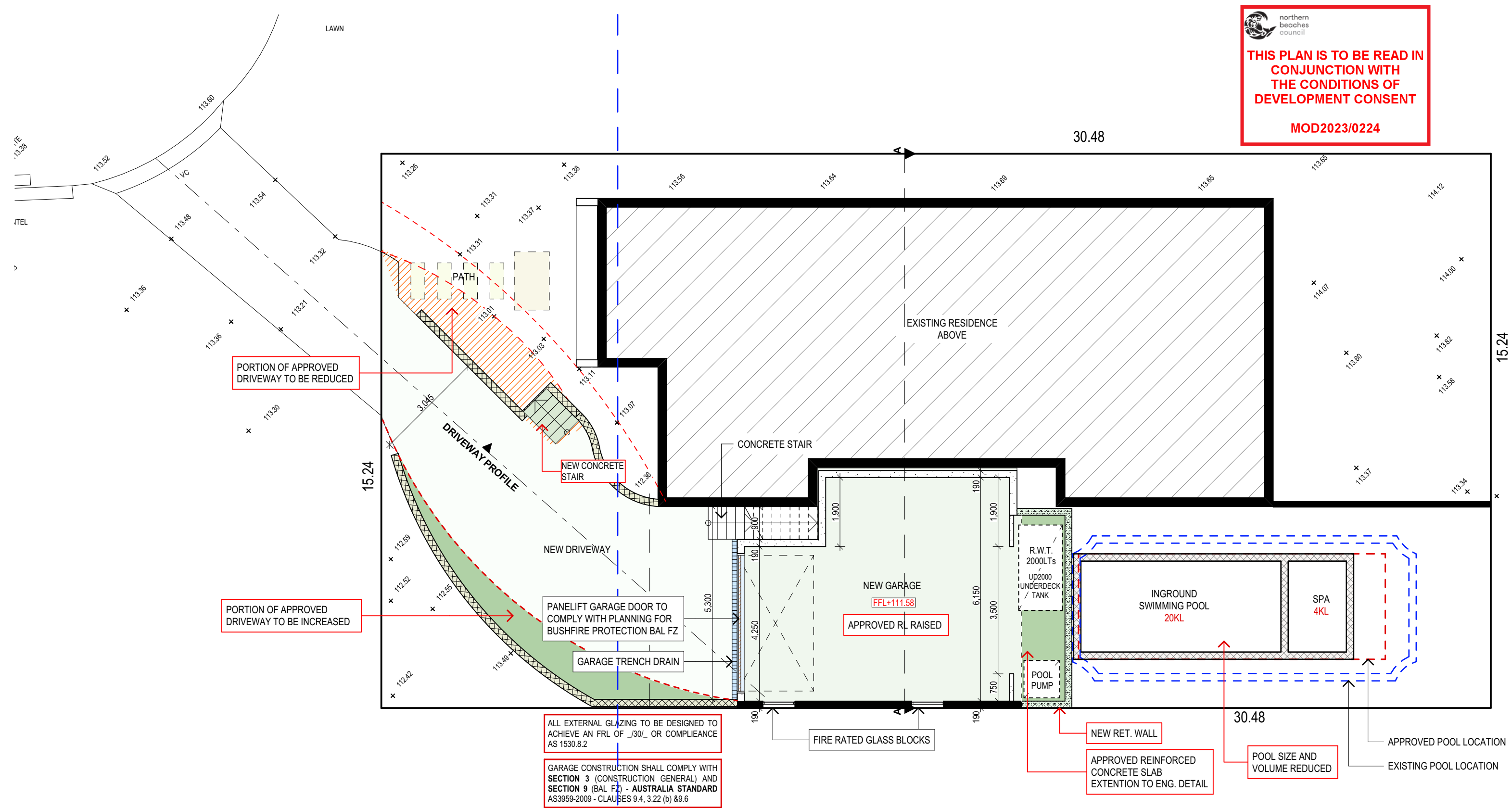
DRAWING No:

MOD.01



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0224

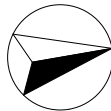


GARAGE FLOOR PLAN

NOTES:

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TRUE NORTH:



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MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
16 Stephen Street - Beacon Hill NSW 2100

CLIENT:
Bernie Zicat

DRAWING TITLE:
GARAGE FLOOR PLAN

DATE:

February/23

JOB No:

1124/23

DRAWN BY:

LB

CHECKED BY:

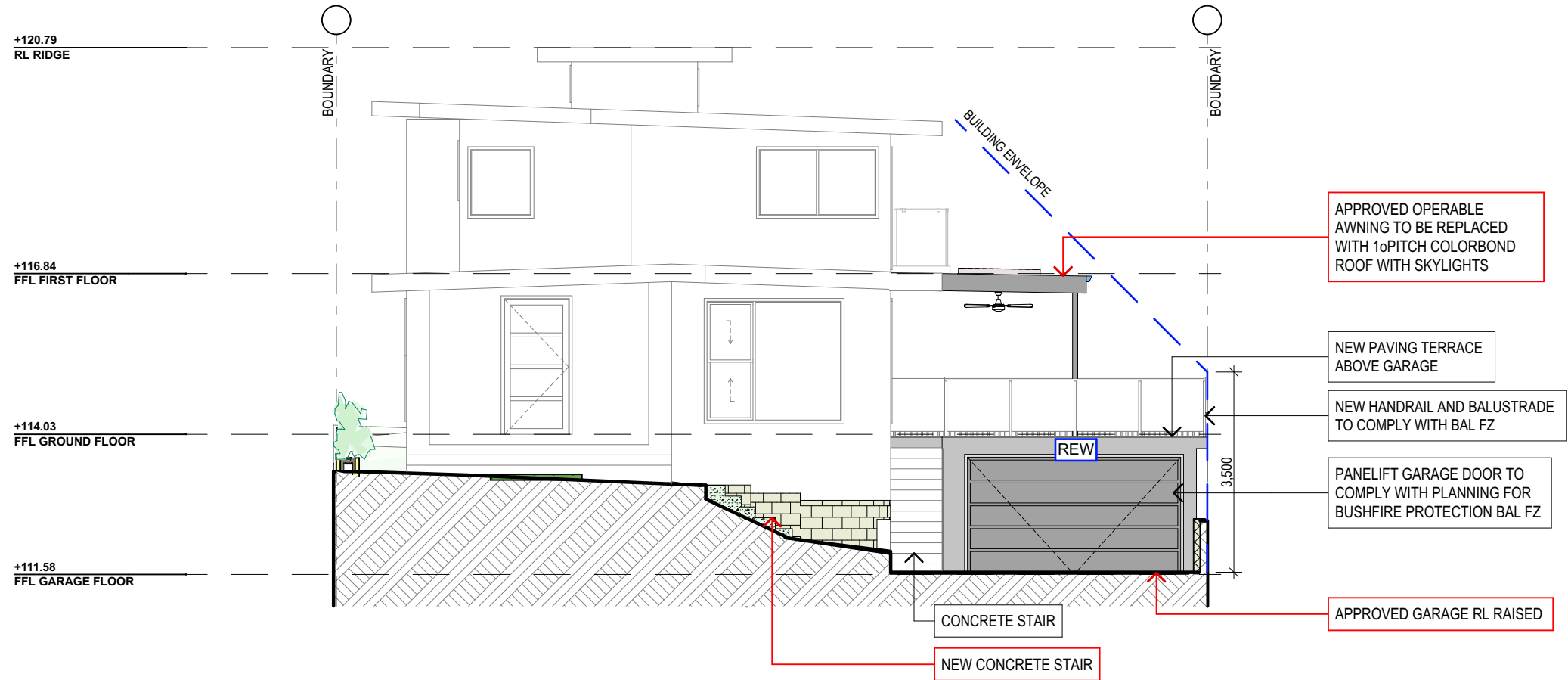
JJ

SCALE:

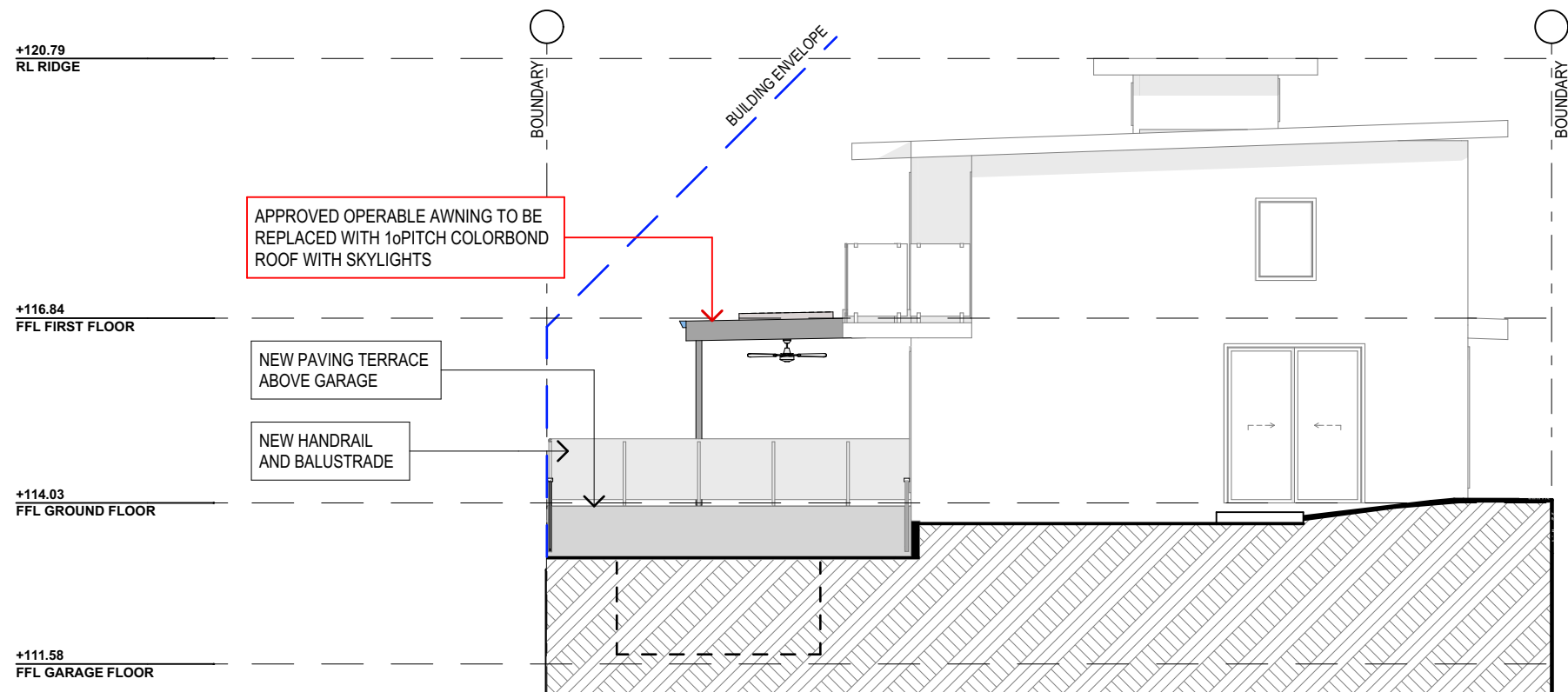
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DRAWING No:

MOD.02



SOUTH ELEVATION



NORTH ELEVATION

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council**

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LEGEND II:

CRS - COLORBOND ROOF SHEETING - external finish shall have a medium to dark range colour (BCA classification M and D).

REW - RENDERED EXTERNAL WALLS - 'MEDIUM' colour to mach existing dwelling.

* **BALUSTRADE** - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).

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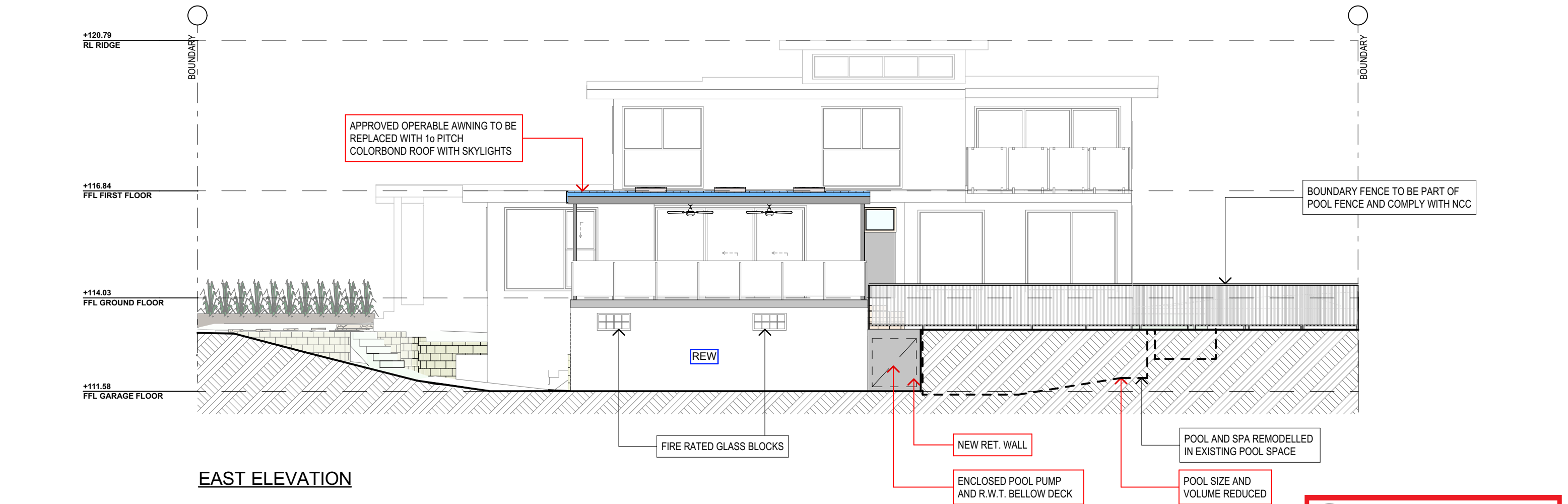
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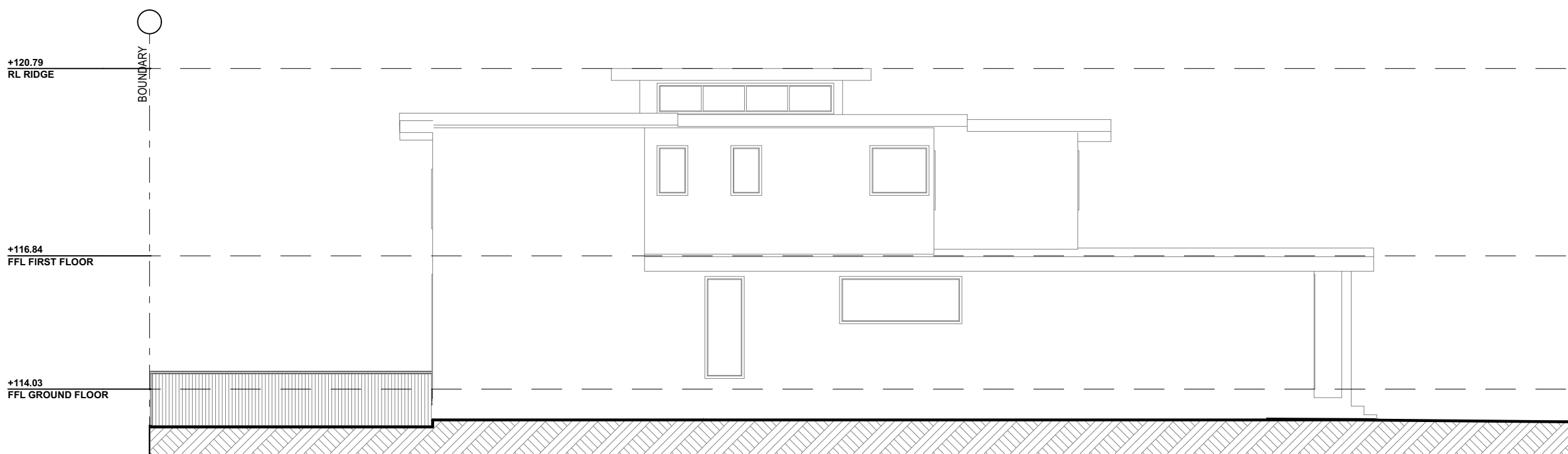
MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
16 Stephen Street - Beacon Hill NSW 2100
CLIENT:
Bernie Zicat

DRAWING TITLE:
NORTH & SOUTH ELEVATIONS

DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.05



EAST ELEVATION



WEST ELEVATION



THIS PLAN IS TO BE READ IN
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CONSENT

MOD2023/0224

NOTES:
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'CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE
AREAS' AND PLANNING FOR BUSHFIRE PROTECTION
BAL FZ, AS PER THE REPORT PREPARED BY PLANNING
FOR BUSHFIRE PROTECTION

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(BCA classification M and D).
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MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
16 Stephen Street - Beacon Hill NSW 2100
CLIENT:
Bernie Zicat
DRAWING TITLE:
EAST & WEST ELEVATIONS

DATE:	DRAWN BY:	SCALE:
February/23	LB	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1124/23	JJ	MOD.06

BASIX REQUIREMENT:

BASIX Inclusions for 16 Stephen Street - Beacon Hill

RAINWATER TANK:

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1990 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
- THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 140 SQUARE METRES OF THE ROOF AREA OF THE DEVELOPMENT.
- THE APPLICANT MUST CONNECTED THE RAINWATER TANK TO A TAP LOCATED WITHIN 10mETRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL:

- THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 20 KILOLITRES.
- THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.
- THE APPLICANT MUST NOT INCORPORATE ANY HEATING SYSTEM FOR THE SWIMMING POOL

OUTDOOR SPA:

- THE SPA MUST NOT HAVE A CAPACITY GREATER THAN 4 KILOLITRES.
- THE APPLICANT MUST INSTALL A SPA PUMP TIMER.
- THE APPLICANT MUST INSTALL A GAS HEATING SYSTEM FOR THE SPA

LIGHTING REQUIREMENTS:

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

INSULATION REQUIREMENTS - CONSTRUCTION

- FLOOR - CONCRETE SLAB
EXTERNAL WALLS: GARAGE - MASONRY - RENDERRED
WINDOWS AND DOORS:
- W1 (BATHROOM) - STANDARD ALUMINIUM, SINGLE CLEAR (or U-value: 7.63, shgc: 0.75)
- PANEL LIFT GARAGE DOOR
- FIRE RATED GLASS BLOCKS

BUSHFIRE REPORT FOR 16 STEPHEN STREET - BEACON HILL:

CONSTRUCTION AND DESIGN FOR BAL 19 AND BAL FZ:

ALL NEW WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF THE BCA AND AS3959 2009. THE FOLLOWING RECOMMENDATIONS ARE A MINIMUM LEVEL OF CONSTRUCTION.

1. NEW CONSTRUCTION SHALL COMPLY WITH SECTION 3 AND SECTION 9 (BAL FZ) OF AUSTRALIAN STANDARD AS3959-2009 "CONSTRUCTION OF BUILDINGS IN BUSH FIRE-PRONE AREAS"
NEW CONSTRUCTION CAN BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NASH STANDARD FOR RESIDENTIAL AND LOW-RISE FRAMING, PART 1: DESIGN CRITERIA OR PART 2: DESIGN SOLUTIONS.

2. ELETRICITY AND GAS SUPPLIES: AS FAR AS PRACTICAL, NEW ELECTRICITY AND GAS SUPPLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF 4.1.3 OF PBP.

3. EXISTING DWELLING HAS BEEN UPGRADED TO IMPROVE EMBER PROTECTION IN ACCORDANCE WITH THE RECOMMENDATION OF THE PREVIOUS APPROVED DEVELOPMENT APPLICATION.

4. ASSET PROTECTION ZONES: AT THE COMMENCEMENT OF BUILDING WORKS AND IN PERPETUITY, THE ENTIRE PROPERTY SHALL BE MANAGED AS AN INNER PROTECTION AREA AS OUTLINED WITHIN PBP2006 AND THE NSW RFS DOCUMENT 'STANDARDS FOR ASSET PROTECTION ZONES'.

5. WATER SUPPLIES: RETICULATED WATER SUPPLY IS LOCATED ON THE ADJOINING ROAD AT REGULAR INTERVALS AND IS EASILY ACESSIBLE. ADDITIONAL WATER SUPPLIES ARE NOT RECOMMENDED AS A CONDITION OF CONSENT.

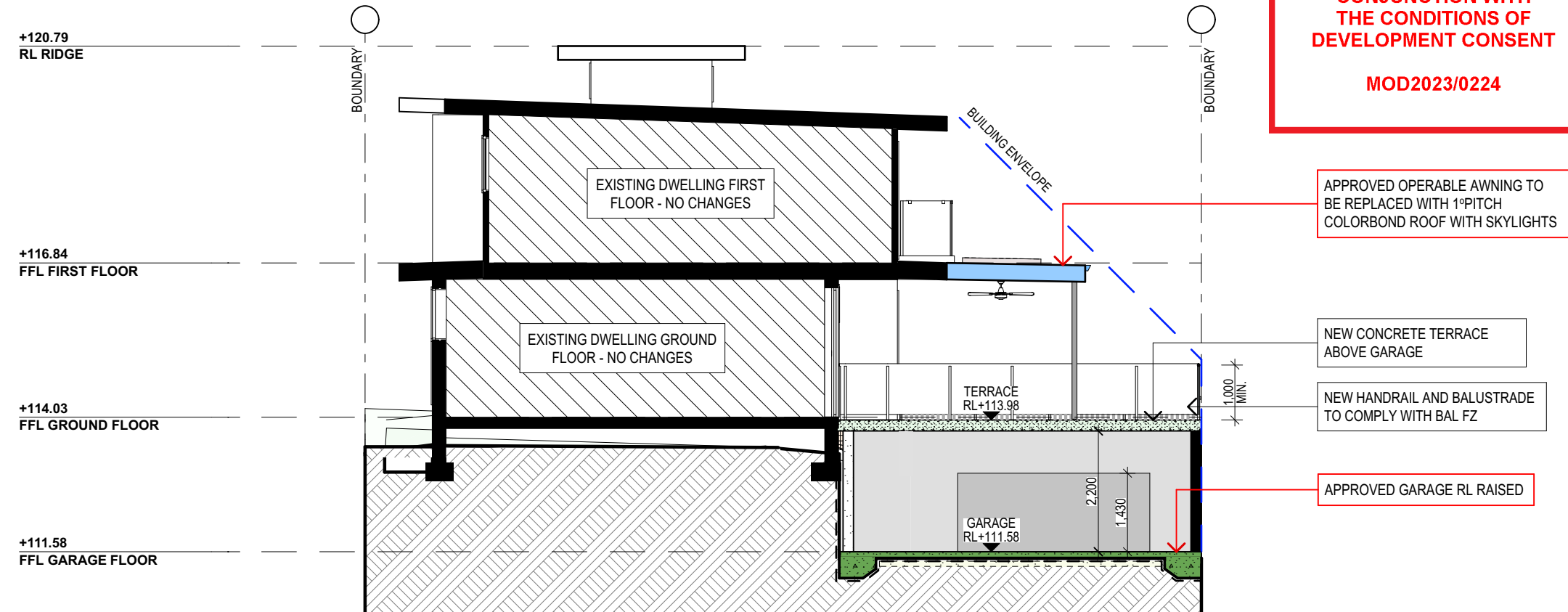
6. ADJACENT BUILDING (CLASS 10a): CLASS 10a BUILDINGS SHALL COMPLY WITH THE REQUIREMENTS OF AS3959, 2009 PART 3.2. *CONSTRUCTION REQUIREMENTS FOR SPECIFIC STRUCTURES.*

7. ADJACENT STRUCTURES (CLASS 10b): AT THE PLANNING STAGE, CLASS 10b BUILDINGS IN BUSHFIRE PRONE AREAS SHOULD BE NON-COMBUSTIBLE. (CLASS10b BUILDING INCLUDE A FENCE, RETAINING OR FREE-STANDING WALL, SWIMMING POOL OR THE LIKE.



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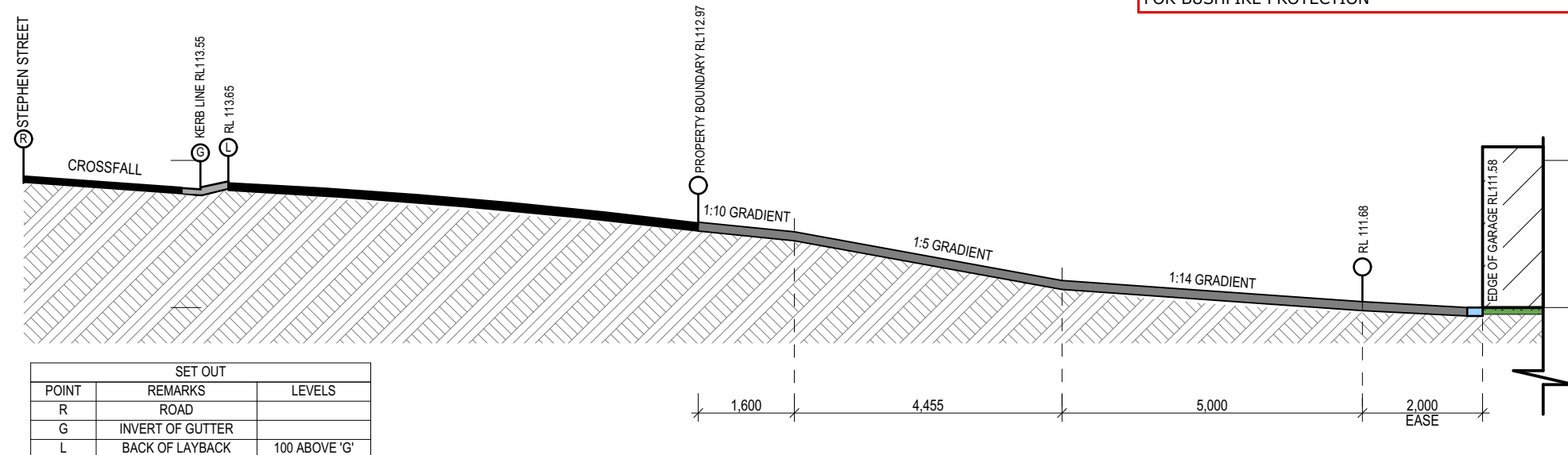
MOD2023/0224



SECTION A-A

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DRIVEWAY PROFILE

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MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
16 Stephen Street - Beacon Hill NSW 2100
CLIENT:
Bernie Zicat
DRAWING TITLE:
SECTION / BASIX

DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.07