



NO	SHEET NAME	REVISION DATE
01	SITE CONTEXT	02/05/2019
02	SITE ANALYSIS AND ROOF PLAN	02/05/2019
03	EXISTING FLOOR PLANS	02/05/2019
04	EXISTING FLOOR PLANS	02/05/2019
05	GROUND AND FIRST FLOOR PLAN	02/05/2019
06	SECOND AND THIRD FLOOR PLAN	02/05/2019
07	PROPOSED ROOF PLAN	02/05/2019
08	ELEVATIONS	02/05/2019
09	ELEVATIONS	02/05/2019
10	SECTIONS	02/05/2019
11	STREET VIEW - MARKET PLACE	02/05/2019
12	STREET VIEW - THE CORSO	02/05/2019
13	SHADOW DIAGRAMS	02/05/2019

# MANLY CORSO APARTMENTS REFURBISHMENT + ADDITIONS

19-21 THE CORSO, MANLY

DA SUBMISSION - REVIEW ISSUE

MAY 2019



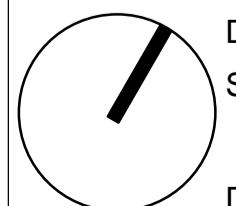
Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
B	14/02/19	PRE DA SUBMISSION	AT
C	27/02/19	PRE DA SUBMISSION	AT
D	04/04/19	PRE DA SUBMISSION	AT
E	02/05/2019	DA SUBMISSION	AT

**PRELIMINARY**

Drawing Title  
SITE CONTEXT

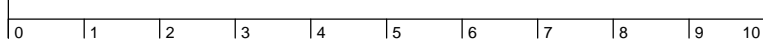
Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
at  
S.P. 12989  
19-21 THE CORSO, MANLY  
for  
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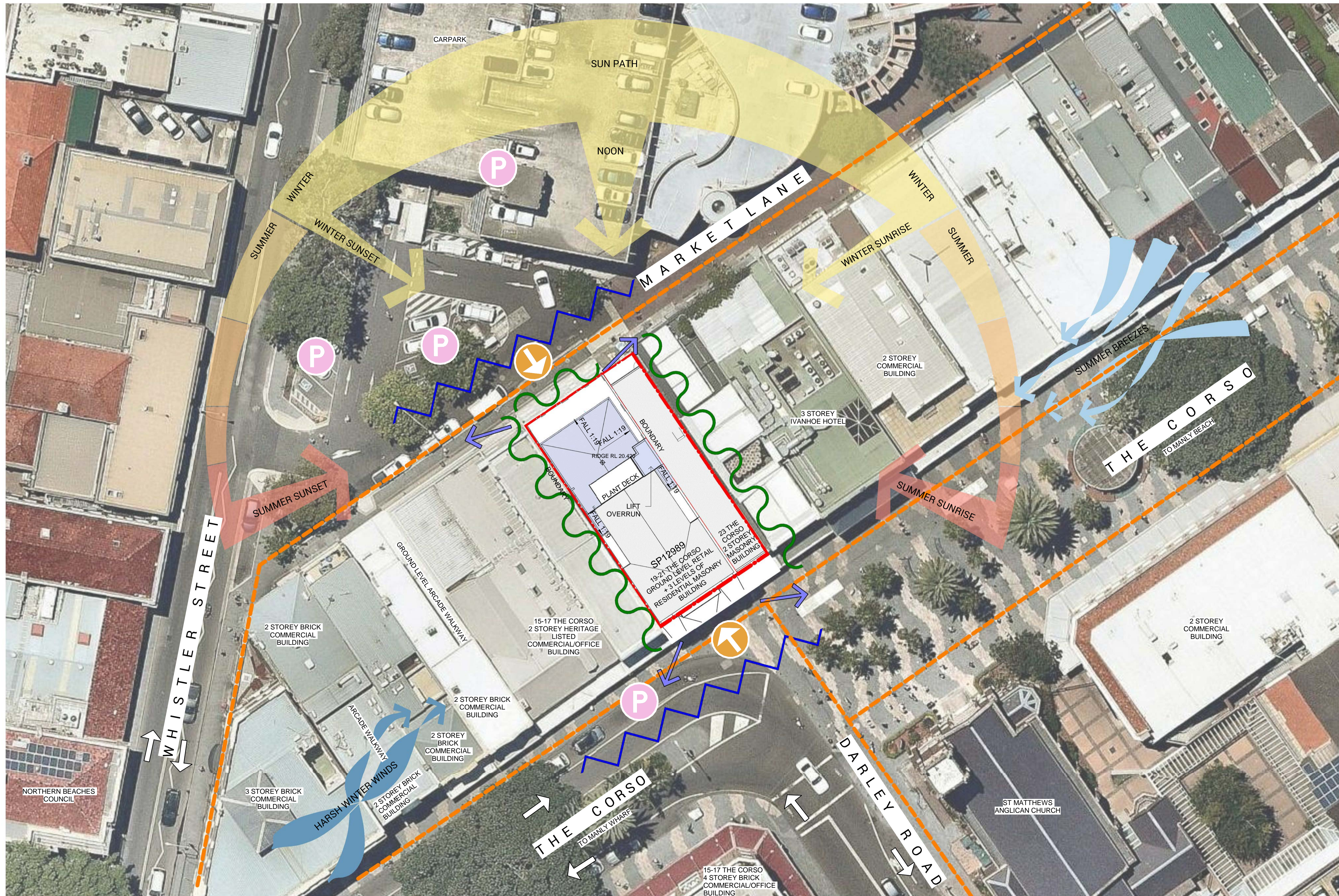
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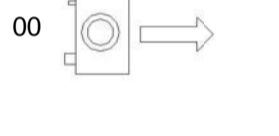




Date 5/9/2019 3:05:57 PM  
Scale 1 : 1 @ A1

Drawing Reference  
**17349-A-01**  
Revision  
**E**





LEGEND

-  PRIVACY LINE
-  SITE FALL
-  VIEWS
-  SUN PATH DIAGRAM
-  PREVAILING WIND DIRECTION
-  BOUNDARY
-  BUILDING SETBACK
-  PRIVATE DRIVEWAY ENTRY/EXIT
-  PRIVATE ACCESS PEDESTRIANS
-  TREE AND VEGETATION
-  GRASS AREA
-  CAMERA DIRECTION IMAGE NUMBER
-  BUS STOP SIGNAL
-  PARKING SYMBOL
-  TRAFFIC NOISE
-  PEDESTRIAN WALKWAY

Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
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C	27/02/19	PRE DA SUBMISSION	AT
D	04/04/19	PRE DA SUBMISSION	AT
E	02/05/2019	DA SUBMISSION	AT

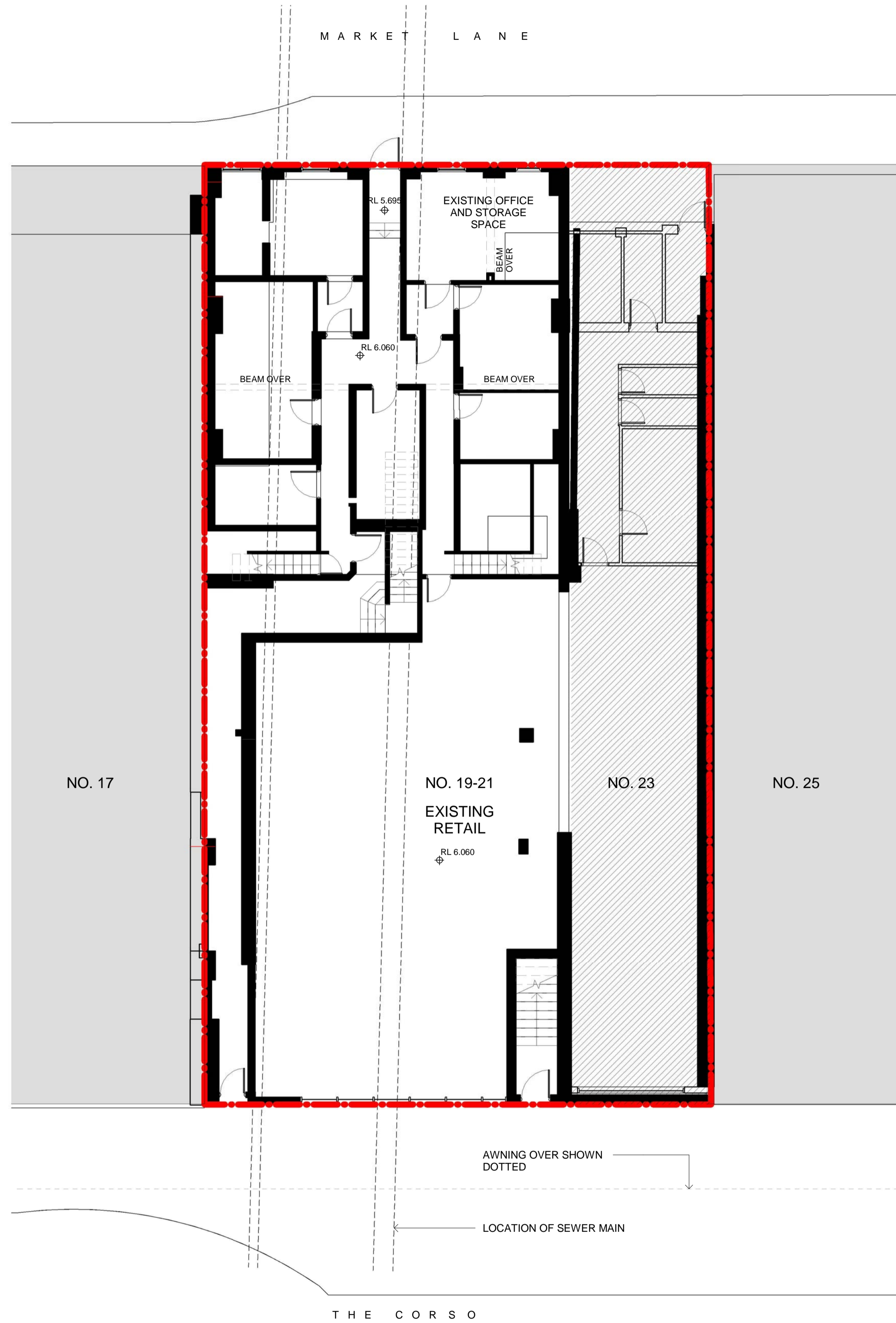
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Drawing Title  
SITE ANALYSIS AND ROOF PLAN

Project  
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Drawing Reference 17349-A-02  
Revision E



**1** EXISTING GROUND FLOOR PLAN  
1 : 100



**2** EXISTING FIRST FLOOR PLAN  
1 : 100

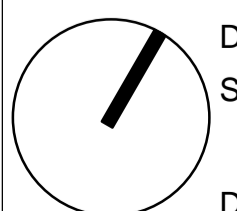
Issue No.	Date	Description	Chkd
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**PRELIMINARY**

Drawing Title  
EXISTING FLOOR PLANS

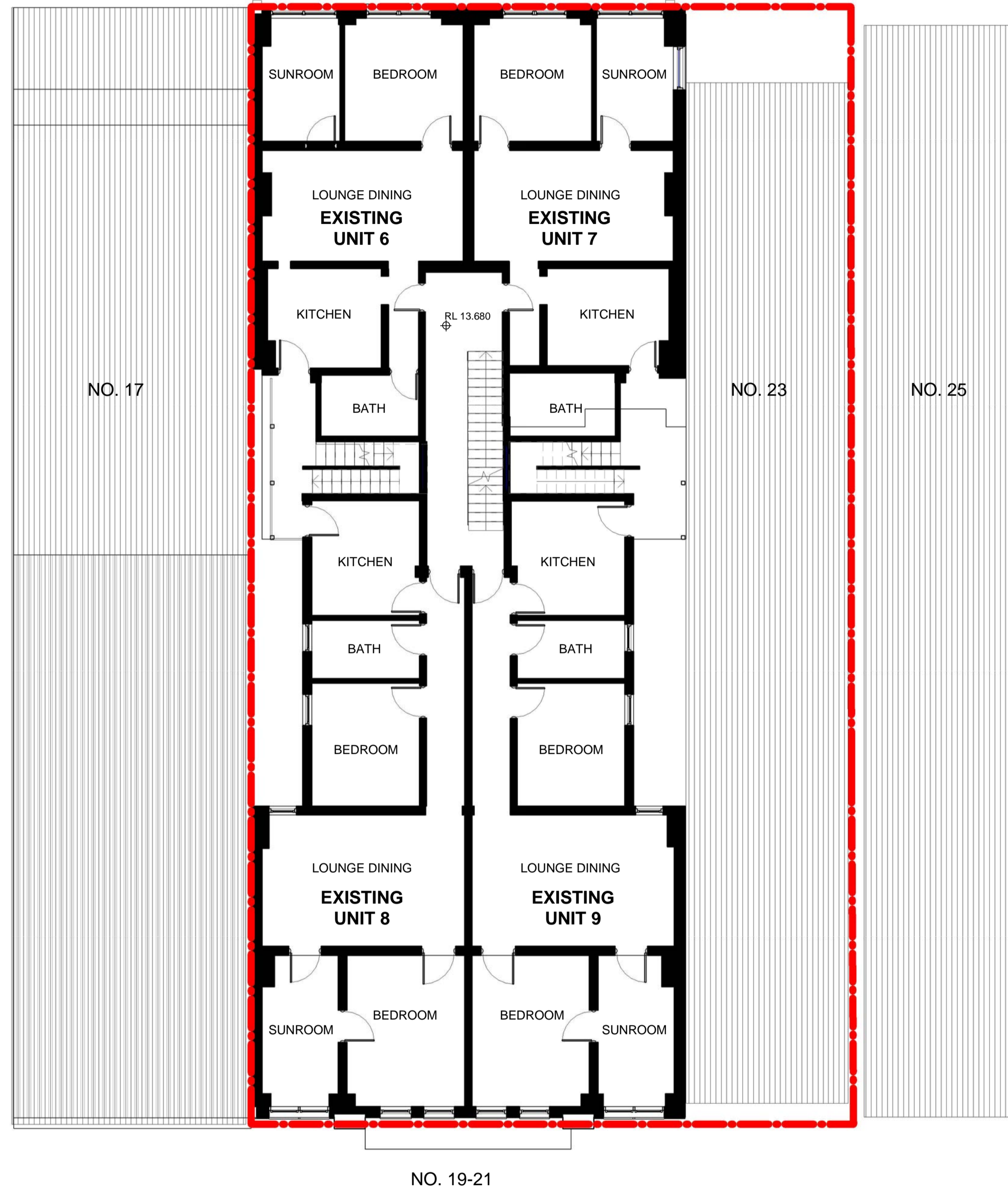
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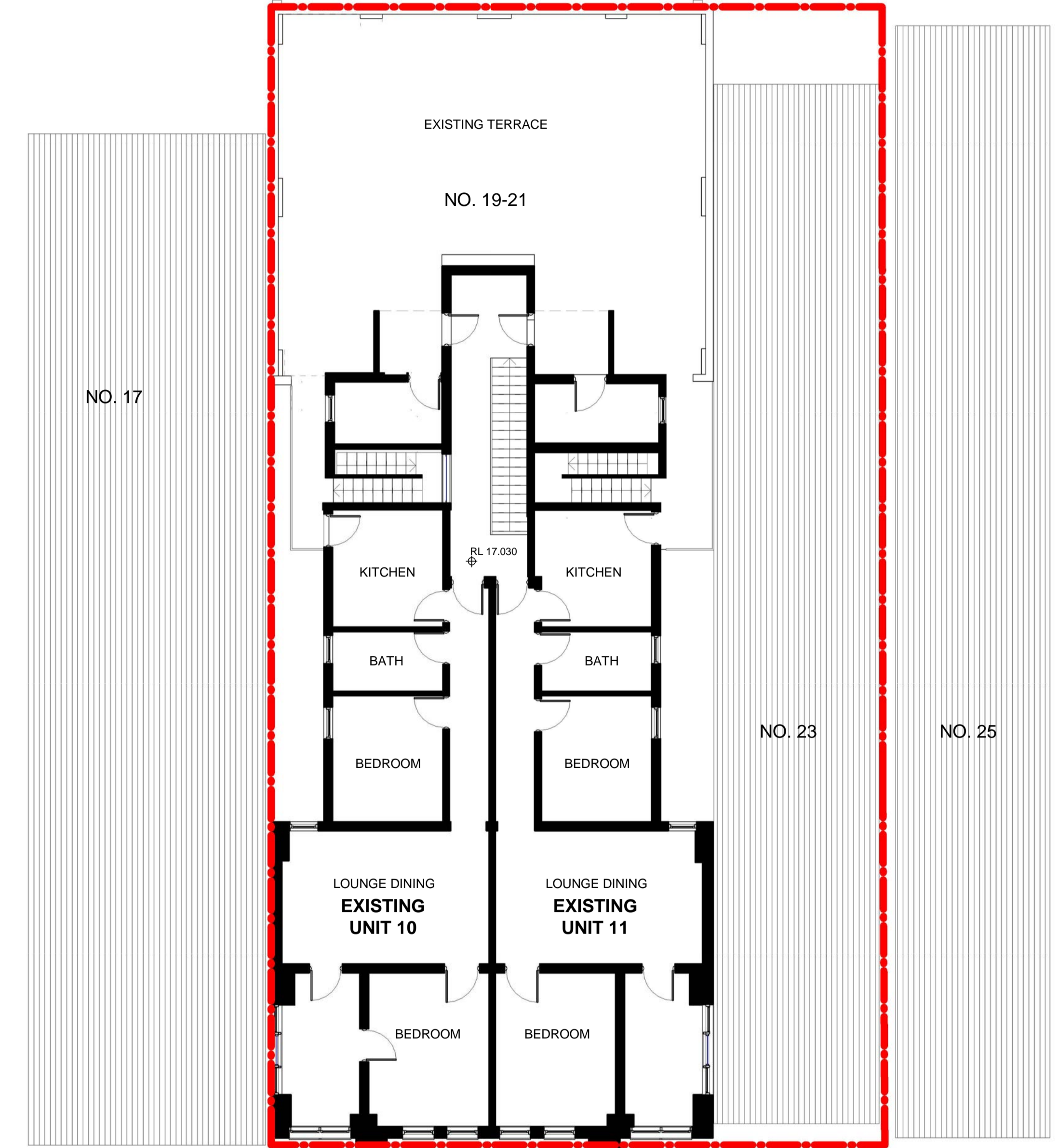


Date 5/9/2019 3:06:04 PM  
Scale 1 : 100 @ A1

Drawing Reference 17349-A-03  
Revision D



**1** EXISTING SECOND FLOOR PLAN  
1 : 100



**2** EXISTING THIRD FLOOR PLAN  
1 : 100

**PRELIMINARY**

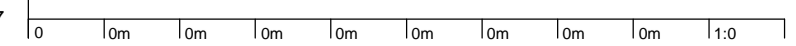
Issue No.	Date	Description	Chkd
A	14/02/19	PRE DA SUBMISSION	AT
B	27/02/19	PRE DA SUBMISSION	AT
C	04/04/19	PRE DA SUBMISSION	AT
D	02/05/2019	DA SUBMISSION	AT

Drawing Title  
EXISTING FLOOR PLANS

Project  
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REFURBISHMENT + ADDITIONS  
at  
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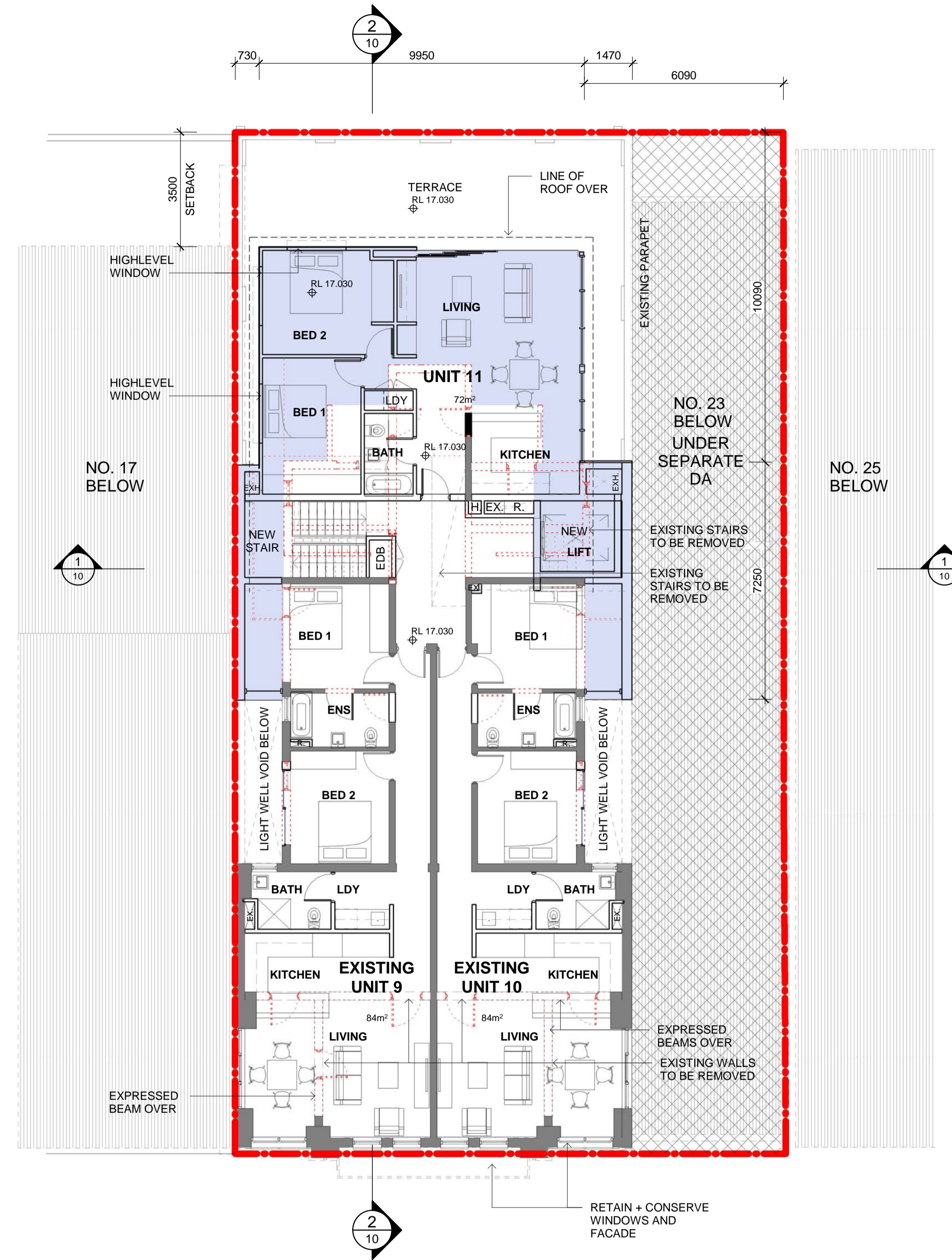
Date 5/9/2019 3:06:05 PM  
Scale 1:0 @ A1 or 1:0 @ A3  
Drawing Reference 17349-A-04  
Revision D







**1** SECOND FLOOR - PROPOSED  
1 : 100



**2** THIRD FLOOR - PROPOSED  
1 : 100

**PRELIMINARY**

- NEW BUILDING ENVELOPE
- EXISTING WALLS
- PROPOSED WALLS
- TO BE DEMOLISHED
- NO.23 - UNDER SEPARATE DA
- EXISTING FLOOR TO BE LOWERED
- F.A FRESH AIR RISER
- EX. EXHAUST RISER
- R. REFRIGERANT RISER

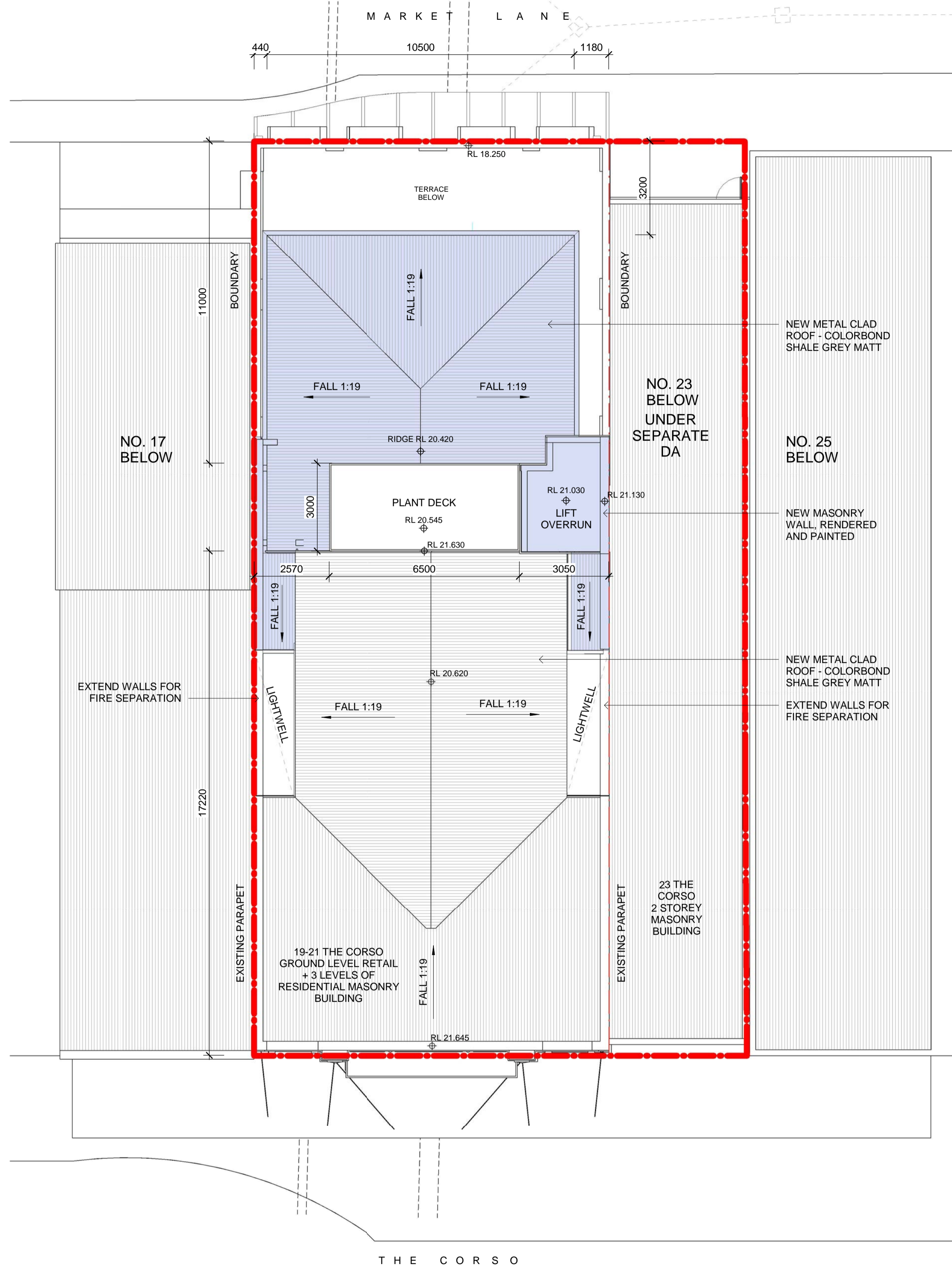
Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
B	14/02/19	PRE DA SUBMISSION	AT
C	27/02/19	PRE DA SUBMISSION	AT
D	04/04/19	PRE DA SUBMISSION	AT
E	02/05/2019	DA SUBMISSION	AT

Drawing Title  
SECOND AND THIRD FLOOR PLAN

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Scale As indicated @ A1  
Drawing Reference 17349-A-06  
Revision E



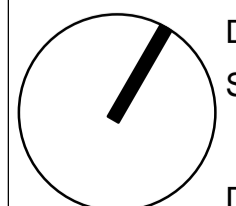
Issue No.	Date	Description	Chkd
A	02/05/2019	DA SUBMISSION	AT

**PRELIMINARY**

Drawing Title  
PROPOSED ROOF PLAN

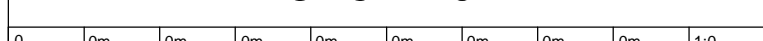
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REFURBISHMENT + ADDITIONS  
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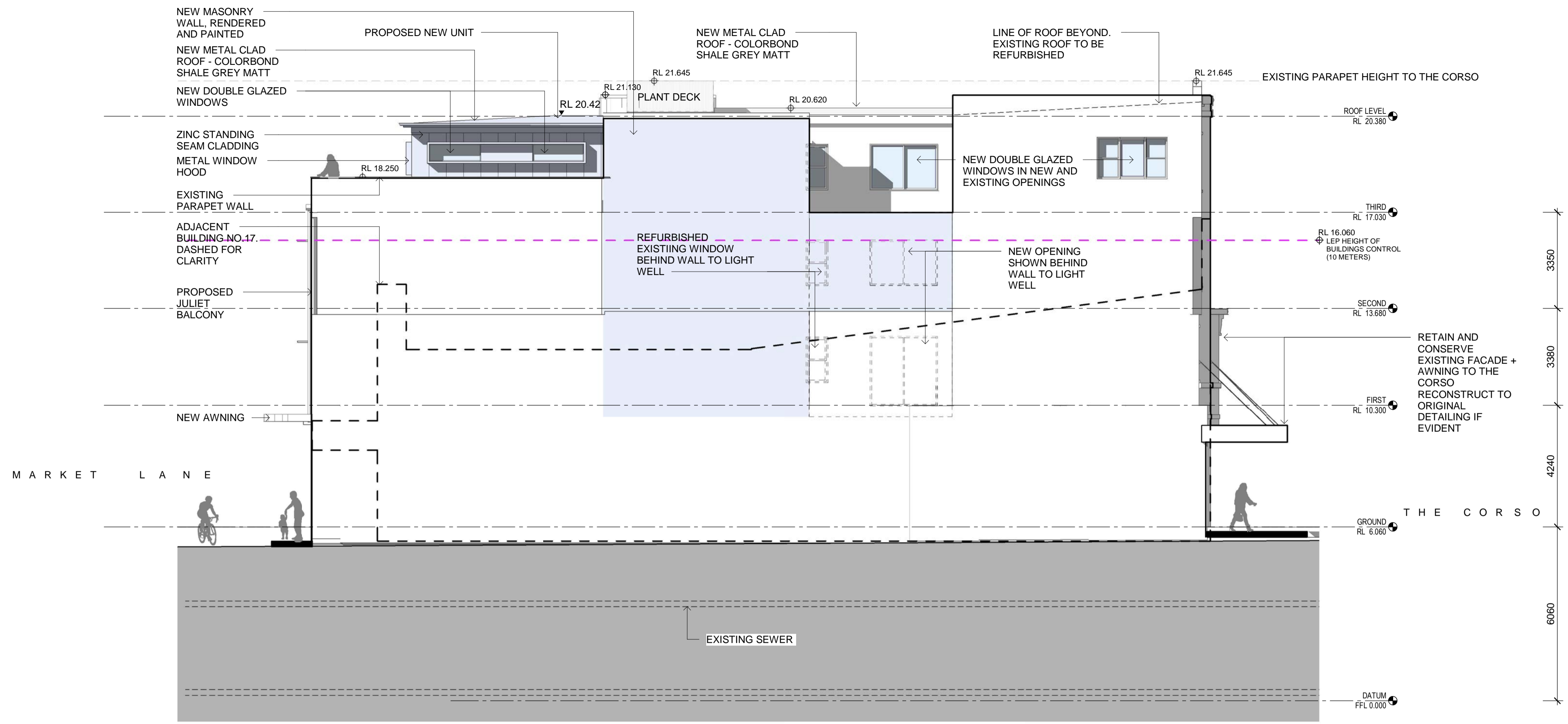


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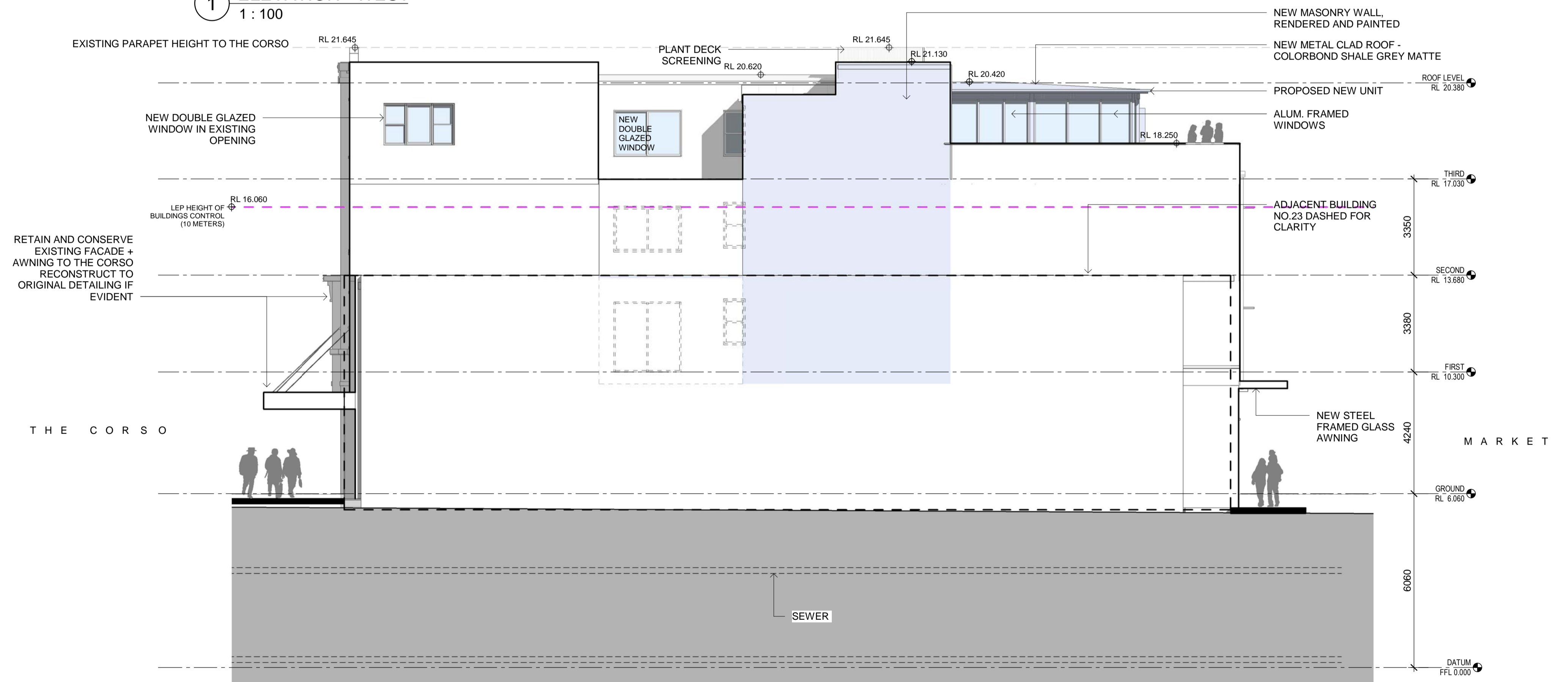
Drawing Reference  
**17349-A-07**  
Revision  
**A**







1 ELEVATION - WEST  
1 : 100



2 ELEVATION - EAST  
1 : 100

**PRELIMINARY**

- NEW FLOOR/ WALL AREA
- TO BE DEMOLISHED
- EXISTING BUILDING - NO WORKS IN THIS ZONE

Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
B	14/02/19	PRE DA SUBMISSION	AT
C	27/02/19	PRE DA SUBMISSION	AT
D	04/04/19	PRE DA SUBMISSION	AT
E	02/05/2019	DA SUBMISSION	AT

Drawing Title  
ELEVATIONS

Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
at  
S.P. 12989  
19-21 THE CORSO, MANLY  
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Scale As indicated @ A1

Drawing Reference 17349-A-08  
Revision E



1 ELEVATION - MARKET LANE

1:100



2 ELEVATION - THE CORSO

1:100

Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
B	14/02/19	PRE DA SUBMISSION	AT
C	27/02/19	PRE DA SUBMISSION	AT
D	02/05/2019	DA SUBMISSION	AT

**PRELIMINARY**

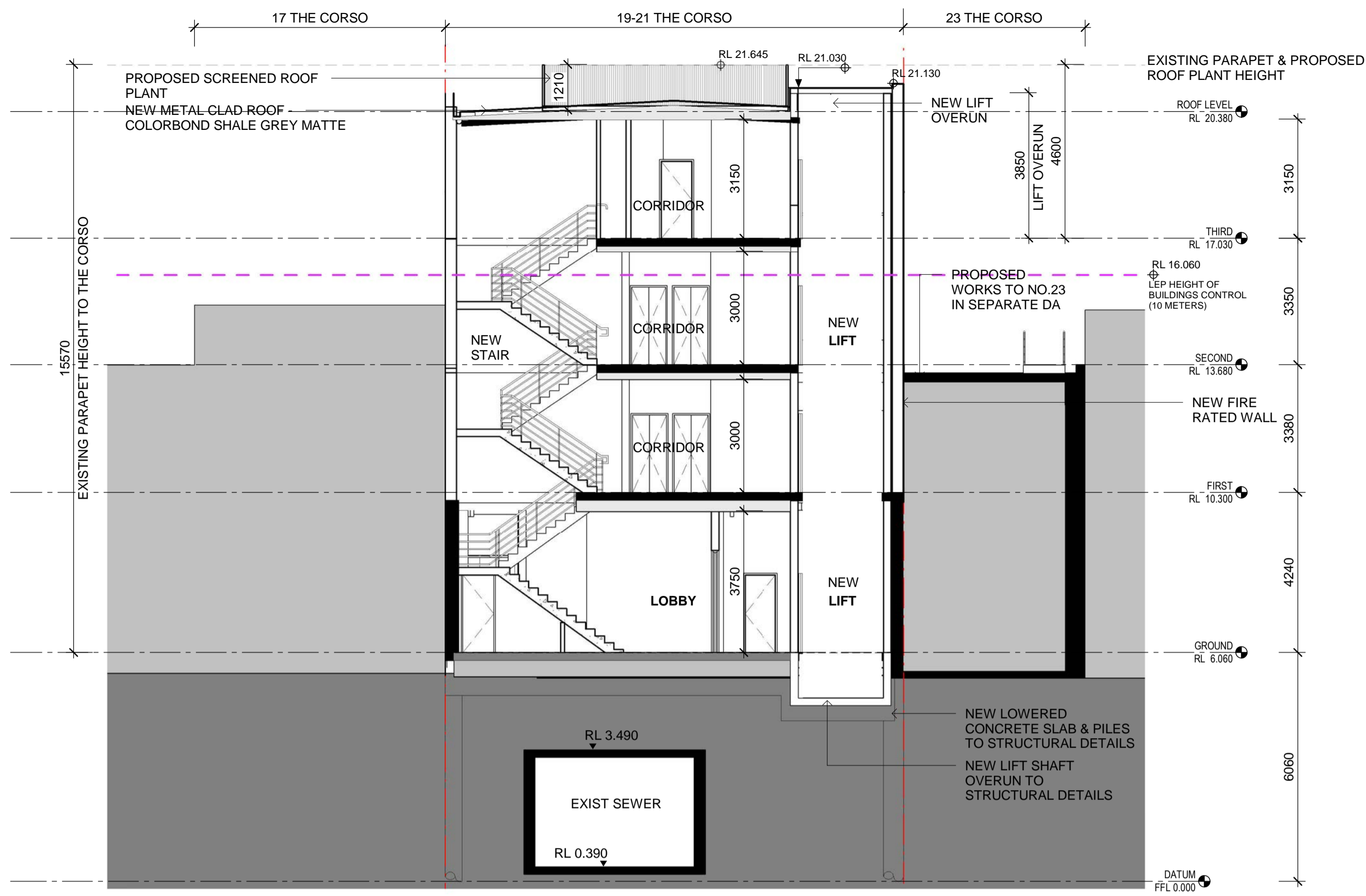
Drawing Title  
ELEVATIONS

Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
at  
S.P. 12989  
19-21 THE CORSO, MANLY  
for  
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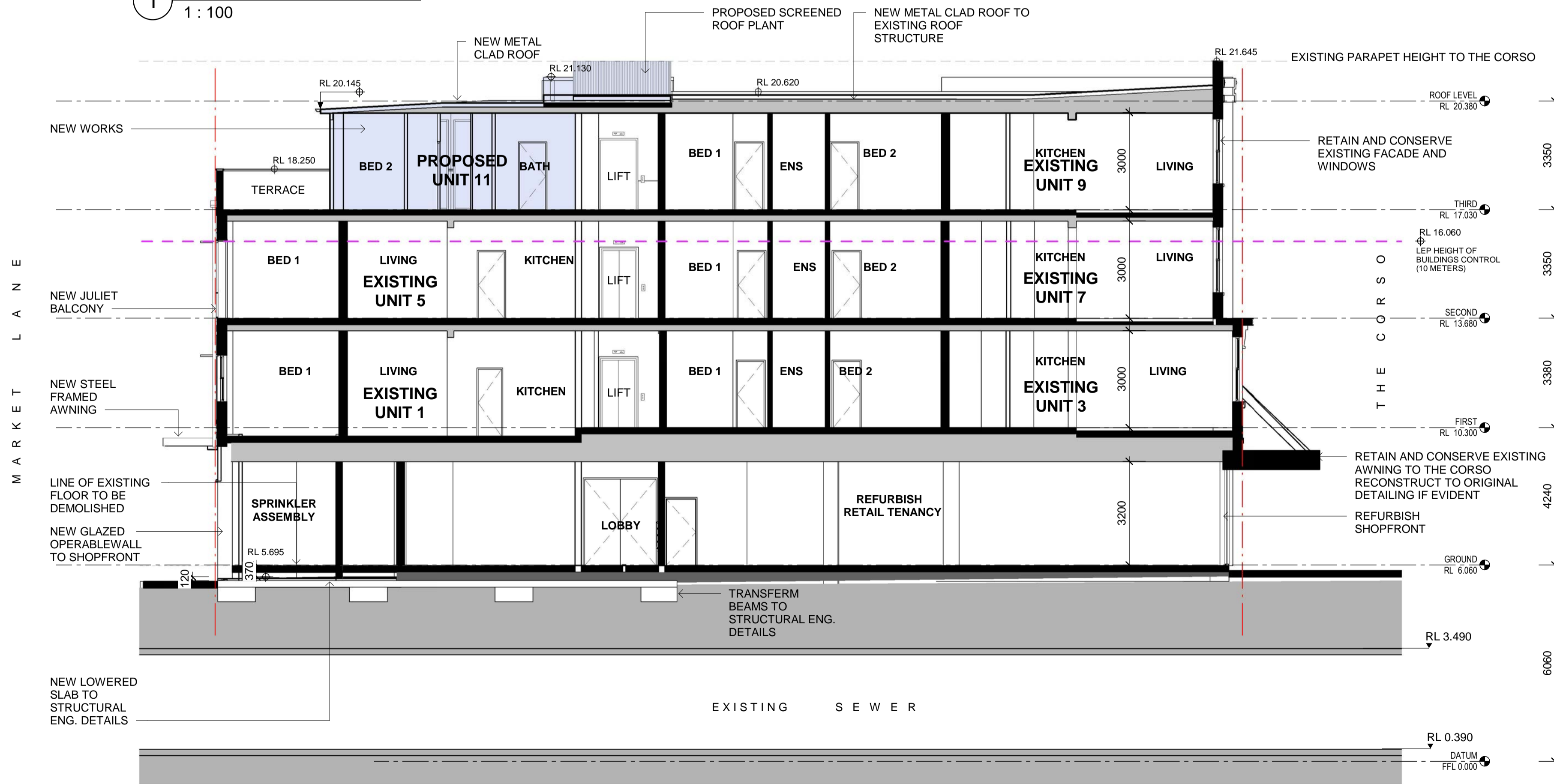
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Scale 1:100 @ A1

Drawing Reference  
17349-A-09  
Revision  
D



1 CROSS SECTION  
1 : 100



2 LONG SECTION  
1 : 100

**PRELIMINARY**

Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
B	14/02/19	PRE DA SUBMISSION	AT
C	27/02/19	PRE DA SUBMISSION	AT
D	02/05/2019	DA SUBMISSION	AT

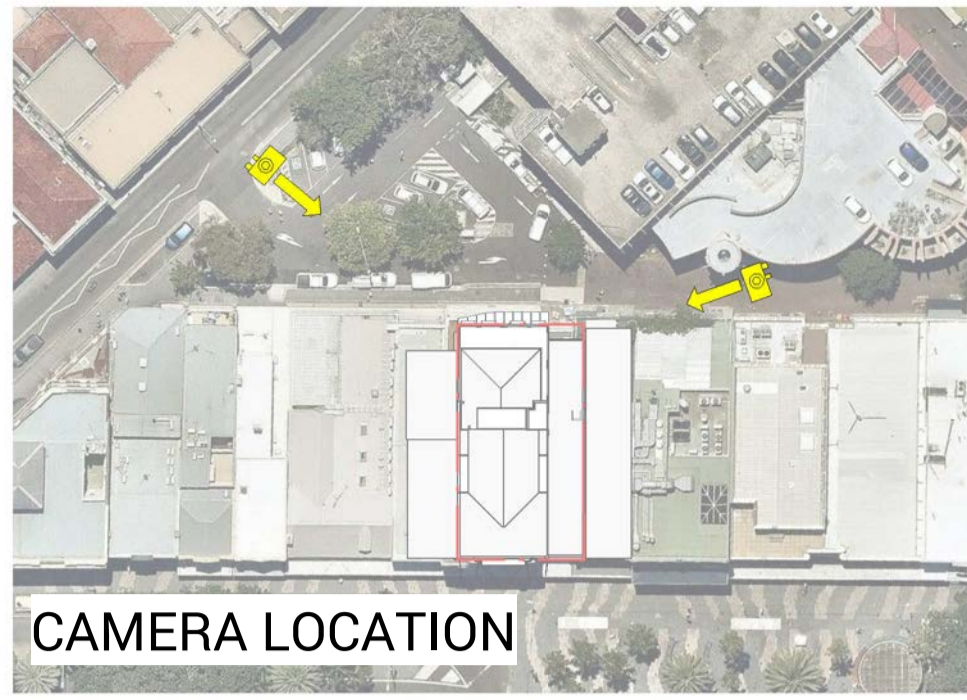
Drawing Title  
SECTIONS

Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
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19-21 THE CORSO, MANLY  
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Drawing Reference  
17349-A-10  
Revision  
D



PERSPECTIVE - EXISTING MARKET LANE



PERSPECTIVE - EXISTING WHISTLER & MARKET LANE



PERSPECTIVE - PROPOSED MARKET LANE



PERSPECTIVE - PROPOSED WHISTLER & MARKET LANE

**PRELIMINARY**

Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
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Drawing Title  
STREET VIEW - MARKET PLACE

Project  
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REFURBISHMENT + ADDITIONS  
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Scale 1 : 1000 @ A1

Drawing Reference 17349-A-11  
Revision D



CAMERA LOCATION



PERSPECTIVE - EXISTING THE CORSO



PERSPECTIVE - EXISTING THE CORSO



PERSPECTIVE - PROPOSED THE CORSO



PERSPECTIVE - PROPOSED THE CORSO

Issue No.	Date	Description	Chkd
A	02/05/2019	DA SUBMISSION	AT

**PRELIMINARY**

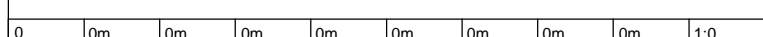
Drawing Title  
STREET VIEW - THE CORSO

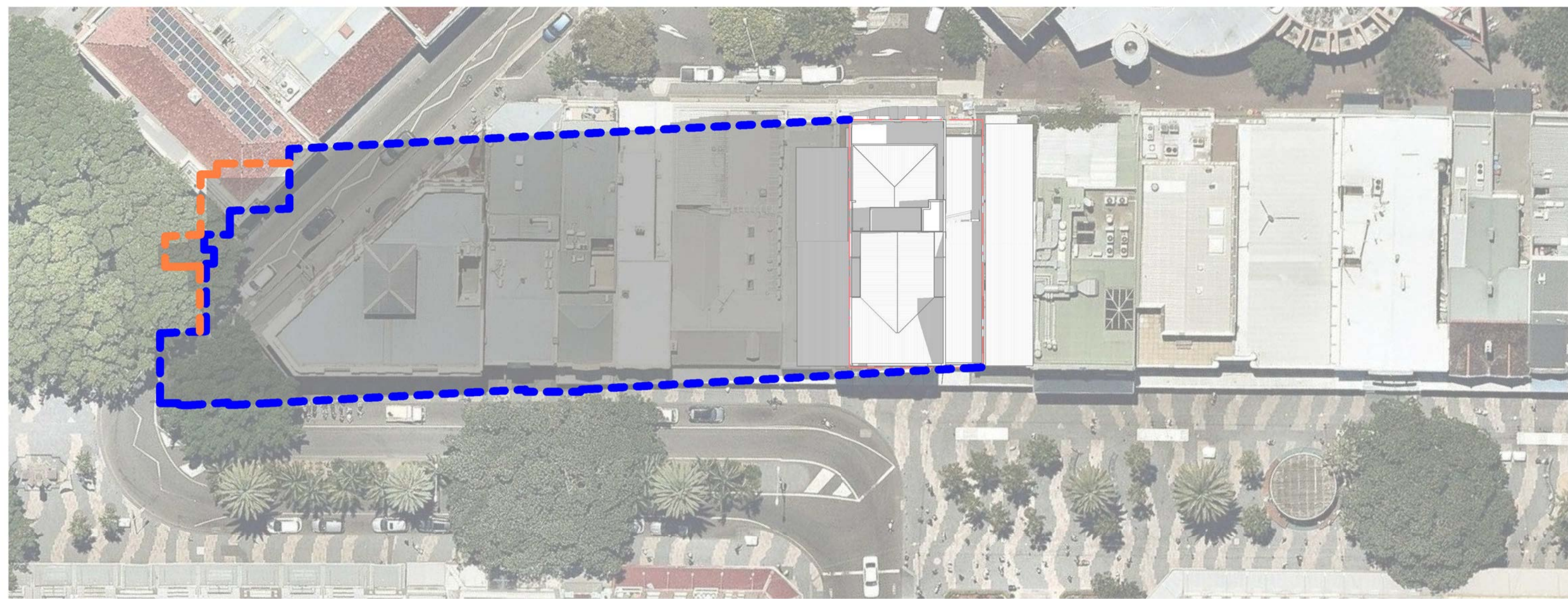
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REFURBISHMENT + ADDITIONS  
at  
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Drawing Reference 17349-A-12  
Revision A





1 SUNSHADOW DIAGRAM - 9AM JUNE  
1 : 500



4 SUNSHADOW DIAGRAM - 9AM DEC  
1 : 500



2 SUNSHADOW DIAGRAM - 12PM JUNE  
1 : 500



5 SUNSHADOW DIAGRAM - 12PM DEC  
1 : 500

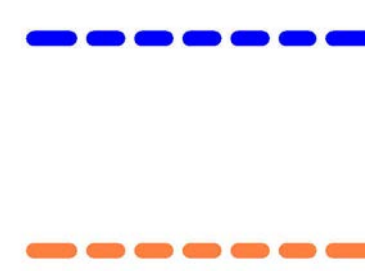


3 SUNSHADOW DIAGRAM - 3PM JUNE  
1 : 500



6 SUNSHADOW DIAGRAM - 3PM DEC  
1 : 500

**PRELIMINARY**



EXISTING SHADOWS

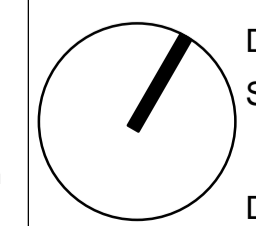
PROPOSED SHADOWS

Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
B	14/02/19	PRE DA SUBMISSION	AT
C	27/02/19	PRE DA SUBMISSION	AT
D	02/05/2019	DA SUBMISSION	AT

Drawing Title  
SHADOW DIAGRAMS

Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
at  
S.P. 12989  
19-21 THE CORSO, MANLY  
for  
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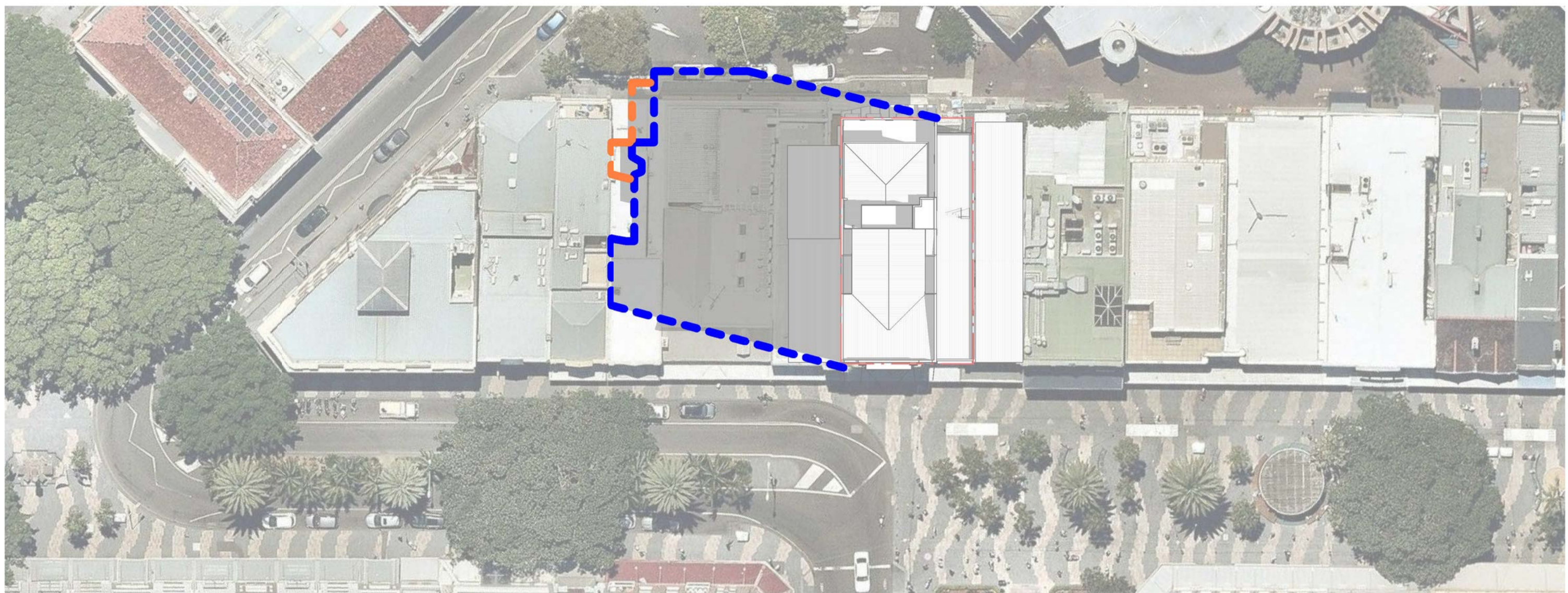
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Scale As indicated @ A1

Drawing Reference  
17349-A-13

Revision  
D



**1** SUNSHADOW DIAGRAM - 9AM SEPT  
1 : 500



**2** SUNSHADOW DIAGRAM - 12PM SEPT  
1 : 500



**3** SUNSHADOW DIAGRAM - 3PM SEPT  
1 : 500

Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
B	14/02/19	PRE DA SUBMISSION	AT
C	27/02/19	PRE DA SUBMISSION	AT
D	02/05/2019	DA SUBMISSION	AT

**PRELIMINARY**

--- EXISTING SHADOWS  
--- PROPOSED SHADOWS

Drawing Title  
SHADOW DIAGRAMS

Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
at  
S.P. 12989  
19-21 THE CORSO, MANLY  
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Drawing Reference 17349-A-14  
Revision D



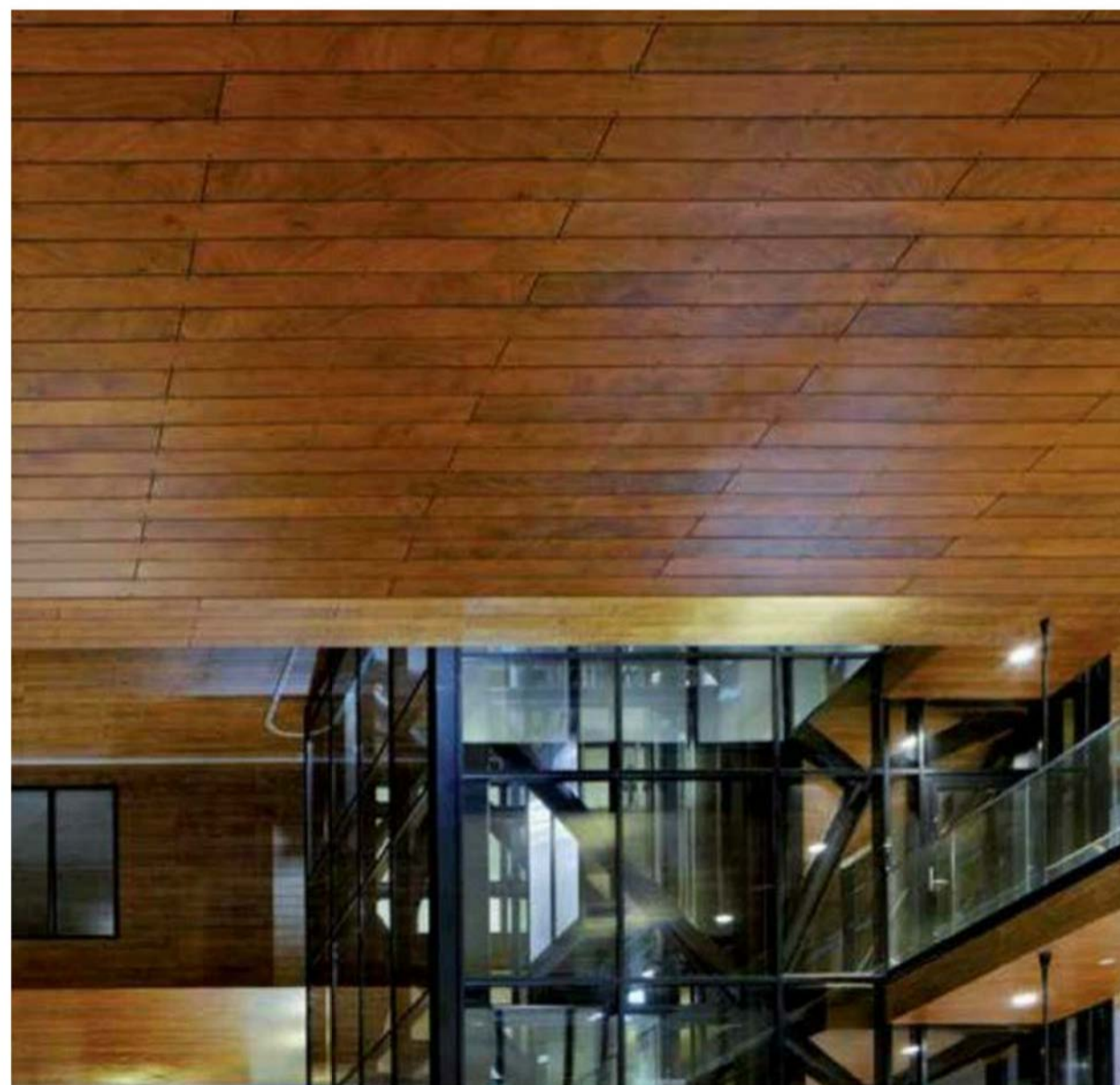
EXISTING & HERITAGE COLOUR PALETTE TO BE REFURBISHED



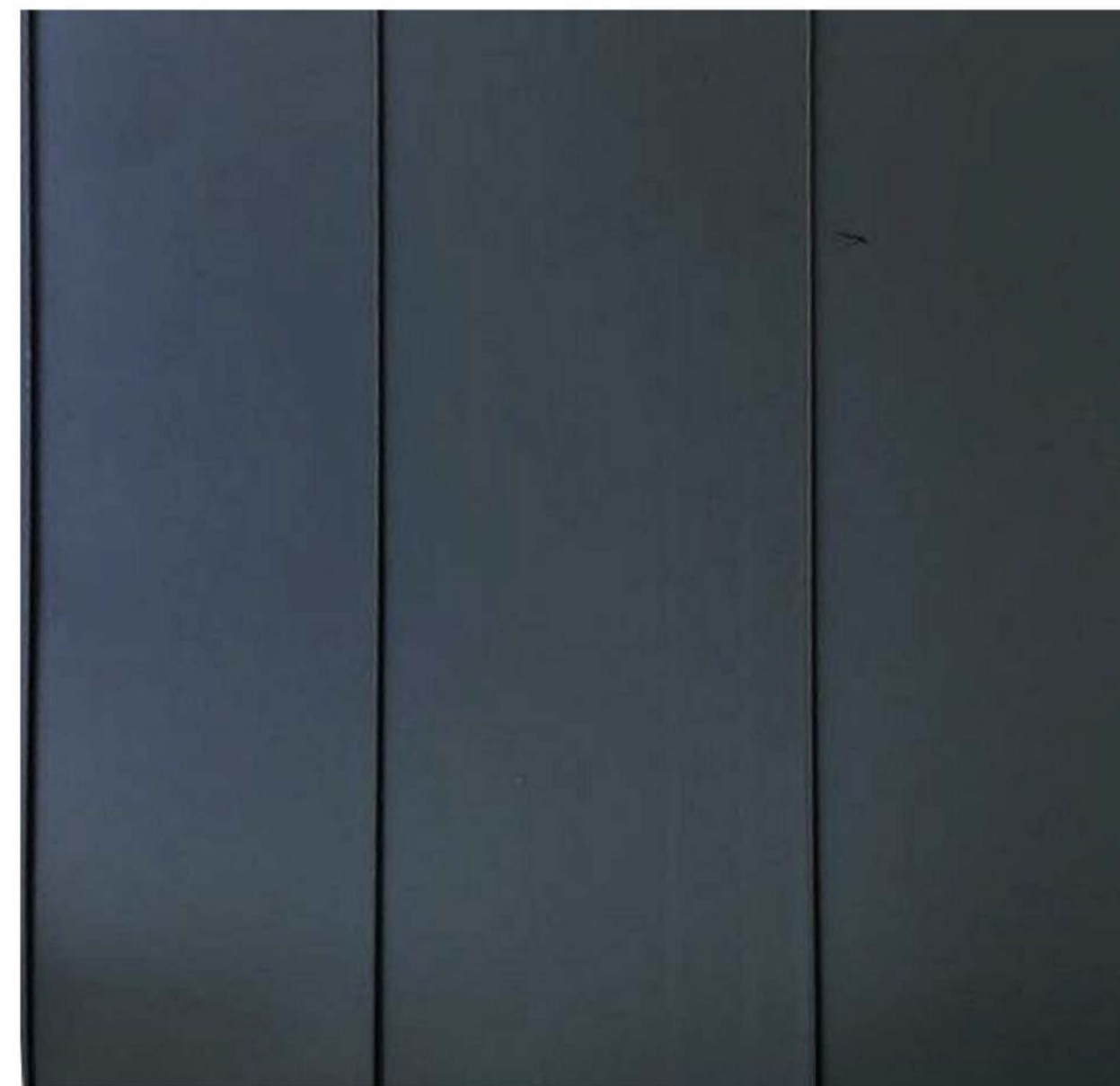
EXISTING BUILDING FEATURES TO BE RETAINED AND REFURBISHED



SHALE GREY MATTE ROOFING, FLASHING, GUTTERS TO REPLICATE EXISTING.



PROPOSED TIMBER LINED EAVES TO NEW APARTMENT WINDOW BOX



PROPOSED ZINC CLADDING



PROPOSED GLAZED SLIDING DOORS TO NEW APARTMENT

Issue No.	Date	Description	Chkd
A	01/06/18	PRE DA SUBMISSION	AT
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C	27/02/19	PRE DA SUBMISSION	AT
D	02/05/2019	DA SUBMISSION	AT

**PRELIMINARY**

Drawing Title  
MATERIALS & FINISHES

Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
at  
S.P. 12989  
19-21 THE CORSO, MANLY  
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Scale 1 : 1 @ A1

Drawing Reference 17349-A-15  
Revision D





Open-up render and investigate extent of cracking. Rectify cracking to structural engineer and heritage architect's advice and reapply render to match original detail



Open-up render and investigate extent of cracking. Rectify cracking to structural engineer and heritage architect's advice and reapply render to match original detail



Open up render over all windows and investigate corrosion of lintels. Replace or rectify lintels to structural engineer and heritage architect's advice and reapply render to match original detail



Investigate level of decay of existing windows to determine extent of works. In cases of minor rot, splice in new timbers to replace rotten segments. Where deemed necessary by Heritage Architect, replace windows and frames in timber to match original detail. New glazing shall be provided to all windows to incorporate (20mm max) double glazing units for thermal and acoustic insulation (Thermawood) as directed by heritage architect.



Open up and investigate cracking to pediment. Rectify cracking to structural engineer and heritage architect's advice and reinstate rendered detail to match original.



Investigate damp to building façade. Rectify cause and remove any salt laden render. Replace render to match original detail.



Reconstruct window to match original detailing.



Allow to repaint entire façade and masonry returns to The Corso in heritage colour scheme based on paint scrape evidence performed on site once access to façade is provided. Paint shall be Dulux Acratex Acraseal or similar to heritage architect's approval.



Retain and conserve existing shopfront awning. Open up and investigate possibility of any extant remnant original awning finishes. Rectify awning structure as required to structural engineer's advice. Reconstruct roof, fascia and soffit to match original detail if evident. (Allow for pressed metal soffit, marine ply fascia with timber trim, metal decking to roof and box gutter to building line)

Issue No.	Date	Description	Chkd
A	27/02/19	PRE DA SUBMISSION	AT
B	02/05/2019	DA SUBMISSION	AT

**PRELIMINARY**

Drawing Title  
HERITAGE CONSERVATION

Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
at  
S.P. 12989  
19-21 THE CORSO, MANLY  
for  
HILROK PROPERTIES PTY LTD

Architect  
**NBR ARCHITECTURE.**  
Sydney  
61 2 9922 2344  
nbrsarchitecture.com  
Any form of replication of this drawing in full or in part without the written permission of NBR ARCHITECTURE PTY LTD constitutes an infringement of the copyright. ABN 16 002 247 565  
Nominated Architects:  
Geoffery Deane 3766; Andrew Duffin; Garry Hoddinett 5286

Date 5/9/2019 3:06:43 PM  
Scale 1:0 @ A1 or 1:0 @ A3  
Drawing Reference 17349-A-16  
Revision B



Description: Door Type 1. Three panel timber door with original hardware  
 Note: Door typically extant to bedrooms  
 Conservation works:

- Retain original doors in situ where possible
- Original doors and frames in areas to be demolished are to be salvaged and reused.

New doors and frames to be detailed to match existing



Description: Door Type 2. Timber door with four glazed panel to upper door and three timber panels below, original hardware  
 Note: Door type 2 is atypical.  
 Conservation works:

- Retain original doors in situ where possible
- Original doors and frames in areas to be demolished are to be salvaged and reused.
- New doors and frames to be detailed to match existing.



Description: Door Type 3 (modified). Double multi-pane door with fixed multi-pane highlight.  
 Note: Door type 3 is located in some openings to former porches. The door illustrated has been modified with a later door and fixed sidelight. The image illustrates the original frame and highlight window.  
 Conservation works:

- Retain existing frame and highlight and original double multi-pane glazed doors in situ where possible.
- Original doors, frames and highlights in areas to be demolished are to be salvaged and reused.
- Retain existing frame and highlight where extant and provide new doors to match original
- New doors, frames and highlights to be detailed to match original.



Description: Skirting  
 Conservation works:

- Original skirting shall remain in situ
- Original skirting to be salvaged in areas to be demolished and reused.
- New skirting should be detailed to match original



Description: Architrave  
 Conservation Works:

- Original architraves shall remain in situ where possible
- Architraves should be salvaged in areas to be demolished and reused
- New architraves should be detailed to match original



Ceilings and Cornices  
 Note: No Original ceilings are extant  
 Conservation works:

- Provide new flush plasterboard ceilings throughout
- Select new plaster cornice such as Baileys BCC252 or similar simple detailing

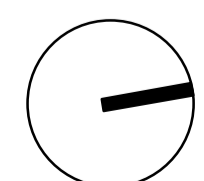
Issue No.	Date	Description	Chkd
A	04/04/19	PRE DA SUBMISSION	AT
B	02/05/2019	DA SUBMISSION	AT

AT

Drawing Title  
 HERITAGE INTERIOR SCOPE

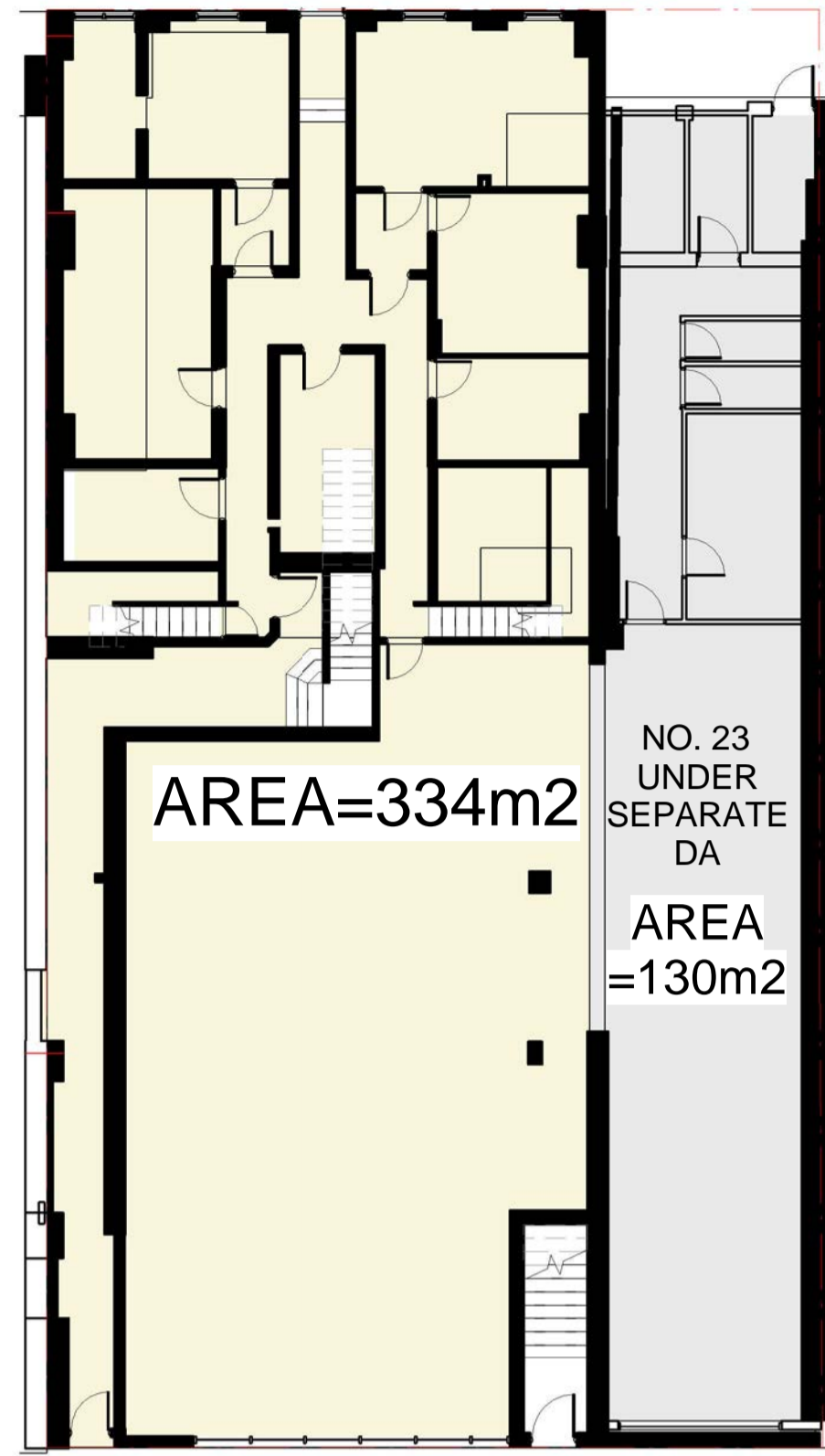
Project  
 MANLY CORSO APARTMENTS  
 REFURBISHMENT + ADDITIONS  
 at  
 S.P. 12989  
 19-21 THE CORSO, MANLY  
 for  
 HILROK PROPERTIES PTY LTD

Architect  
**NBRSEARCHITECTURE.**  
 Sydney  
 61 2 9922 2344  
 nbrsarchitecture.com  
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 Nominated Architects: Geoffrey Deane 3766; Andrew Duffin 5602; Garry Hodginet 5286  
 ABN 16 002 247 565

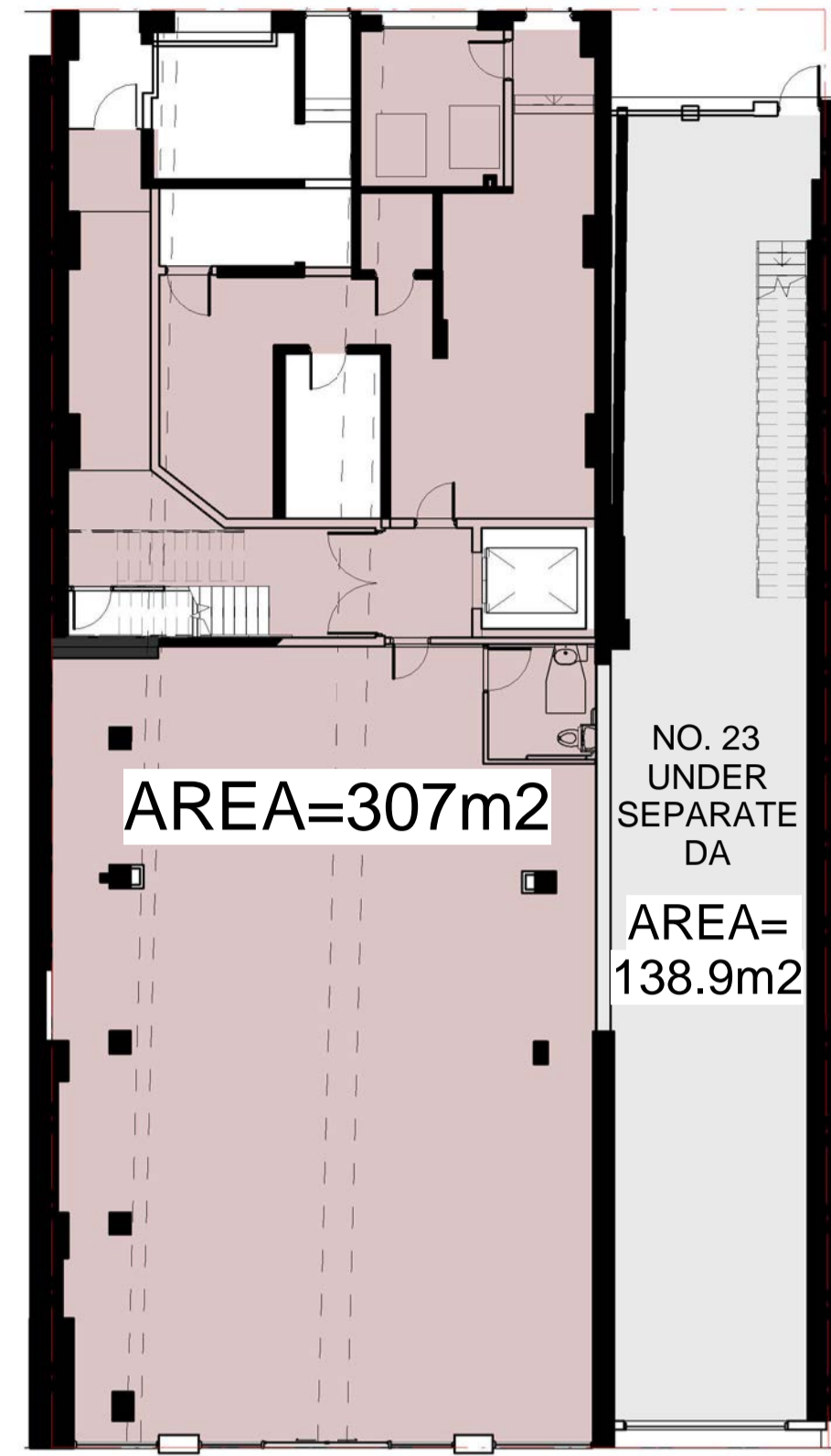


Date 5/9/2019 3:06:45 PM  
 Scale 100@A1 or 200@A3

Drawing Reference  
 17349-A- DA-17  
 Revision  
 B



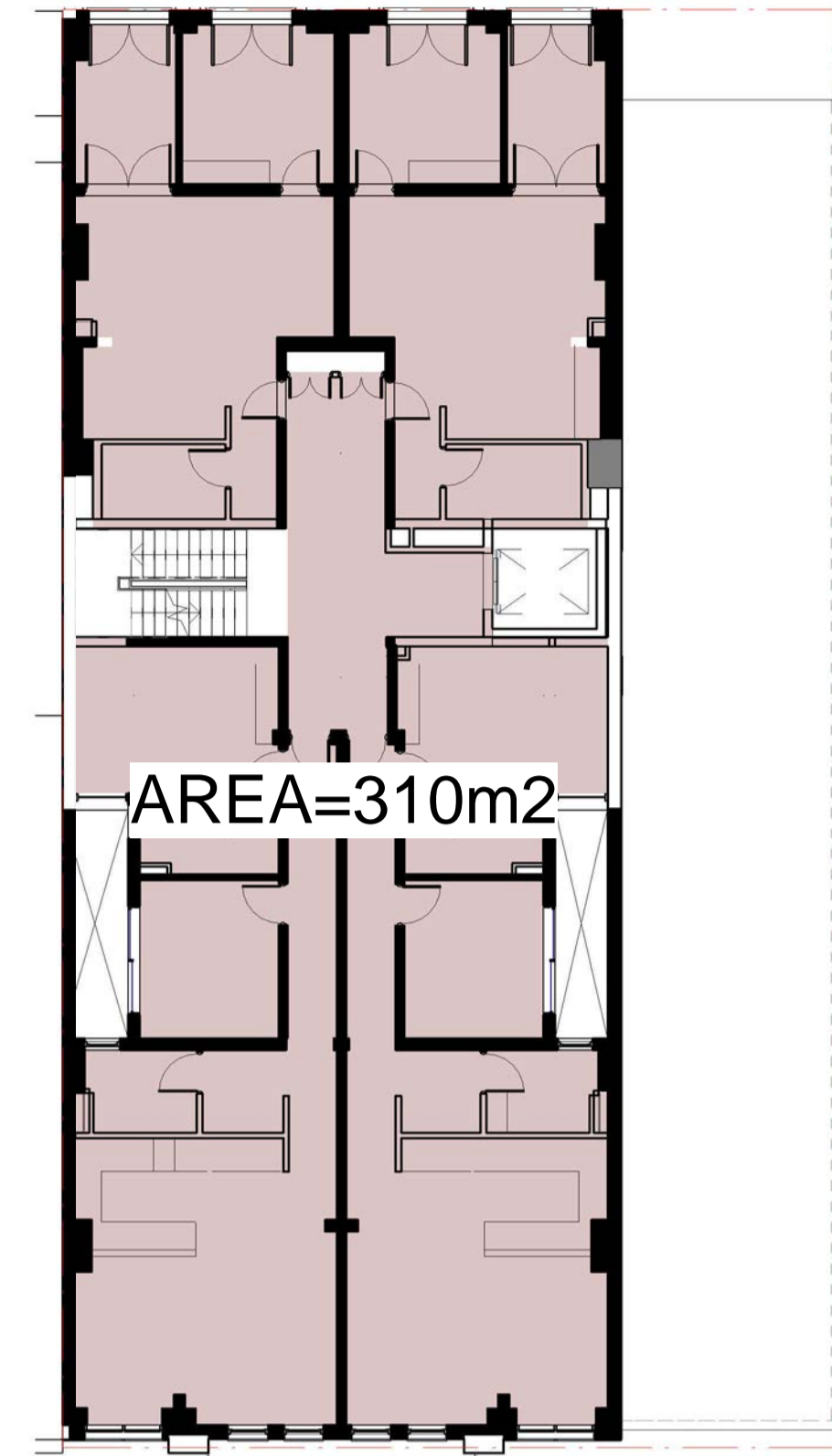
1 EXISTING GROUND FLOOR - FSR  
1 : 150



2 PROPOSED GROUND FLOOR - FSR  
1 : 150



5 EXISTING SECOND FLOOR - FSR  
1 : 150



6 PROPOSED SECOND FLOOR - FSR  
1 : 150

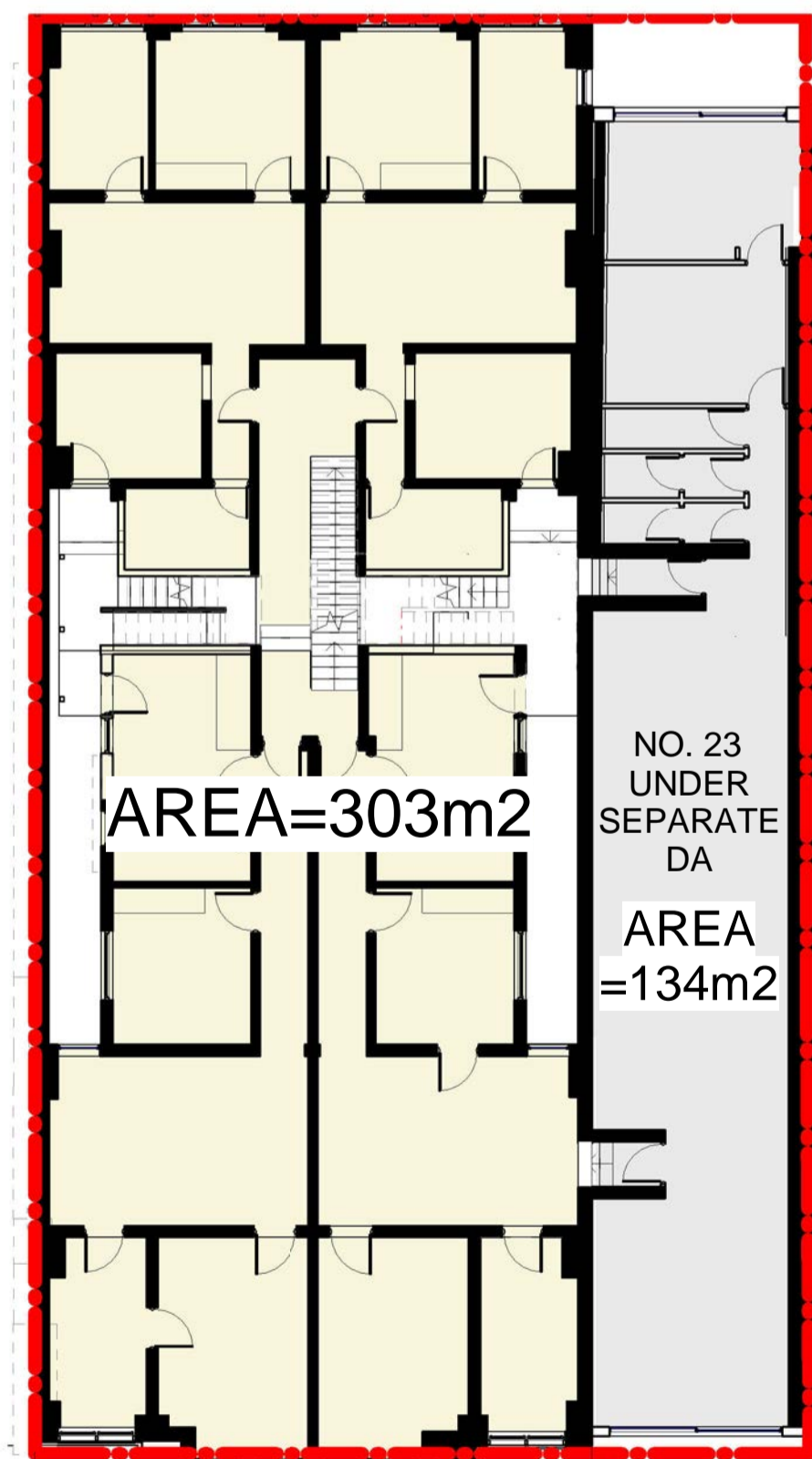
SITE AREA APPROX= 524m2

EXISTING GFA  
19-21 The Corso = 1133m2  
23 The Corso = 264m2  
Total = 1397

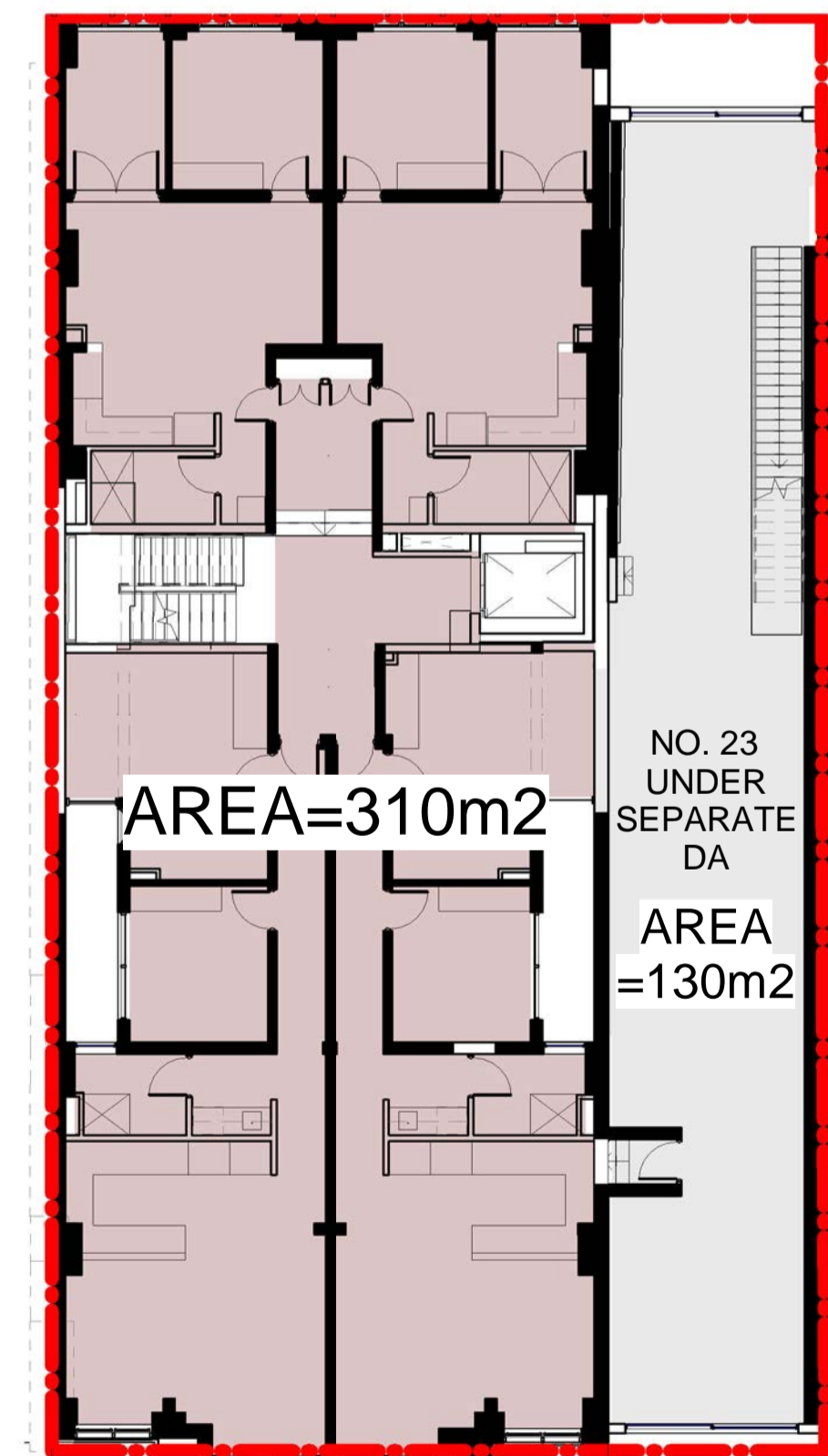
FSR = 2.66:1

PROPOSED GFA 19-21  
The Corso = 1188m2  
23 The Corso = 268.9m2  
Total = 1456.9

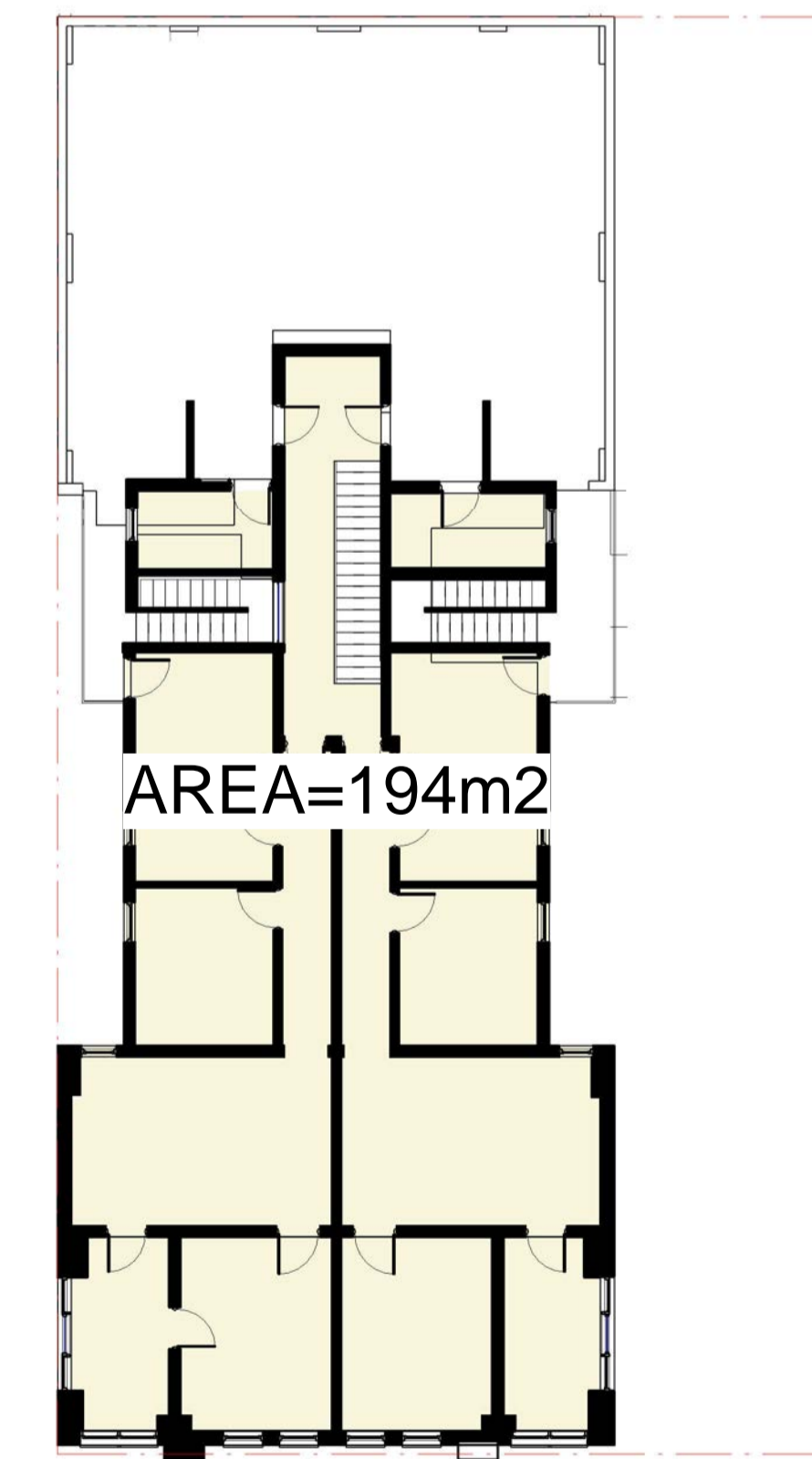
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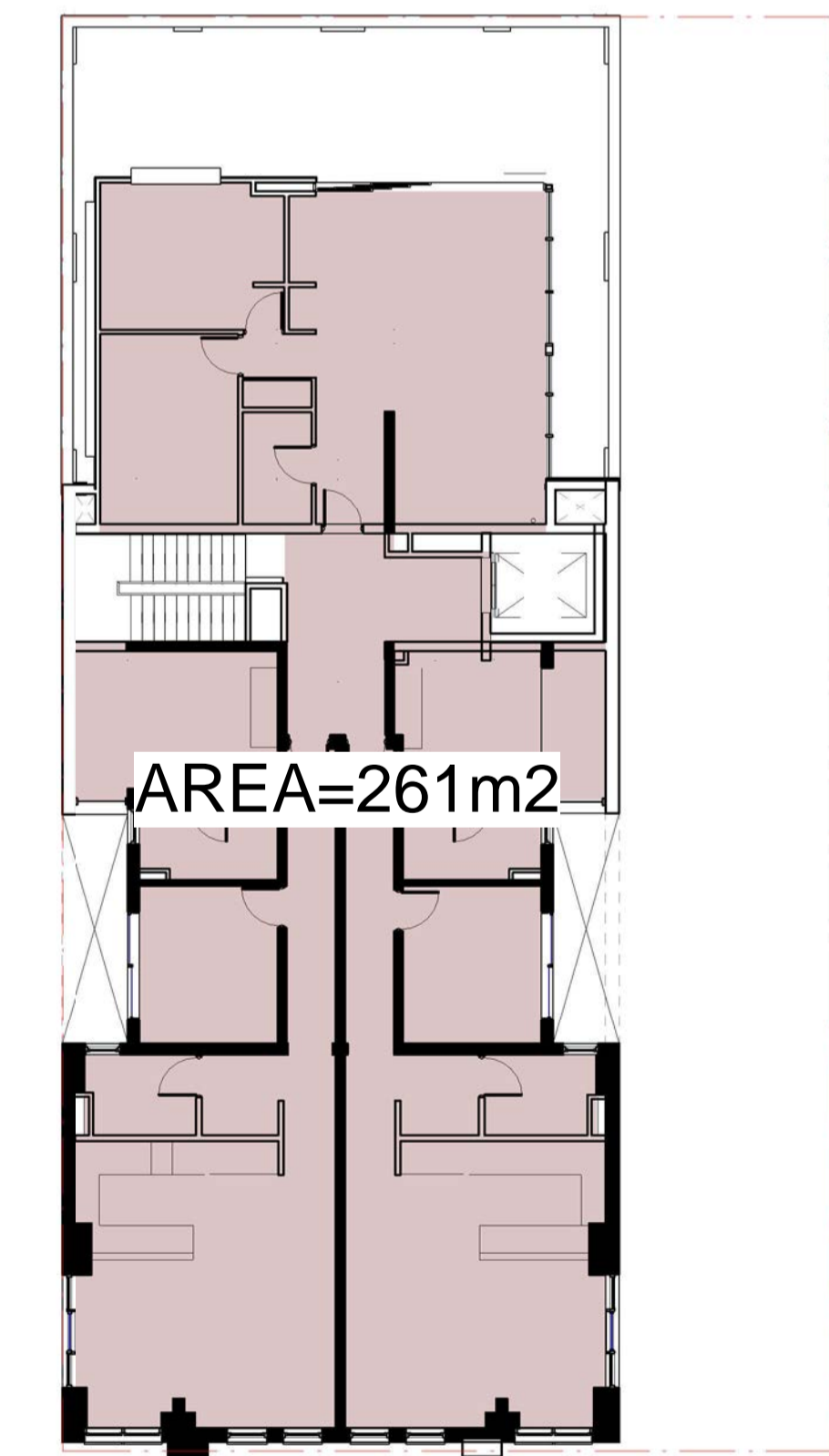
9 EXISTING FIRST FLOOR - FSR  
1 : 150



10 PROPOSED FIRST FLOOR - FSR  
1 : 150



7 EXISTING THIRD FLOOR - FSR  
1 : 150



8 PROPOSED THIRD FLOOR - FSR  
1 : 150

**PRELIMINARY**

Issue No.	Date	Description	Chkd

Drawing Title  
AREA PLANS - FSR

Project  
MANLY CORSO APARTMENTS  
REFURBISHMENT + ADDITIONS  
at  
S.P. 12989  
19-21 THE CORSO, MANLY  
for  
HILROK PROPERTIES PTY LTD

Architect  
**NBRSEARCHITECTURE.**  
Sydney  
61 2 9922 2344  
nbrsarchitecture.com  
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Nominated Architects:  
Geoffery Deane 3766; Andrew Duffin; Garry Hoddinett 5286

Date 5/9/2019 3:06:49 PM  
Scale 1 : 150 @ A1

Drawing Reference 17349-A-18  
Revision

## CERTIFICATE ORDER SUMMARY

### Transaction Details

Date: 10/05/2018 12:54  
Order No. 50928355  
Certificate No: 80116168  
Your Reference: 181148  
Certificate Ordered: NSW LRS - Copy of Plan - Strata Plan 12989  
Available: Y  
Size (KB): 142  
Number of Pages: 5  
Scan Date and Time: 17/03/2008 22:01

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SAI Global Property Division an approved NSW Information Broker hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.

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**COUNCIL'S CERTIFICATE**

The Council of the ~~City~~ Municipality of **MANLY** having satisfied itself that the requirements of the Strata Titles Act, 1973 other than the requirements for the registration of plans have been complied with, approves of the proposed strata plan ~~strata plan~~ **illustrated herein.**

\*Council does not object to the encroachment of the building beyond the alignment of **THE CORSO**

\*The approval is given on the condition that the ~~plan~~ **N/A**

Date **8th FEBRUARY 1978**

Subdivision No. **2920**

*Champion*  
Council Clerk

\*Complete, or delete if inapplicable.

THE AMENDMENTS MADE TO SHEETS 1 AND 3 ARE HEREBY VERIFIED BY COUNCIL THIS **26th** DAY OF **MAY** 1978

*Champion*  
COUNCIL CLERK

**SURVEYOR'S CERTIFICATE**

**NORMAN TEMPLE BANKS**  
of **561 MILITARY ROAD - MOSMAN**  
a surveyor registered under the Surveyors Act, 1928, hereby certify that—

- any wall, the inner surface or any part of which corresponds substantially with any line shown on the accompanying floor plan as a boundary of a proposed lot, exists;
- any floor or ceiling, the upper or under surface or any part of which forms a boundary of a proposed lot, shown in the accompanying floor plan, exists;
- any wall, floor, ceiling or structural cubic space, by reference to which any boundary of a proposed lot shown in the accompanying floor plan is defined, exists;
- any building containing proposed lots erected on the land shown on the accompanying location plan and each proposed lot shown on the accompanying floor plan are wholly within the perimeter of the parcel \* subject to subparagraphs (a) and (b) —
  - (a) except to the extent that the building encroaches on a public place;
  - (b) ~~over and gutters of the building encroach on land other than a public place, in respect of which easements and gutters of an appropriate easement has been created by registered plan.~~

\* (5) the survey information recorded in the accompanying location plan.

Signature **Norman Temple Banks**

Date **21st DECEMBER 1977**

\* Delete if inapplicable  
† State whether dealing or plan, and quote registered number.

This is sheet 1 of my Plan in **FIVE** sheets.

PLAN OF **LOT 1 D.P. 590711** (E)

Mun./Shire City : **MANLY** Locality : **MANLY**

Parish : **MANLY COVE** County : **CUMBERLAND**

Reduction Ratio 1: **200** Lengths are in metres (M)

**STRATA PLAN 12989**

Registered: 3-7-1978 *pe*

C.A.: N° 2920 OF 8-2-1978

Purpose: STRATA PLAN

Ref. Map: MANLY SH 12\*

Last Plan: D. P. 590711

Name of, and \*address for service of notices on, the body corporate  
\*Address required on original strata plan only.

**The Registered Proprietors of STRATA PLAN N° 12989**  
**Nos 19-23 THE CORSO - MANLY - 2095**

Signatures, seals and statements of intention to create easements or restrictions as to user.

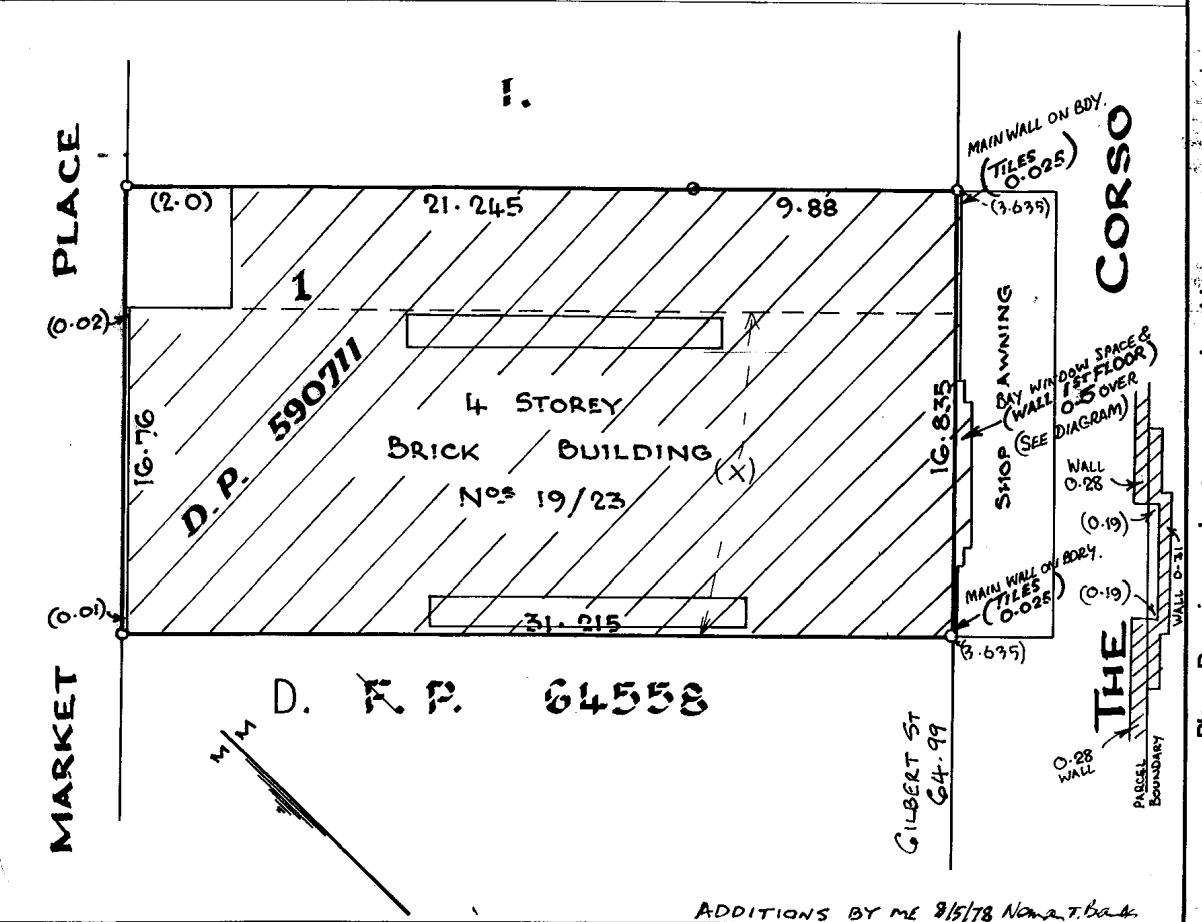


The Official Seal for New South Wales of **THE UNION-FIDELITY TRUSTEE COMPANY OF AUSTRALIA LIMITED** was hereto affixed by order of the Directors and in the presence of—

*R. B. ...*  
STATE MANAGER.

*A. J. Staunton* Director  
*R. B. ...* Secretary

*[Signature]* DIRECTOR  
*[Signature]* DIRECTOR  
24 68



10	20	30	40	50	60	Table of mm	100	110	120	130	140	150	160
----	----	----	----	----	----	-------------	-----	-----	-----	-----	-----	-----	-----

**M.P.D** SURVEYOR'S REFERENCE: F/2 592

Plan Drawing only to appear in this space

Plan Drawing only to appear in this space - P88-St.92

Req: R574754 / Doc: SP 0012989 P / Rev: 17-Mar-2008 / Sts: SC.OK / Pgs: ALL / Prit: 10-May-2018 12:53 / Seq: 1 of 5 Ref: / Str: U

ADDITIONS BY ME 8/5/78 N.T.B.

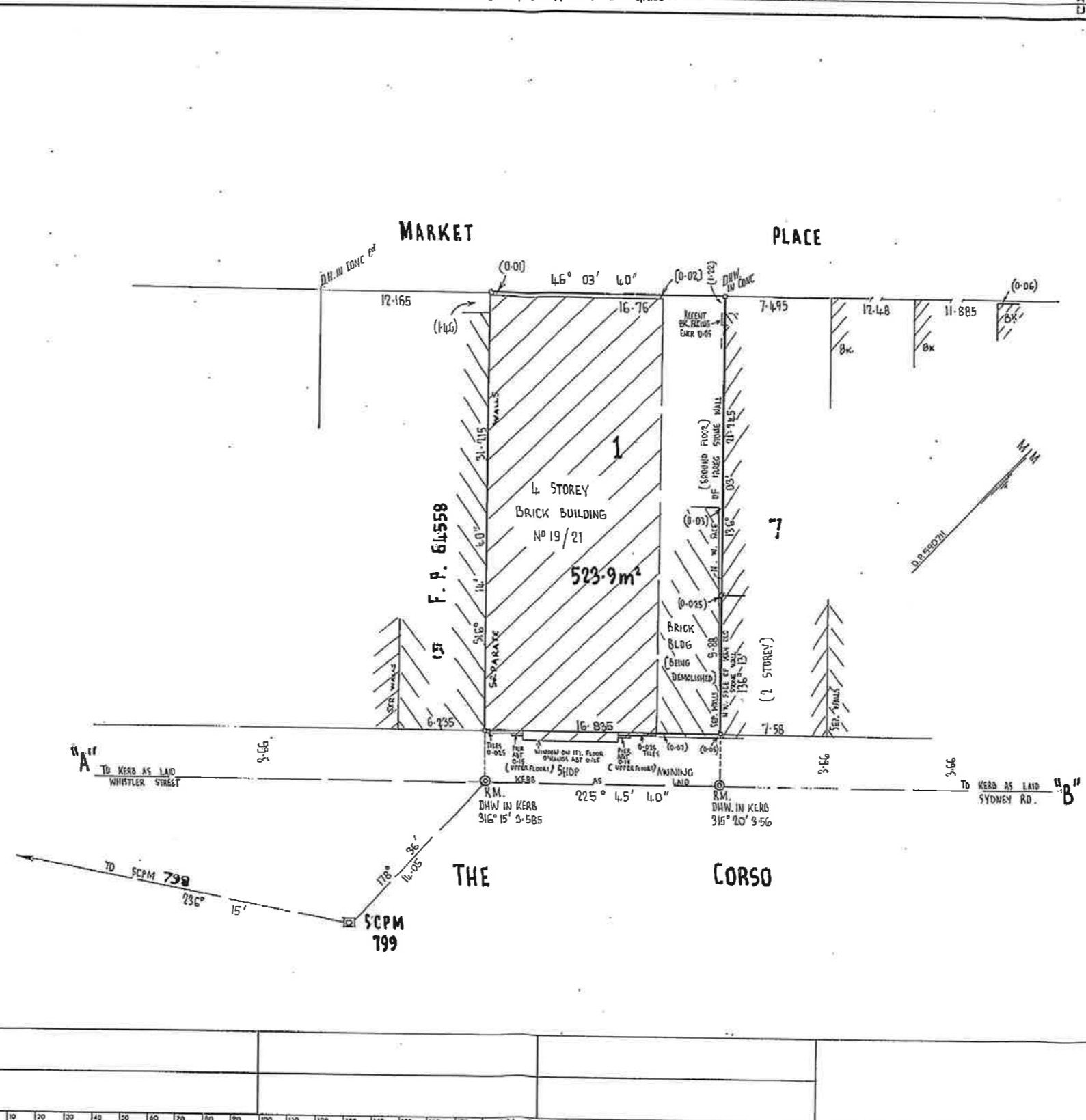
Signatures and seals only.



Handwritten signatures and names: J. H. Roberts, D. P. ...

Council Clerk's Certificate
I hereby certify that -
(a) the requirements of the Local Government Act, 1919
(b) the requirements of section 34B of the Metropolitan Water, Sewerage and Drainage Act, 1924, as amended...

M.P.D.



D.P. 590711
Registered: 9-8-1977
C.A.: No. 2914 OF 24-5-1977
Title System: TORRENS
Purpose: CONSOLIDATION
Ref. Map: MANLY SH.12

PLAN FOR CONSOLIDATION OF LOT 6 AND PART OF LOT 7 SECTION B BRIGHTON ESTATE

Reduction Ratio: 200
Lengths are in metres.

Mun./Shire: MANLY
Locality: MANLY
Parish: MANLY COVE
County: CUMBERLAND

This is sheet 1 of my plan in sheets.
NORMAN TEMPE BIRNS
of 561, MILITARY RD., MOSMAN
a surveyor registered under the Surveyors Act, 1929, as amended, hereby certifies that the survey represented in this plan is accurate and has been made in accordance with the Survey Practice Regulations, 1933, and was completed on 1 July 1977.

Panel for use only for statements of intention to dedicate public roads or to create public reserves, drainage reserves, easements or restrictions as to user.

WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION

SURVEYOR'S REFERENCE: C/1858

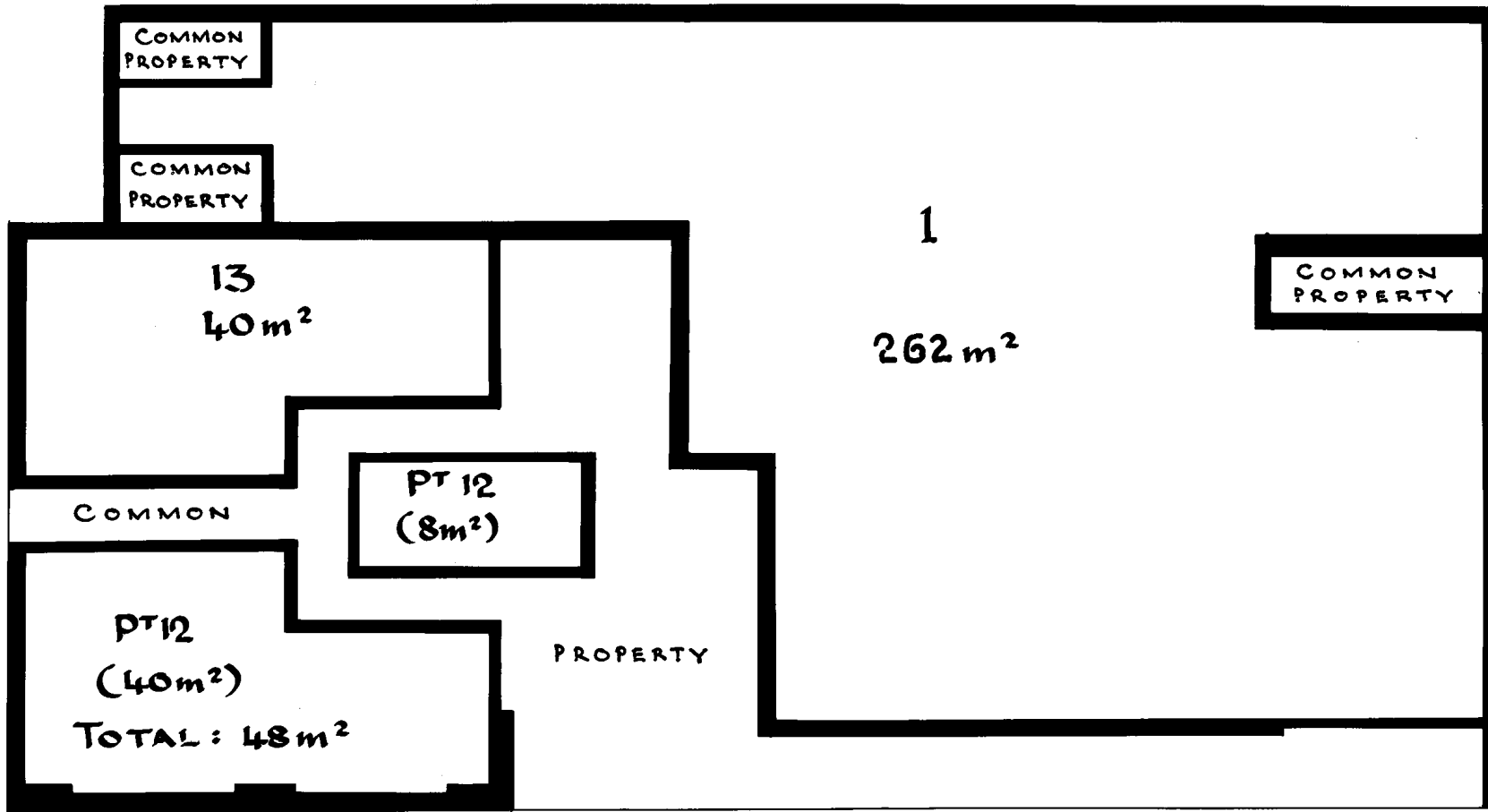
I, Bruce Richard Davius, Registrar General for New South Wales, certify that this negative is a photograph made as a permanent record of a document in my custody this 10th day of August, 1977.

STRATA PLAN 12989

GROUND FLOOR

ENTITLEMENTS

SCHEDULE OF UNIT ENTITLEMENT	
UNIT	ENTITLEMENT
1	3550
2	400
3	400
4	500
5	500
6	400
7	400
8	500
9	500
10	450
11	450
12	600
13	550
14	800
AGGREGATE	10000



Reduction Ratio 1: 100

Lengths are in metres



*Norman T. P. Banks*  
Registered Surveyor

*Chunqian*  
Council Clerk

SURVEYOR'S REFERENCE: F/s 592

Req: R574754 / Doc: SP 0012989 P / Rev: 17-Mar-2008 / Sts: SC.OK / Pgs: ALL / Prt: 10-May-2018 12:53 / Seq: 2 of 5  
Ref: / Src: U

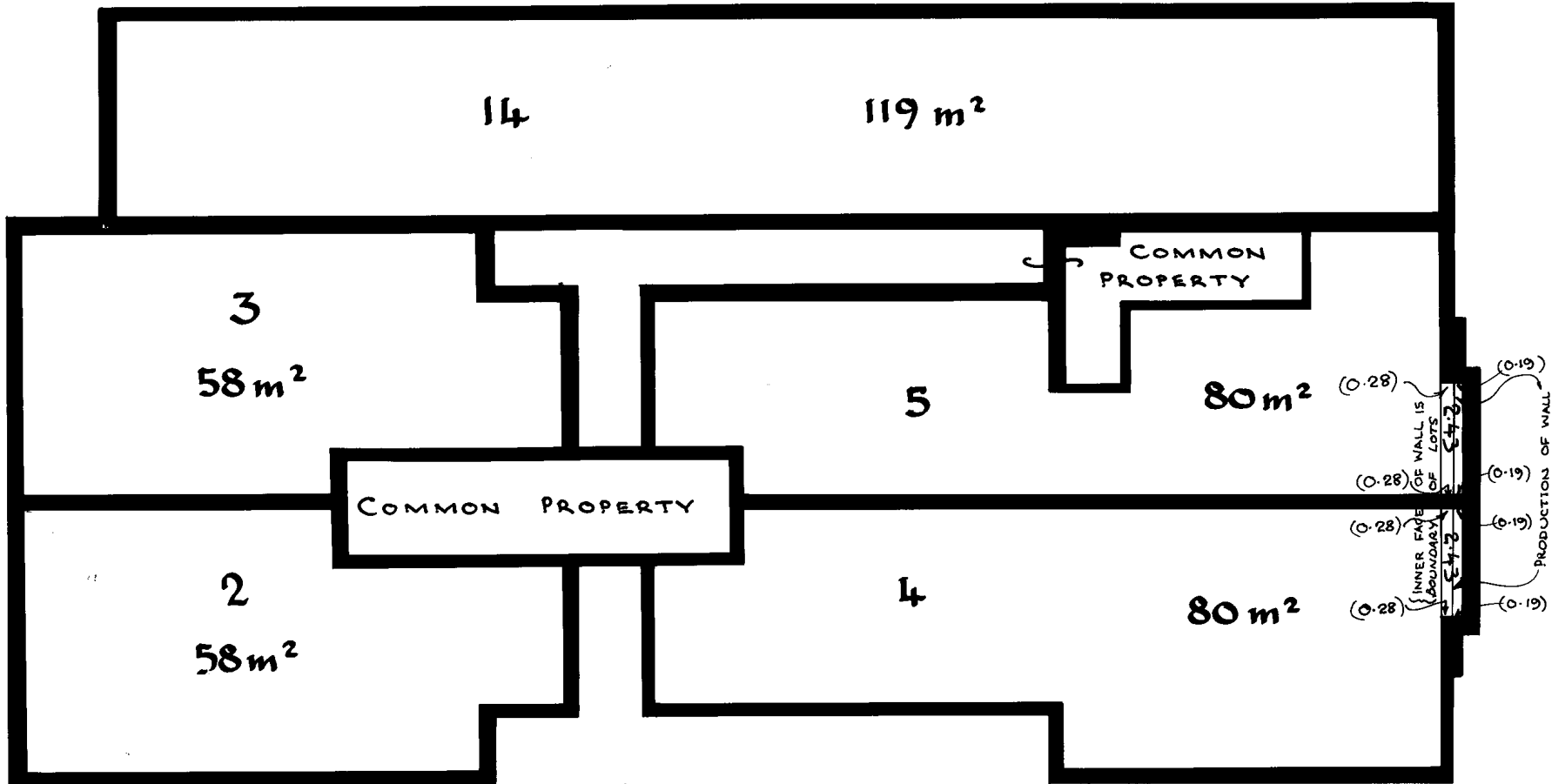
OFFICE USE ONLY

P8PS/9.2

7 30 5

STRATA PLAN 12989

FIRST FLOOR



Reduction Ratio 1: 100

Lengths are in metres

*Nathan T. Blanks*  
 Registered Surveyor

*C. M. ...*  
 Council Clerk

SURVEYOR'S REFERENCE: F/s 592

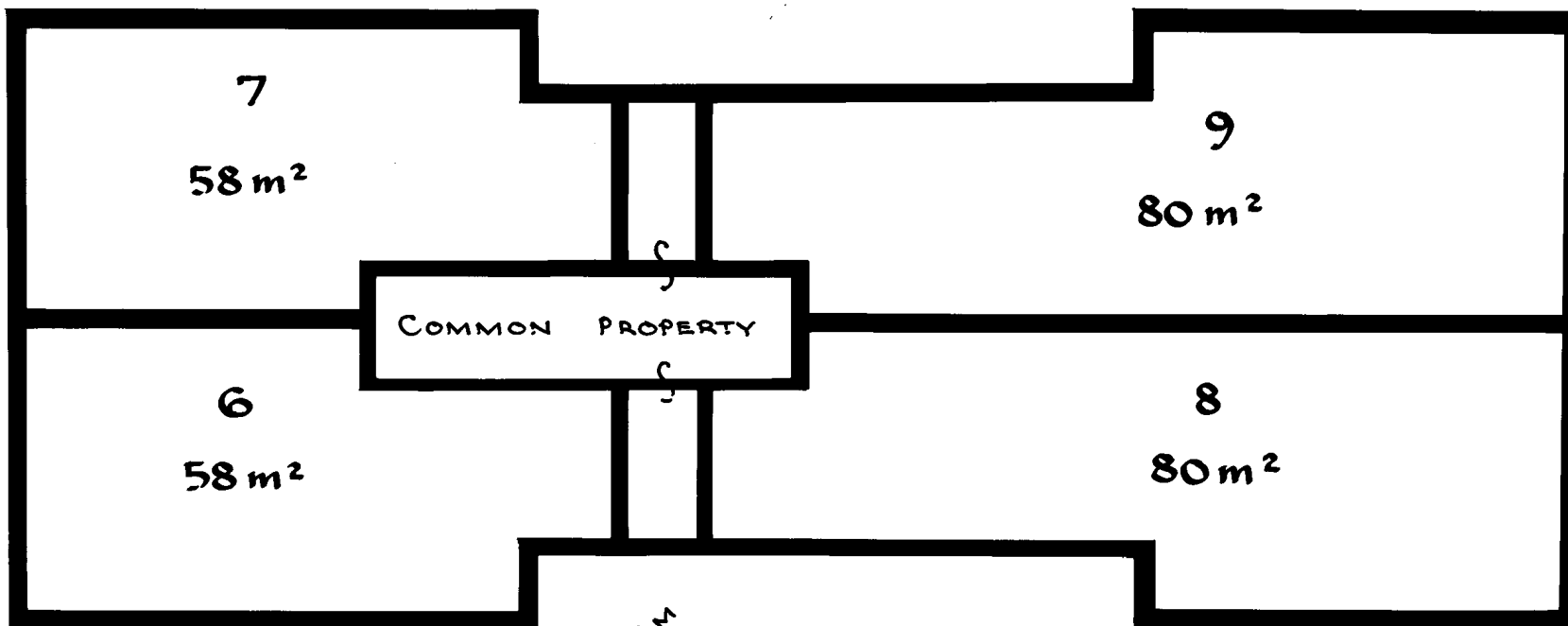
Req: R574754 / Doc: SP 0012989 P / Rev: 17-Mar-2008 / Sts: SC, OK / Pgs: ALL / Prt: 10-May-2018 12:53 / Seq: 3 of 5  
 Ref: / Src: U

OFFICE USE ONLY

2 6 7 1 5 5 6 6 3 7 0 3 2



SECOND FLOOR



Req: R574754 / Doc: SP 0012989 P / Rev: 17-Mar-2008 / Sts: SC.OK / Pgs: ALL / PRT: 10-May-2018 12:53 / Seq: 4 of 5  
Ref: / Str: U

OFFICE USE ONLY

P 704 P8P51.9.2

Reduction Ratio 1: 100

Lengths are in metres

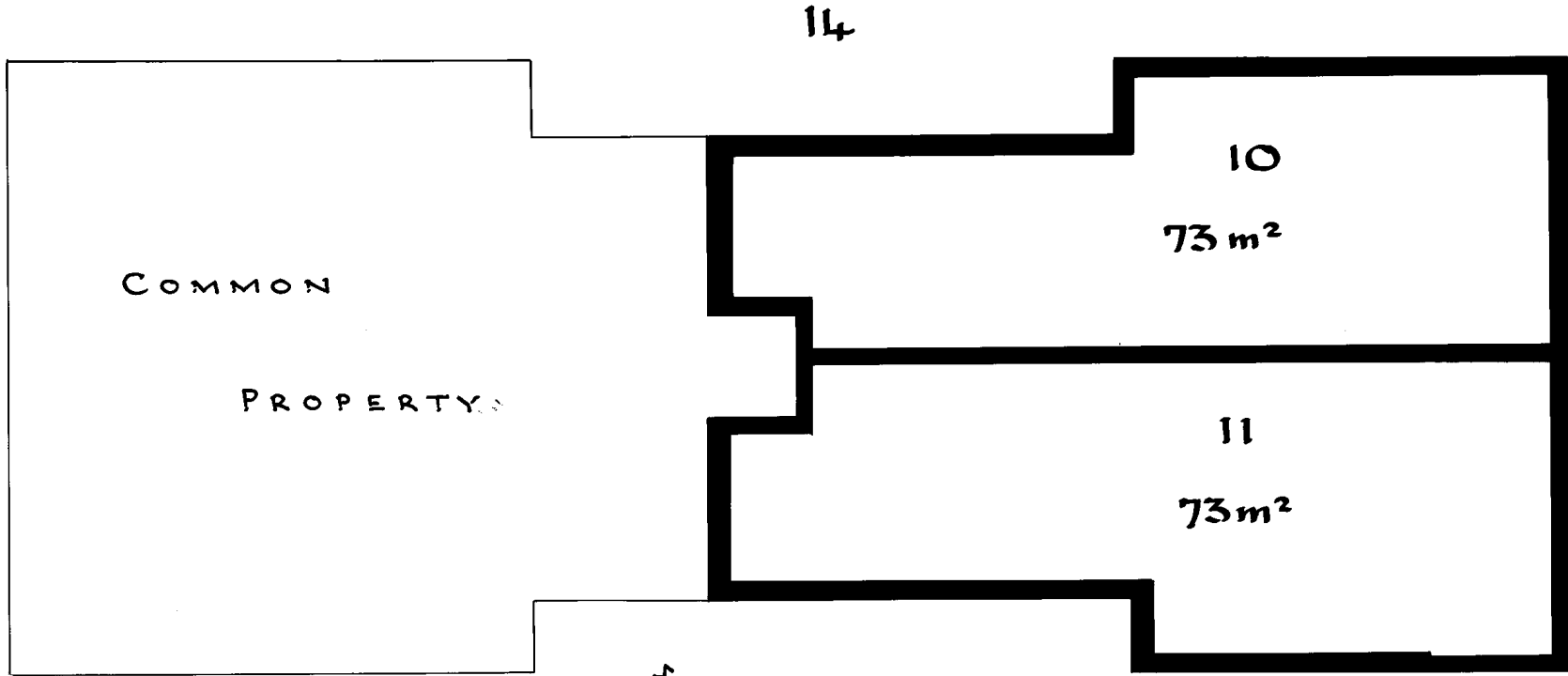


*Norman T. Banks*  
Registered Surveyor

*Coumings*  
Council Clerk

STRATA PLAN 12989

THIRD FLOOR



Req: R574754 / Doc: SP 0012989 P / Rev: 17-Mar-2008 / Sts: SC.OK / Pgs: ALL / Prt: 10-May-2018 12:53 / Seq: 5 of 5  
Ref: / S/c: U

OFFICE USE ONLY

2 70 2 P8PS1 9.2

Reduction Ratio 1: 100

Lengths are in metres



*Norbert T. Banks*  
Registered Surveyor

*Council Clerk*  
Council Clerk

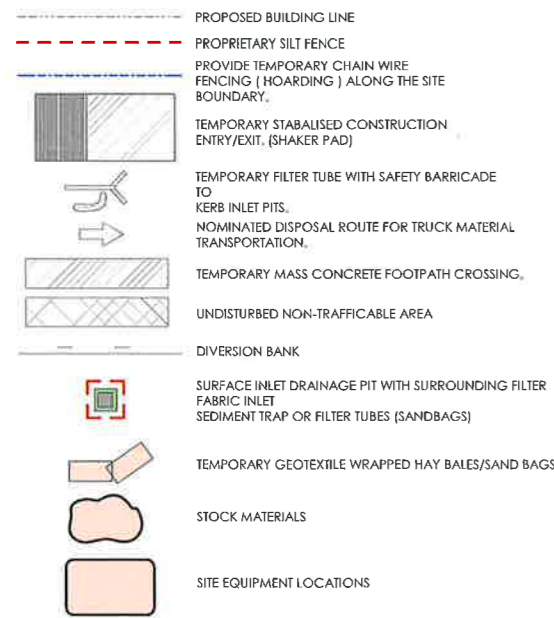
SURVEYOR'S REFERENCE: F/s 592

# MANLY CORSO APARTMENTS REFURBISHMENT & ADDITIONS

NOT TO BE USED FOR CONSTRUCTION  
 No DATE DESCRIPTION BY  
 1 15.04.19 ISSUED FOR DA ELR

S.P. 12989  
 19-21 THE CORSO, MANLY  
 Job No. 19010126

## ENVIRONMENTAL SITE MANAGEMENT LEGEND



## SAFETY IN DESIGN

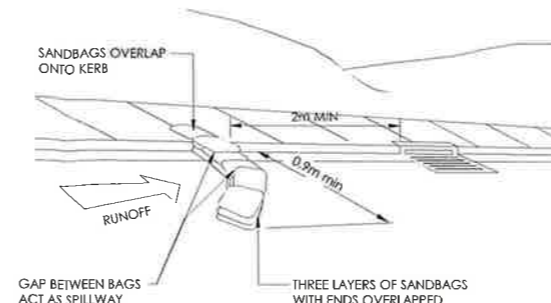
THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING THIS DESIGN THAT ARE TYPICAL OF SIMILAR DESIGNS. AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS.

\* JN DO NOT CONSIDER THAT THERE ARE ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN OF THIS PROJECT.

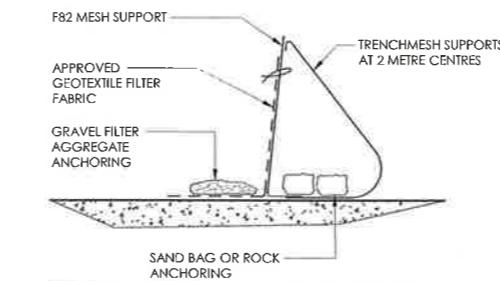
ESM DRAWING LIST	
No.	SHEET NAME
ESM1	NOTES, LEGEND & DETAILS
ESM2	ESM PLAN

## ENVIRONMENTAL SITE MANAGEMENT

- EROSION & SEDIMENT CONTROLS TO BE INSTALLED IN ACCORDANCE WITH COUNCIL'S SPECIFICATION & THE NSW DEPARTMENT OF HOUSING "BLUE BOOK" - SOILS AND CONSTRUCTION - MANAGING URBAN STORMWATER, 2004. REFER TO THE BLUE BOOK FOR STANDARD DRAWINGS "SD"
- SEDIMENT & EROSION CONTROLS MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS OR DEMOLITION ACTIVITY. THE LOCATION OF SUCH DEVICES IS INDICATIVE ONLY AND FINAL POSITION SHOULD BE DETERMINED ON SITE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN DURING THE COURSE OF CONSTRUCTION TO PREVENT SEDIMENT EROSION AND POLLUTION OF THE DOWNSTREAM SYSTEM. SUPERVISING ENGINEER SHOULD BE CONTACTED IF IN DOUBT. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.
- RETAIN ALL EXISTING GRASS COVER WHEREVER POSSIBLE. TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE STRIPPED AND STOCKPILED AT THE NOMINATED SITE. A SEDIMENT FENCE TO BE PLACED DOWNHILL OF STOCKPILE.
- AREAS OF SITE REGRADING ARE TO BE COMPLETED PROGRESSIVELY DURING THE WORKS AND STABILISED AS EARLY AS POSSIBLE. THE SUPERVISING ENGINEER MAY DIRECT THE CONTRACTOR TO HAVE AREAS OF DISTURBANCE COMPLETED AND STABILISED DURING THE COURSE OF THE WORKS.
- ALL DISTURBED AREAS ARE TO BE SEEDED & FERTILISED WITHIN 14 DAYS OF EXPOSURE.
- ALL EXISTING TREES TO BE RETAINED UNLESS SHOWN OTHERWISE ON APPROVED DRAWINGS. TREES RETAINED ARE TO BE PROTECTED WITH A HIGH VISIBILITY FENCE, PLUS FLAGGING TO INDIVIDUAL TREES AS NECESSARY.
- INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, UNTIL SURROUNDING AREAS ARE PAVED OR REGRASSED. GRAVEL OR GEOTEXTILE INLET FILTERS TO SD6-11 & SD6-12.
- ALL SILT FENCES & BARRIERS ARE TO BE MAINTAINED IN GOOD ORDER & REGULARLY DESILTED DURING THE CONSTRUCTION PERIOD. SILT FENCES TO SD6-8 OR SD6-9.
- STOCKPILES OF LOOSE MATERIALS SUCH AS SAND, SOIL, GRAVEL MUST BE COVERED WITH GEOTEXTILE SILT FENCE MATERIAL, PLASTIC SHEETING OR MEMBRANE MUST NOT BE USED. SAFETY BARRICADING SHOULD BE USED TO ISOLATE STOCKPILES OF SOLID MATERIALS SUCH AS STEEL REINFORCING, FORMWORK AND SCAFFOLDING.
- WASTE MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP-BINS LOCATED ON SITE AS SHOWN ON PLAN.
- NO MORE THAN 150m OF TRENCHING TO BE OPEN AT ANY ONE TIME. IMMEDIATELY AFTER TRENCH BACKFILLING, PROVIDE SANDBAGS OR SAUSAGE FILTERS ACROSS EACH TRENCH AT MAXIMUM 20m SPACINGS. FILTERS TO REMAIN IN PLACE UNTIL REVEGETATION HAS OCCURRED.
- ALL VEHICLES LEAVING THE SITE MUST PASS OVER THE STABILISED SITE ACCESS BALLAST AREA (SIMILAR TO SD6-14) TO SHAKE OFF SITE CLAY AND SOIL. IF NECESSARY WHEELS AND AXLES ARE TO BE HOSED DOWN. BALLAST IS TO BE MAINTAINED & REPLACED AS NECESSARY DURING THE CONSTRUCTION PERIOD.
- THE HEAD CONTRACTOR IS TO INFORM ALL SITE STAFF AND SUB-CONTRACTORS OF THEIR OBLIGATIONS UNDER THE EROSION AND SEDIMENT CONTROL PLAN.
- ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURFACE, IS TO BE REMOVED IMMEDIATELY.
- PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
- CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST ENTRY DRIVEWAY AREA AND ARE NOT TO OPERATE FROM THE PUBLIC ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
- TRUCKS REMOVING EXCAVATED / DEMOLISHED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS. MATERIAL TO BE TAKEN TO THE TRUCK TO REDUCE TRUCK MOVEMENT ON SITE. TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY RIGID VEHICLES. (NO SEMITRAILERS)
- ANY EXCAVATION WORK ADJACENT TO ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNTIL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS RECEIVED FROM THE ENGINEER.
- TOILET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET. CHEMICAL CLOSETS ARE TO BE MAINTAINED & SERVICED ON A REGULAR BASIS SO THAT OFFENSIVE ODOUR IS NOT EMITTED.
- DURING TRENCH EXCAVATION ALL SOIL SHALL BE MOUNDING ON THE UPHILL SIDE OF TRENCHES AND PLACEMENT IS TO COMPLY WITH THE SUPERINTENDENTS REQUIREMENT.
- DIVERSION BANKS SHOULD BE CONSTRUCTED BY MOUNDING STRIPPED TOPSOIL (MIN HEIGHT 600mm) WHERE DIRECTED. MATERIAL TO BE RESPREAD ON FOOTWAYS AFTER FINAL TRIMMING.
- UNDISTURBED BUFFER ZONE AREAS ARE CLOSED TO ALL TRAFFIC MOVEMENTS UNLESS OTHERWISE NOTED BY THE SUPERINTENDENT AND ACCESS TO THE SEWER OR C.D.L. TRENCHING WILL BE AS SHOWN, OR HEAVY PENALTIES MAY BE IMPOSED.
- TRAFFIC MANAGEMENT MEASURES ARE REQUIRED TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH R.T.A. TRAFFIC CONTROL AT WORK SITES - CURRENT EDITION AND AS 1742 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES'.
- PEDESTRIAN CONTROL MEASURES ARE REQUIRED TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION. IN ACCORDANCE WITH AS 1742 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES'.

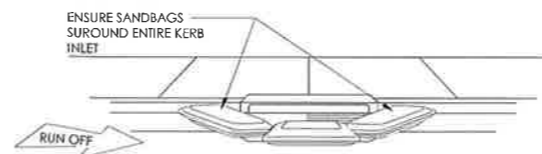


KERB SANDBAG SEDIMENT TRAP DETAIL



- GENERAL CONSTRUCTION NOTES:**
- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
  - FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
  - JOIN SECTIONS OF FABRIC AT A SUPPORT WITH A 150mm OVERLAP.
  - REFER TO DETAIL SD 6-9 'BLUE BOOK'

SILT FENCE DETAIL



- NOTES:**
- FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
  - FILL THE SLEEVE WITH 25mm TO 50mm GRAVEL.
  - FORM AN ELLIPTICAL CROSS SECTION ABOUT 150mm HIGH X 400mm WIDE.
  - PLACE THE FILTER AT THE OPENING OF THE KERB INLET LEAVING A 100mm GAP AT THE TOP TO ACT AS AN EMERGENCY SPILL WAY.
  - MAINTAIN A CLEAR DISTANCE AWAY FROM THE PIT WITH SPACER BLOCKS.
  - FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER.
  - FIT TO ALL KERB INLETS AS SHOWN.

KERB INLET SANDBAG SEDIMENT TRAP DETAIL



CLIENT  
 NBR8

STATUS  
 PRELIMINARY

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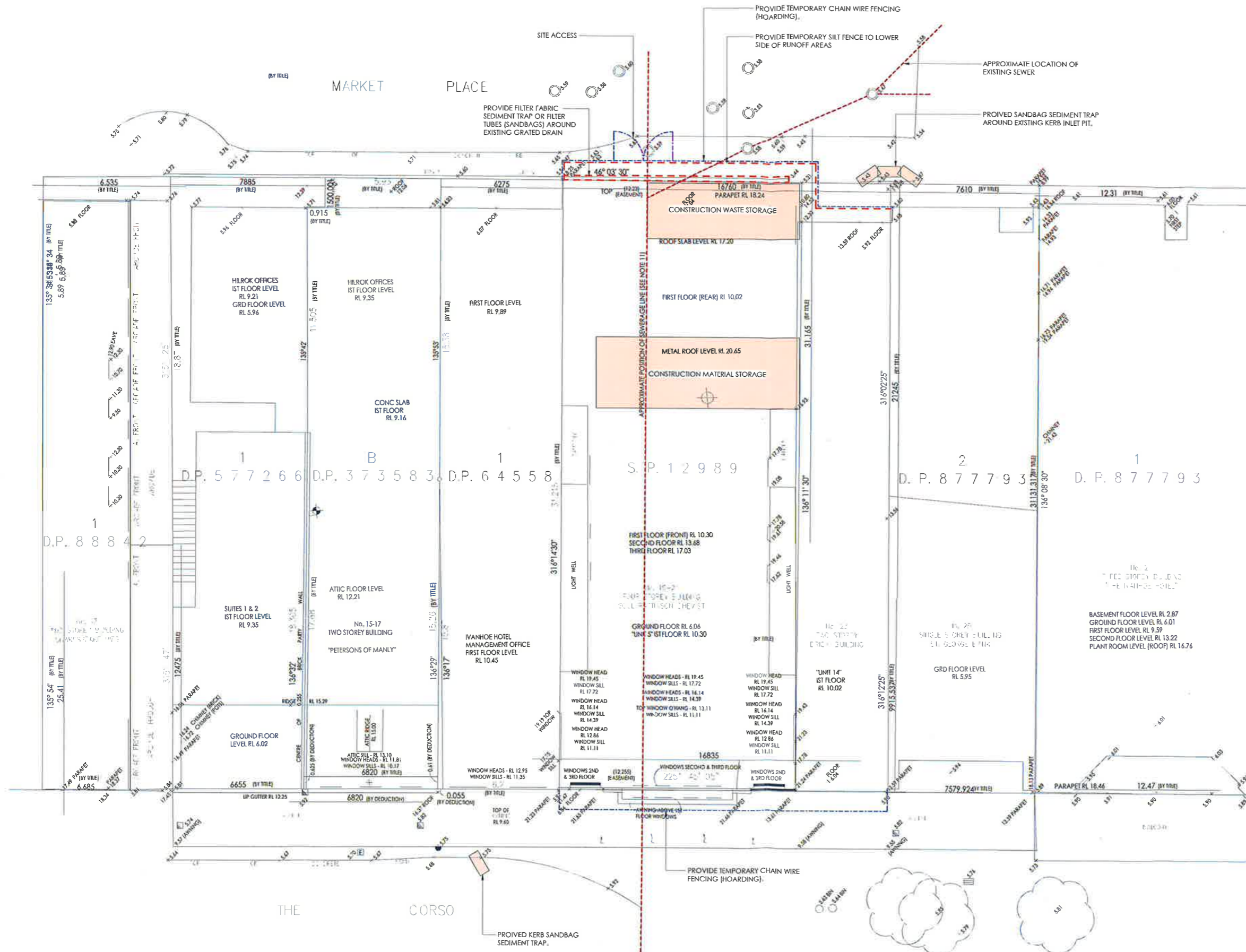
DISCIPLINE  
 CIVIL DESIGN

DRAWING TITLE  
 NOTES, LEGEND & DETAILS

PROJECT  
 MANLY CORSO APARTMENTS  
 REFURBISHMENT & ADDITIONS

ADDRESS  
 S.P. 12989  
 19-21 THE CORSO, MANLY

PROJECT DETAILS  
 DESIGN DRAWN 19010126  
 DATE  
 DRG SIZE A1  
 SCALE As indicated  
 PROJECT  
 MGR  
 WWW.JN.COM.AU  
**ESM1 1**



ESM SITE PLAN  
 SCALE 1 : 100



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**NBR8**

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DISCIPLINE  
**CIVIL DESIGN**

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**ESM PLAN**

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