

14 May 2019

STATEMENT OF ENVIRONMENTAL EFFECTS
PROPOSED ALTERATIONS AND ADDITIONS INCLUDING
SWIMMING POOL, DECK COVER, CARPORT, AND ASSOCIATED
WORKS
GEMMA AND NIGEL JOHNSTON
No. 63 BEACON AVENUE, BEACON HILL 2100
LOT 40 DP 31216

Introduction

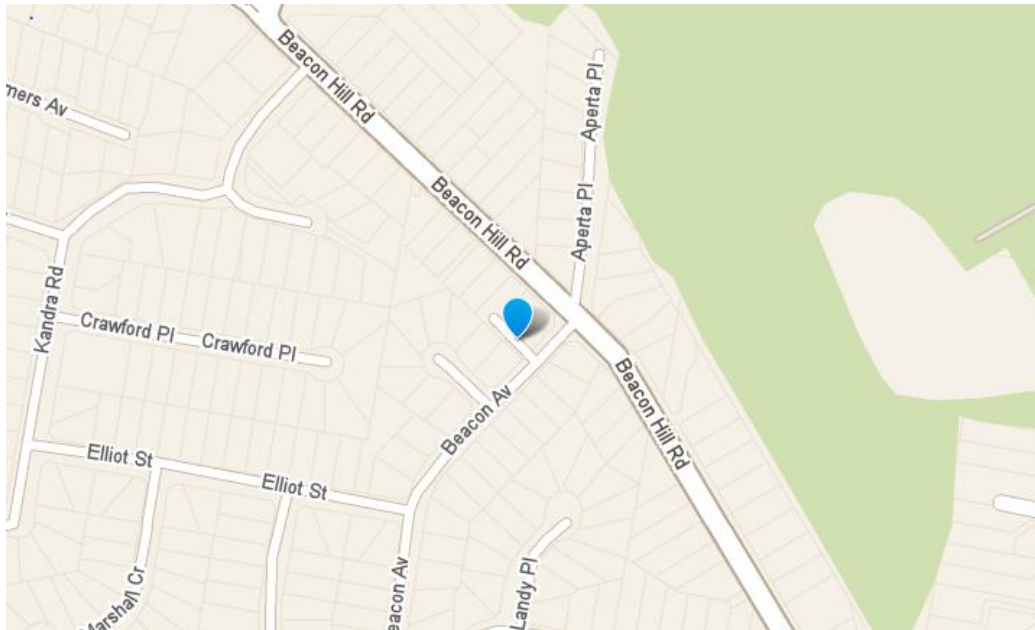
This statement of environmental effects is to accompany a development application for the construction of alterations and additions to the existing residence, a new concrete swimming pool, deck cover, carport, ed works for the residential property at 63 Beacon Avenue, Beacon Hill. This statement outlines the description of the proposed development, the design elements and their impact on the local environment, and details of compliance with local Council policies. In preparation of this development application consideration has been given to the following plans and Acts:

Warringah Local Environmental Plan 2011
Warringah Development Control Plan 2011
Environmental Planning & Assessment Act, 2000

Accompanying Documentation

Right Angle Design and Drafting A1	-site plan/site analysis
Right Angle Design and Drafting A2	-existing ground floor plan
Right Angle Design and Drafting A3	-ground floor plan
Right Angle Design and Drafting A4	-elevations NE and SE
Right Angle Design and Drafting A5	-elevations SW and NW
Right Angle Design and Drafting A6	-elevation SE from street
Right Angle Design and Drafting A7	-pool plan and sections
Right Angle Design and Drafting A8	-landscape/landscape calculation plan
Right Angle Design and Drafting A9	-sediment control plan
Robert Friend Surveys	-AHD survey
White Geotechnical Group	-geotechnical assessment
Bushfire Planning and Design	-bushfire assessment

This application has been designed and prepared to Northern Beaches Council specifications and design standards. All work is contained within the boundaries of the site with all proposed work designed to maintain the single storey aspect of the residence. In preliminary discussions with Council it was recommended that a standard development application was sufficient for this application as Council did not believe that there were any issues that required a Pre-DA initial assessment.



map showing position of 63 Beacon Avenue, Beacon Hill

EXISTING

The site area is approximately 554 square metres and is irregular in shape, being triangular. The property is located on the western side of Beacon Avenue near the corner of Beacon Hill Road. All properties in the immediate area are residential though the properties on the eastern side of Beacon Hill Road back on to a Reserve. Beacon Hill Road is a high traffic area, while Beacon Avenue is less trafficked but still busy. The frontage of the property is far wider than the rear with the northern side boundary being longer than the south. There is an existing single storey brick and clad residence located in the central portion of the property with an existing driveway and small carport to the front southern side of the residence. There is a ground level timber deck extending off of the northern side of the house. The site has a slope from the rear boundary down to the front with an overall fall of approximately 2m, with the majority of this fall in the far rear and at the very front of the site. The majority of the site is relatively flat. The position of the house on the site, and the angles of the land, have determined that the majority of the main outdoor living area is located to the north side and front of the residence. The existing residence has a footprint of 125.8 square metres, very modest in size for a house in this area. The properties on all sides are residential, with the majority being far larger than this residence. With the

exception of the existing small front driveway area, the front of the property has been created to be mainly grass and garden, with the narrow driveway on the southern side. The position of the residence is standard for these blocks and is quite practical on site, ensuring good airflow, light, and privacy. The properties to either side are similarly situated in height and location. This positioning helps ensure that the open space receives good light and is not overshadowing or overshadowed by neighbouring structures. The rear yard is quite small, and the design of the residence does not make it an interactive part of the site. There are distant views south out over the area to Allambie Heights. The whole rear yard is natural grass, garden, and natural rock.

There are no known easements imposed on the property. There is an acceptable front setback and a reasonably large Council verge on the front of the property.

EXISTING STREETSCAPE

The street, Beacon Avenue, is a medium length street that ends just to the north of this residence, becoming Beacon Hill Road, all properties being surrounding houses and the area being mainly trafficked by the local residents. The street is almost solely residential houses of a similar nature, the majority of which are far larger in size. There has been substantial work being carried out on the Avenue, including new residences, pools in front and rear yards, and associated landscape works. Single family homes are located in the middle and front portion of the site. The properties to the side boundaries are similarly positioned. The properties across Beacon Ave are a good distance away, over 30m, and at a substantially higher level. The present use of the site and the adjoining properties is residential. It is not known whether the site is on contaminated land or whether there has been any testing. The property is not located in acid sulfate soil nor is it heritage or conservation listed. The majority of traffic on the street is local residents. The possibility of traffic being affected by this proposal is minimal. The proposal will not be widely viewed by the public; only the residents on the road will know that it is there, and for the majority, only during construction.

The property is located in the following zones:

Residential zone R2 Low Residential of the LEP 2011

Landslip Risk Area B: this site does require a geotech report to accompany the submission, a full report accompanies this application

Bushfire Prone Land: Yes, a full bushfire assessment accompanies this proposal

Conservation Area: the property is not located within a conservation area though the land to the north of the property, across Beacon Hill Road is reserve. This is addressed fully in this statement.



Google earth showing location of 63 Beacon Avenue

PROPOSAL

This development proposal seeks approval for the following:

-) Single storey alterations and additions to the existing residence including a new front yard carport, driveway widening, and a rear yard swimming pool

There will be a number of small changes to the existing dwelling as it is in need of repair and some substantial internal upgrading. The house, being approximately 40 years old, has not had any work carried out on it. As the house is very modest in size, much of this proposal is to create a more usable and accessible residence and site. This is planned through minimal enlargement of the residence. The alterations will include enclosing the existing carport and making it a part of the residence. The addition of a small storeroom directly behind the existing carport, and the addition of a laundry room off of the rear northern portion of the house. All of these changes will only increase the size of the residence up to 142 square metres, still modest in size. It is important to note that the residence will remain single storey.

External changes to the property will include adding a new permanent roof cover to the existing timber deck located on the northern side of the house. This will still remain outdoor area and will create an outdoor living space that is usable all year. The area will remain open on three sides allowing natural light and airflow. It has been designed to increase the functional areas of the house while continuing to have the family outside as much as possible. The proposed roof cover will not exceed 5m in height and will be substantially lower as it approaches the side boundary. All setbacks will still comply.

A new front door will be constructed allowing more direct access into the house. A new rear door will be constructed to permit access to the rear yard. Currently there is no access door anywhere on the back half of the residence.

To the rear of the residence a new 5 x 2.7m concrete swimming pool will be constructed for the recreational use of the owners and their family. All coping has been designed to minimise access and standing around the pool area. Timber decking will be constructed to fit around the existing large rock slabs in the rear yard to help retain the natural look of the site. The pool will have setbacks that all exceed Council requirements. The pool will be inground with the highest corner of the pool being no more than 400mm out of ground. This is due to the slope of the site. The pool has been designed to limit the impact on the existing rock formations in the area, this includes not over excavating. There should be no change in views to and from the residence or the neighbouring residences. The pool will be fully fenced to comply with the Australian Standard and the Pool Fencing Act. The works in the rear yard will not be visible from the street. Pool filter equipment will be located on the southern side of the residence. this location is chosen as it is as far as possible from any neighbouring residence.

A new carport will be constructed at the front of the property. The structure will be lightweight timber and steel framing with a colorbond roof. Roof pitch and gutters to match the low-level roof of the residence. All proposed roofing on site will be colorbond and will be Surfmist colour in keeping with Council desires for colour and shade.

The carport will be double width, to accommodate two vehicles. The proposed area will be levelled to permit better access. New stairs from the rear of the carport will provide access to the front of the residence.

Though the site is located in the Landslip Area B, there should be no impact on any geotechnical concerns of Council. A full geotech report accompanies this application. The report is positive and there will be minimal excavation on neighbouring sides of the site.

The site will have a built upon area of 50.5%. 60% is permitted. The requirement for soft surface and landscaping is 40%. The site will have 37% when areas less than 2m are not included. Due to the irregular shape of the property and the location of the residence, an additional 12% of the site is actually soft. It is requested that Council understand that this site is not normal for the area and take this into consideration.

Existing stormwater from the house should not be affected and continue to function as constructed. All stormwater flows into existing pipes, to be upgraded, and then flows to the front of the property and into Council's stormwater system. The proposal is accompanied by a BASIX Certificate as the proposed works are in excess of \$50,000. All requirements of the Certificate will be met. The pool is included in the certificate. The swimming pool may also be used by the Rural Fire Service as a static water supply if there is ever the need. The location near the

residence and the neighbouring side access driveway should actually help with this, as water trucks will be able to supply from the pool quite easily. There are no substantial trees within the vicinity of any of the proposed works. No trees are to be removed with this application. Though the site ratios will change with this proposal, all ratios will continue to be within the permitted range of compliance with Council. Please see the accompanying landscape calculation table for defined landscape areas and percentages.

The structure is in keeping with the neighbourhood and the scale of this form is balanced by the existing vegetation. It is proposed to use quality materials to finish the area and to maintain the architectural style of the existing residence. The development meets all outcomes and objectives of the LEP and Residential DCP and the desired future character of the area.

ZONING CONTROLS

The following Council documentation is applicable to the property:

Warringah Local Environmental Plan 2011

Warringah Development Control Plan 2011

Environmental Planning and Assessment Act 1997

LEP PART 4 PRINCIPLE DEVELOPMENT STANDARDS

4.1 Minimum Subdivision of Lot size - Not applicable to this application

4.2 Rural Subdivision – Not applicable to this application.

4.3 Height of Buildings – as shown on the Height of Buildings Map = 8.5m high. The 8.5m building height will be complied with for this application.

4.4 Floor Space Ratio & 4.5 Calculation of Floor Space Ratio and Site Area – Not adopted

4.6 Exceptions to the Development Standards – It is considered that the proposal meets the outlines and objectives of the LEP therefore no exception will be applied for, for this application.

WARRINGAH DCP

1.5-Objectives

- To ensure development responds to the characteristics of the site and the qualities of the surrounding neighbourhood
- To ensure new development is a good neighbour, creates a unified landscape, contributes to the street, reinforces the importance of pedestrian areas and creates an attractive design outcome
- To inspire design innovation for residential, commercial and industrial development
- To provide a high level of access to and within development.
- To protect environmentally sensitive areas from overdevelopment or visually intrusive development so that scenic qualities, as well as the biological and ecological values of those areas, are maintained

- To achieve environmentally, economically and socially sustainable development for the community of Warringah

Part B Built Form Controls

B3 Side Boundary Envelope

The proposal is not visually dominant by virtue of height or bulk.

There will be adequate light, solar access, and privacy for neighbouring properties, as the work will provide proper spatial separation between buildings. The proposal is located in an area that will ensure that the development has been designed in response to the topography of the site. The location is both logical positioned to ensure minimal upheaval on site.

There are no exceptions to this section of the DCP.

B5 Side Boundary Setbacks

The proposal maintains the opportunity for deep soil landscape areas on site. The Council required setbacks to each side boundary will continue to be met ensuring planting and grassed areas can be maintained. Existing trees will remain as well. The proposal, though not insubstantial, will remain subtle, as all work will be single storey in design and below the adjacent properties roof lines. The proposal maintains the DCP setbacks. The side setbacks will be landscaped where necessary.

B7 Front Boundary Setbacks

The proposal has been designed to maintain the sense of openness that the Council requires. There will continue to be a visual continuity of pattern for all the buildings on the street. There will be no impact on view sharing and no neighbours will have a loss of light, airflow, or privacy.

Though a portion of the proposed work is to be located in the front yard, a minimum 900mm setback to the carport structure will continue. The proposal has been located in this area as it is the only viable position on site for a carport. It is important to note that this location ensures that any impact on neighbouring sites is kept to the bare minimum. There are a number of front yard carports and garages on the immediate Avenue. Many right to the boundary.

B9 Rear Boundary Setbacks

There will be no impact on this portion of the DCP as all work will comply with required setbacks. There is no change to privacy, visual continuity, or sight lines.

Part C Sitting Factors

C7 Excavation and Landfill

All work to be carried out on site will have no adverse impact on the visual and natural environment or the adjoining and adjacent properties. The existing front yard will be upgraded to help ensure the integrity of the physical environment. The visual and scenic quality of the site and the surrounds will be greatly improved with this application. The position, location, and height of the proposal have all been considered and determined to be the most appropriate location on site to minimise all impacts on the land and the neighbours. There will be no

situation created that will create additional siltation or pollution of the local waterways or drainage lines.

There will be excavation for the pool and the carport. Both areas are well away from all neighbours. A full geotech report accompanies this application and states that all work may be carried out.

Part D Design

D1 Landscaped Open Space and Bushland Setting

The pool surface area is to be included in the landscape open space. All onsite impervious areas that are naturally occurring are also included in the open space calculations. The chart below fully details all landscape calculations, as does the chart on the accompanying plans.

There are no existing trees that will be impacted with this proposal. No new trees will be planted unless at Council's request. The excavation of the pool and carport will be carried out in a thoughtful manner. New landscape works will be carried out to the northern and eastern boundaries to improve the planting on site.

Views from the street to the front of the site will slightly alter but the proposed works will not affect sightlines or privacy. The works are similar to a large number of adjacent residences. This proposal is in keeping with the area and previous builds.

D2 Private Open Space

The site complies with private open space requirements. There is a requirement for a minimum 60sqm on site. The site will have over 100sqm. If the Council will include the area around the swimming pool, this number increases dramatically.

The proposed locations for new works have the best solar access on site. There will be access to the private open space directly from the living areas of the residence. There are sight lines directly from the residential living areas. The primary open space will not be moved or affected.

D3 Noise

There are two types of noise to be noted with this proposal. Initial construction noise, which will be carried out in compliance with all Council and State regulations. The other will be the regular swimming pool activity noise of splashing and children's voices as well as the pool equipment. This noise is unavoidable with this proposal. The owners would like to assure Council that the noise should be in regular hours of the day and will not be any different than the numerous properties that are in the area that already have an existing pool. The secondary noise of the pool filtration equipment and pumps will be housed in a sound suppression enclosure, constructed to meet Council standards, located to the southern side of the house, to limit all impact on neighbours.

D6 Access to Sunlight

The proposed alterations and additions will continue to allow the site to have excellent light access for the site. The pool, located on the western side of the property will receive sun throughout the day, year-round. The neighbouring sites

are all at higher elevations and will not be impacted by loss of light. There will be zero shadow effect on either neighbour.

D7 Views

This proposal will have no affect on the sharing of views. The design and position of the proposed works are all practical in its location and use of the site. Due to the low level of the proposed works and the elevated nature of neighbouring sites, the existing views will not be impacted.

D8 Privacy

It is important to note that there should be no loss of privacy to either side neighbour. The neighbours to the sides and the neighbours across the road are at a great distance. No neighbour should be affected.

D10 Building Colours and Materials

All colours and materials will be natural in nature and sympathetic to the local surrounding environment. They will blend into the natural streetscape and landscaping.

D13 Front Fences and Front Walls

There should be no changes to any existing fencing on site. The front fence will remain as existing. As will the northern side fence. Fencing to the rear may need to be upgraded to comply with the Pool Fencing Act.

The area around the proposed carport will be levelled to provide easier access.

This will involve the construction of an internal retaining wall to allow the carport at the lower level. At present the site is not easily accessible to the majority of guests.

D14 Site Facilities

The pool and surrounds will be of concrete and tile. The proposed decking and any residential additions will be of fire-resistant materials to comply with the Bushfire Assessment. There will be no structural elements that would prohibit building and none to encourage bushfire. The site should have no need to upgrade existing drainage. The property has good drainage as is, though if during construction it is revealed that work should be carried out, the owners will upgrade. The swimming pool will be directly connected to the sewer for backwashing purposes as per Council requirements.

D16 Swimming Pools and Spa Pools

Objectives

- To ensure swimming pools and spas are located to preserve the natural environment, streetscape and residential amenity.
- To encourage innovative design solutions to improve the urban environment.

The proposed pool area has taken these objectives into account. It is located away from neighbouring residences, it is the lowest portion of the rear of the site, the natural topography lends itself to locating the pool in the proposed location, and it affords the proposal total solar access. The pool may also be used as a static water

supply by the Rural NSW Bushfire Service. The pool has been architecturally designed.

Requirements

1. Pools are not to be located in the front building setback.
2. Where there are 2 frontages, swimming pools and spas are not to be situated in the primary street frontage.
3. Swimming pools and spas are to be setback from any trees. Australian Standard AS4970-2009 Protection of trees on development sites is to be used to determine an appropriate setback.

The pool fully complies with these requirements. The pool is located to the rear of the site and it is setback from the boundary. The pool will be located below the existing access areas of this and neighbouring residences and the structure will not be visible from the street. A minimum 900mm setback will be used to ensure adequate planting and screening are provided where required.

The pool position and height have been chosen to ensure that the surrounding outdoor areas will provide excellent passive surveillance to the pool area increasing the ability to provide a safe and secure environment. This is a major concern of Council as outlined in section D20.

D20 Safety and Security

- To ensure that development maintains and enhances the security and safety of the community.

The proposed swimming pool will not be visible from the street as it is behind the existing residence and fencing. There will be proper pool fencing and screen planting provided as well. The position of the pool will allow for excellent visibility from the residence and the remainder of the rear yard outdoor area.

Safety in the pool area is the number one concern for the owners. The pool will be a separate from the rest of the yard and from the house. Any windows that are required to be secured will be in accordance with AS 1926.1-2012 and the Swimming Pools Act 1992. The pool will be isolated from the rest of the property and there will be no access directly to the pool area from the front yard or the residence.

E10 Landslip Risk

The property is identified as being located in Landslip area B and therefore the proposal has a full geotech report accompanying this application. The report states the proposal does not propose any risk to the geotech assessment for the area.

E11 Flood Prone Land

The property is not affected by any of Council's flood zoning maps. The property is not flood affected.

WARRINGAH DEVELOPMENT CONTROL PLAN

Site information & Building controls	Required	Supplied	Compliance with Controls Y/N	Comments
PART B BUILT FORM CONTROL				
B1. Max ceiling height above natural Ground level	7.2m ceiling	7.2	Y	
Max building height	8.5m walls	4.8	Y	
B2. Number of Storeys		1	Y	
B3. Side Boundary Envelope	4m at 45deg		Y	All work is below the side boundary envelope
B4. Site Coverage	60% max	51%	Y	The site complies
B5. Side Boundary Setbacks	0.9m	0.9m	Y	
B6. Merit Assessment of Side Boundary	-	-	N/A	
B7. Front Boundary Setbacks	6.5m	Existing	Y	Carport to be located in the front setback, this is permitted by Council
B8. Merit assessment of Front Setbacks	-	-	N/A	
B9. Rear Boundary Setbacks	6m	existing	Y	Fully compliant as pools may be in the rear setback
B10. Merit assessment of Rear Boundary Setbacks	-	-	N/A	
B11-Foreshore building Setbacks	-	-	N/A	
B12- National Park Setbacks.	-	-	N/A	
B13-Coastal Cliffs Setbacks	-	-	N/A	
B14-Main Road Setback	-	-	N/A	
B15-Min Floor to ceiling height	-	-	N/A	
PART C SITING FACTORS				
C1-Subdivision	-	-	N/A	
C2-Traffic, Access and Safety			Y	Vehicle access is off the main street.
C3-Parking Facilities		2	Y	Parking to be increased to include two vehicles
C4-Stormwater			Y	Stormwater to remain to residence as existing. The new pool will be designed to better accommodate the rainwater.
C5-Erosion &			Y	Refer sediment control plan

Sediment				
C6-Building over Council drainage easement			N/A	No easements associated with this property.
C7-Excavation and landfill			Y	
C8-Demolition & construction				A waste management plan will be carried out during the construction certificate.
C9-Waste Management				A waste management plan will be carried out during the construction certificate.
D1-Landscaped Open Space and Bushland Setting	40%	37% Plus 12% less than 2m	N	The site will fully comply if all soft surface included. Site is irregular in shape
D2-Private Open Space	60 sq m	100sq m	Y	
D3-Noise			N/A	
D8- Privacy			Y	
D12-Glare and reflection			Y	Pool structure and screening to be muted to ensure no reflection
D16-Swimming Pools and Spa Pools			Y	Proposal is fully compliant with the Acts
D22-Conservation of energy and water			Y	The development will comply with all conservation requirements of BASIX
PART E-THE NATURAL ENVIRONMENT				
E1-Tree management			Y	No trees to be removed with this application
E2-Prescribed Vegetation			Y	Minimal site disturbance and additional planting is proposed
E6-Retaining Unique Environmental features			Y	There are no natural features on the property or nearby.
E10-Landslip Risk			Y	Zone B, report supplied

PRIVACY AND NOISE

The proposal has been designed to increase the usability of the site for the owners. The design has also considered the position of the house and property in relation to the neighbours and has been designed to try to maximise the privacy and views of the existing residences. Once construction is completed, there should be no further impact on privacy or noise to the adjoining properties.

SITE MANAGEMENT

There should be approximately 65 cubic metres of excavation required with this proposal. All material will be removed from site. A sediment control fence will be in place to contain any runoff during construction.

BUILDERS INTEGRITY

A specialist, licensed builder will be constructing the alterations and additions and swimming pool. During the construction process utmost care and consideration will be taken to ensure the privacy and lifestyle of the neighbouring residences is uninterrupted.

OWNERS STATEMENT

The family living in this residence are owner occupiers. The house is the family home and the owners wish to make the property as inclusive as possible. The site should have all the amenities that other properties in Warringah are afforded. The family enjoy outdoor living and an active lifestyle. The proposal should help encourage both. The large covered deck area will encourage the family to spend additional time outside. The swimming pool is not only a recreation area for the children, but a tool to help ensure that the family has the ability to swim as there are skills necessary in an Australian's life that the owners want to provide. The proximity to the coast for all Australians requires everyone to feel confident and secure in a water environment. The pool will provide this for the family as well as for friends and neighbours. The ability to have it at their own residence is a big plus as they can be assured of proper supervision. The belief is that with an excellent design, proper landscaping, and the utilization of a portion of the site that is underused, this proposal can help improve the neighbourhood design and streetscape.

Author: Robyn Good Draftsperson, Hort CIII, Assoc Dip Structural Engineering, NZCDrafting (Architectural)