

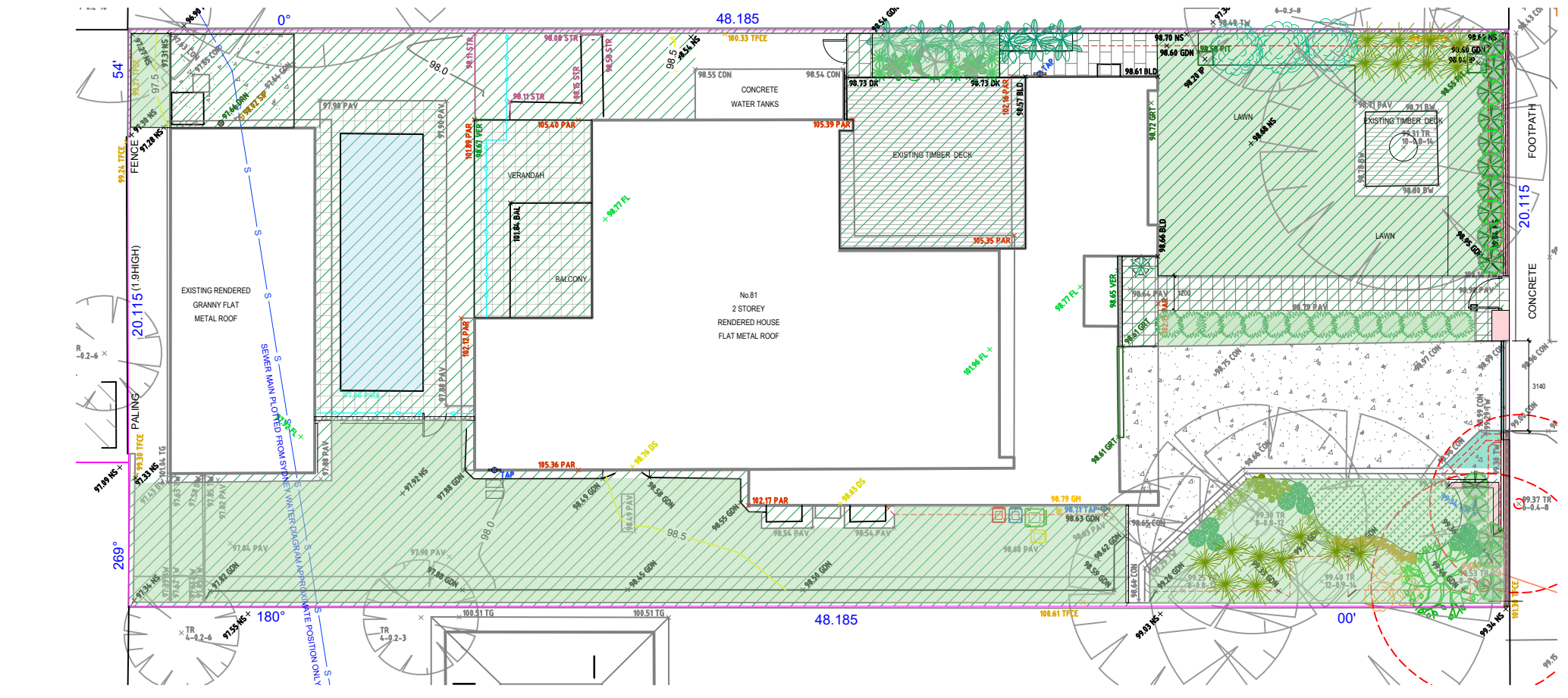
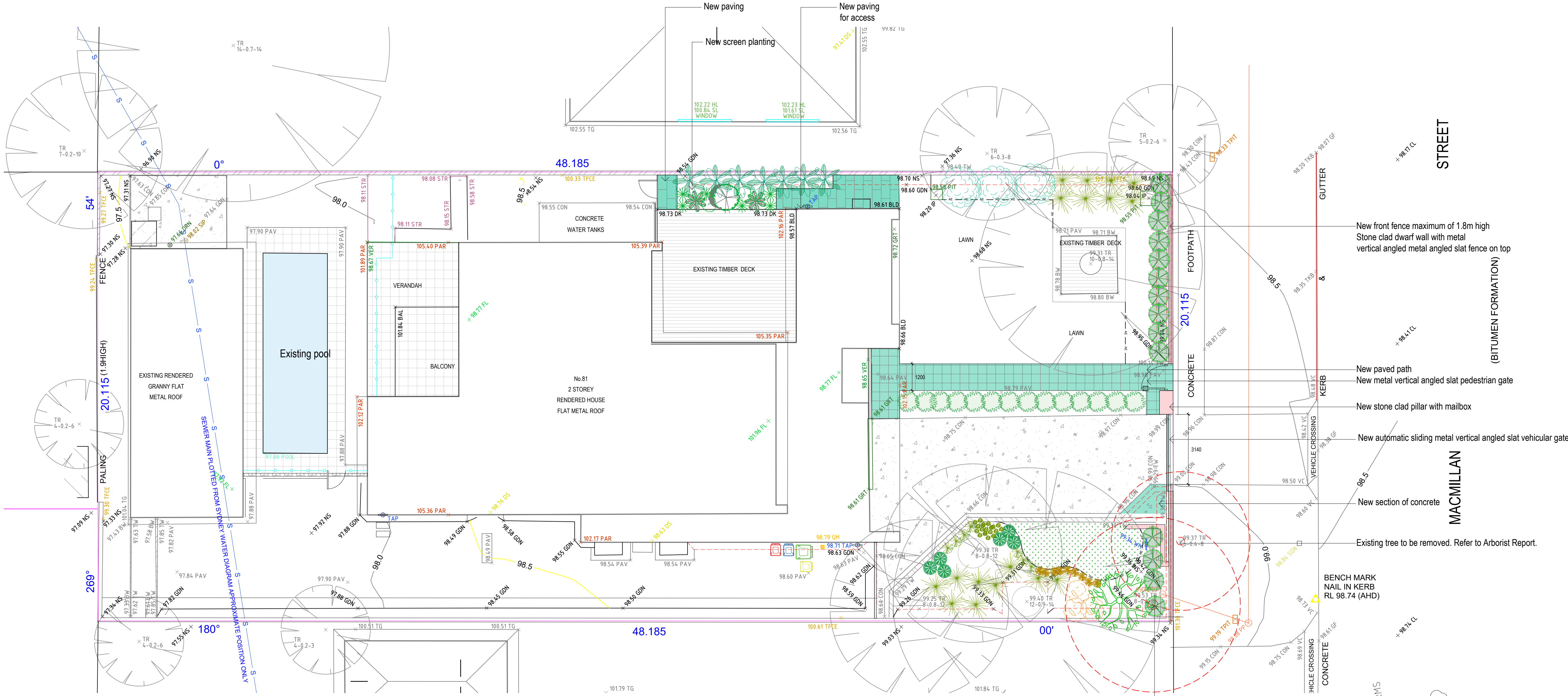
LEGEND

- BOUNDARY
- SEWER
- EXISTING CONTOURS
- ALUMINIUM EDGE
- CONCRETE
- PROPOSED PAVING
- EXISTING TIMBER DECK
- TREE TO BE RETAINED
- TREE TO BE REMOVED

NEW WORKS COLOURS

TIMBER	CONCRETE
GLASS	METAL

BRICK



LANDSCAPE OPEN SPACE

Residential Development Control Area OS3 requires 55% of site area to be Open Space with 35% of that open space to be Landscaped Area.

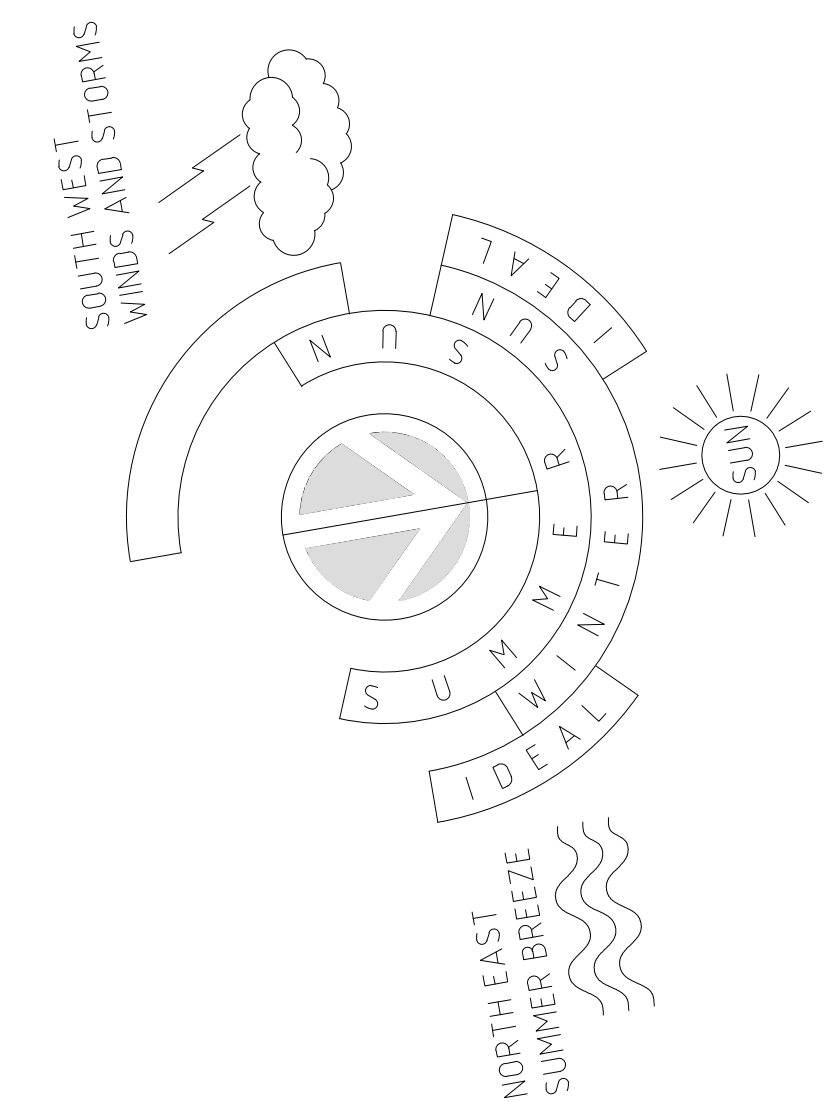
Site Area:	969.2m ²	
Open Space required:	533.06m ²	55%
Open Space proposed:	542.50m ²	55.9%
Landscape Area required:	186.57m ²	35% of 533.06m ²
Landscape Area proposed:	254.90m ²	48%

Denotes Open Space >3m

Denotes Landscape Area >0.5m

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/2004



LANDSCAPE OPEN SPACE CALCULATIONS

SCALE 1:200

LEGEND



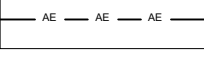
BOUNDARY



SEWER



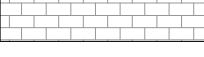
EXISTING CONTOURS



ALUMINIUM EDGE



CONCRETE



PROPOSED PAVING



EXISTING TIMBER DECK



TREE TO BE RETAINED



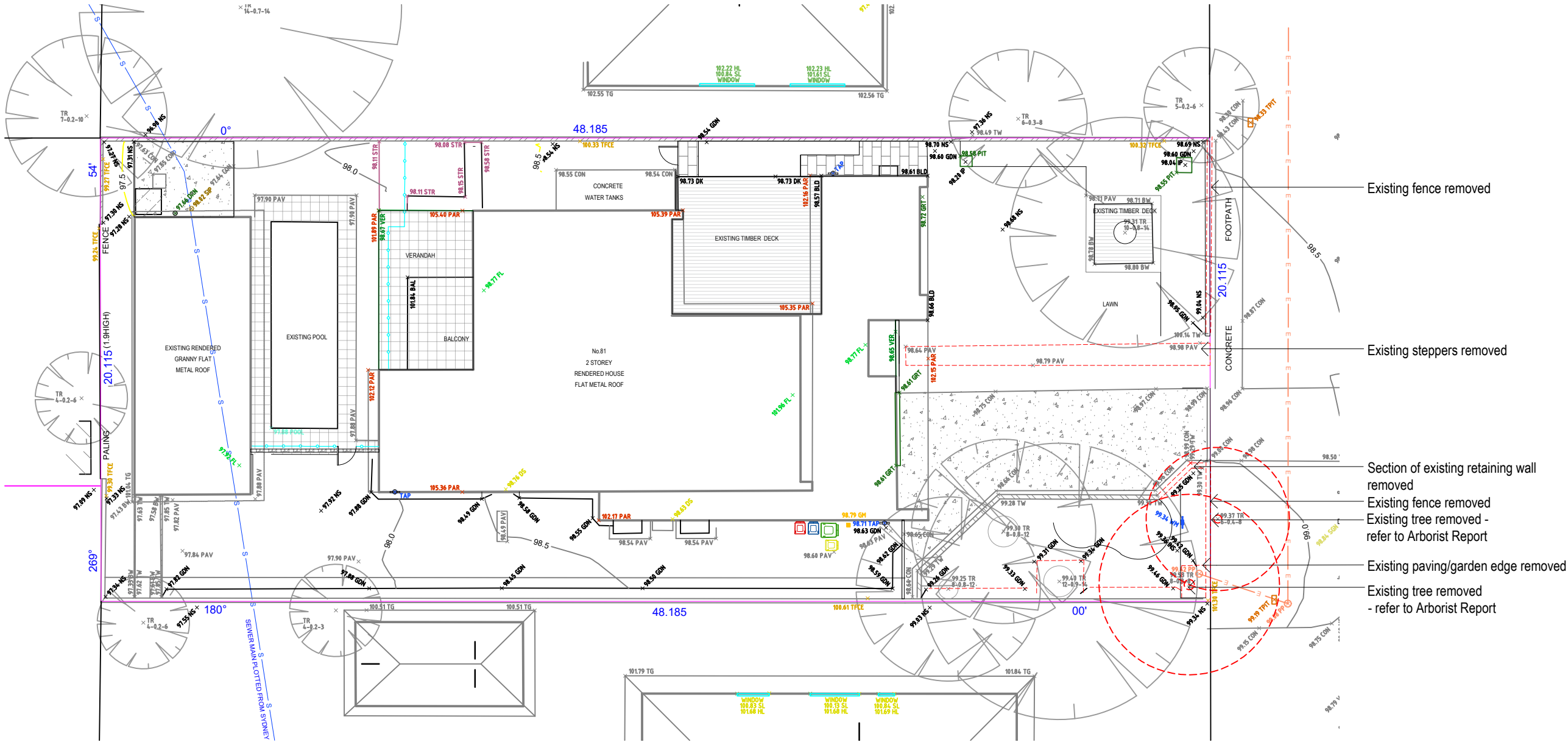
TREE TO BE REMOVED

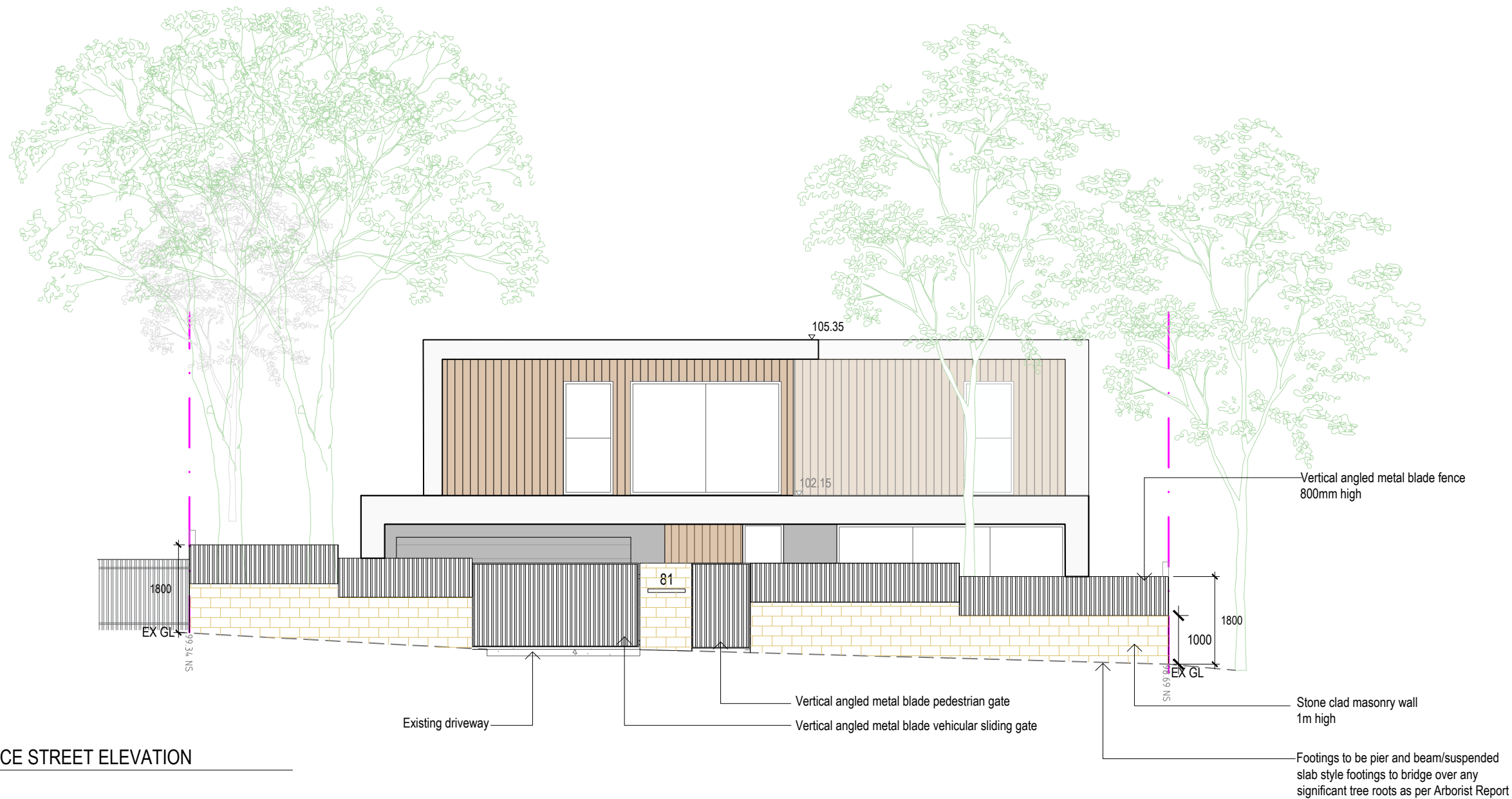


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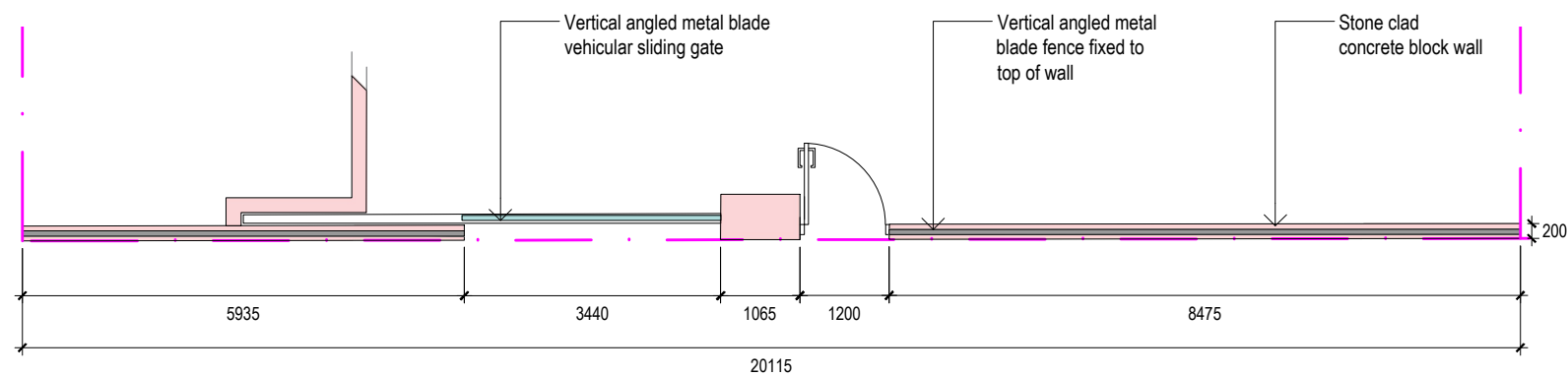
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FRONT FENCE STREET ELEVATION
SCALE 1:100



FRONT FENCE PLAN
SCALE 1:100

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council**

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NOTES:
- Contractors to check and verify all dimensions and all levels on site prior to any works.
- Any discrepancies should be immediately referred to Space Landscape Designs.
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions recognised over scaling. All measurements are in millimetres.

Rev.	Date	Issue
A	14/09/21	Preliminary Issue
B	12/10/21	DA Issue

Checked
CW
CW

S P A C E
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd
ABN 60 799 663 674 ACN 139 316 251
info@spacedesigns.com.au
spacedesigns.com.au
P 02 9905 7870 F 02 9905 7657
Suite 138, 117 Old Pittwater Rd,
Brookvale NSW 2100

PROJECT:
Front Fence & Landscaping
SITE ADDRESS:
81 MacMillan Street, Seaforth 2092

CLIENT: **C. Zhang**
DRN: **A.Elboz (AIDM 625)**
SCALE: **1:100@A3**
PROJECT NO: **211903**

DRAWING TITLE:
FRONT FENCE ELEVATION
DRAWING No:
DA-03
Rev: **B**

LEGEND

BOUNDARY

SEWER

EXISTING CONTOURS

ALUMINIUM EDGE

CONCRETE

PROPOSED PAVING

EXISTING TIMBER DECK

TREE TO BE RETAINED

Tree Protection
Unless identified by the development consent, existing trees shall be protected in accordance with AS4970-2009 Protection of Trees on Development Sites, with particular reference to Section 4, with no ground intrusion into the tree protection zone and no trunk, branch nor canopy disturbance.

Maintenance of Road Reserve
The public footways and roadways adjacent to the site shall be maintained in a safe condition at all times during the course of the works.

Hazardous Materials Management Plan

- Should any hazardous materials be identified by the contractor, contact SafeWork NSW to find a licensed removalist and assessor.
- Notify SafeWork NSW five calendar days before undertaking any licenced asbestos removal work.
- The site must be fenced prior to demolition and must comply with Safework NSW requirements.
- Demolition to be carried out in accordance with AS 2601-2001, *The Demolition of Structures*.

Work Plan
The person responsible for the development site is to erect or install on or around the development area such temporary structures or appliances (wholly within the development site) as are necessary to protect persons or property and to prevent unauthorised access to the site in order for the land or premises to be maintained in a safe or healthy condition.

- No demolition material shall be placed on Council's footpath, road or grass verges without Council Approval.
- Upon completion of the development, such temporary structures or appliances are to be removed within 7 days.
- Demolition works are restricted to 8am to 5pm Monday to Friday only
- Where demolition works have been completed and new construction works have not commenced within 4 weeks of completion of the demolition works that area affected by the demolition works shall be maintained in a safe and clean state until such time new construction works commence.



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CLIENT: C. Zhang

DRN: A.Elboz (AILDM 625)

SCALE: 1:200@A3

PROJECT NO: 211903

DRAWING TITLE:
ENVIRONMENTAL SITE
MANAGEMENT PLAN

DRAWING No:
DA-04

Rev: B